

# JOURNAL CENTER 2

## Land Development Design Guidelines

Revised December 2003

A Supplemental Document to the

- Covenants
- Sign Code
- Project Standards
- Park Development Standards

of the JOURNAL CENTER

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## Description

Journal Center 2 is a mixed-use office/industrial park located on the west side of Jefferson Boulevard, north of Ellison Street and South of Paseo del Norte. This project contains approximately 80 acres of land and is bordered on the north by the AMAFCA North Pino Drainage right-of-way, on the south by the Interstate Industrial Park and on the west by the North Diversion Channel. Journal Center 2 was planned as a high quality community of businesses with a balanced auto/pedestrian orientation. There are currently several properties in the north I-25 area that are being developed and redeveloped with Class A office space. Journal Center 2 will provide additional sites for continued growth.

Journal Center 2 is a business park with three distinct land use areas or categories. These areas follow a hierarchy from larger office sites generally near the east and the west end of the project to smaller office sites internally with office/warehouse uses near the park's center. The areas include:

- Large Office Campus (4+ acre lots)
- Small Office (1/2+ acre lots)
- Office/Warehouse (1.0+ acre lots)

## Purpose

The purpose of these Design Guidelines is to establish a code for site planning, landscaping and architecture with which all property owners must comply. The goal is the creation of an office/industrial park that is based upon sound principles of land use, transportation, aesthetics and sustainability and that highlights the unique characteristics of the desert southwest. In order to ensure attractive transitions between different land uses and lot sizes this document includes design guidelines for building and parking setbacks, screening, material use, and other development considerations.

The overall vision for Journal Center 2 is created by:

- Establishing a contemporary and integrated architectural design theme throughout
- Establishing screening, landscaping and pedestrian requirements
- Establishing a color palette and a materials list to compliment contemporary architecture
- Incorporating updated landscaped design and providing a list of acceptable plants in order to comply with the new City Water Conservation and Pollen Ordinances

These Design Guidelines are the "Phase 2 Standards" as defined in the Amended Declaration (defined below).

## Relationship of Journal Center to Journal Center 2

Journal Center 2 shares the Journal Center planning concept of an integrated office/industrial campus with a park-like setting. The Journal Center 2 Design Guidelines were developed to supplement the Journal Center Standards [and Sign Code] for Journal Center 2. The Journal Center Standards and the Journal Center 2 Design Guidelines must be read in

conjunction with each other. Planning and design in Journal Center 2 is therefore addressed in the Journal Center 2 Documents, Journal Center Documents and the City of Albuquerque code and ordinances.

In addition to being subject to these Journal Center 2 Design Guidelines and the Amended Declaration, Journal Center 2 is subject to all of the Journal Center Documents. In the event of a conflict between the Journal Center Standards and the Journal Center 2 Design Guidelines, the Journal Center 2 Design Guidelines will control for Journal Center 2 property. Any prospective lot developer or property owner must meet all of the requirements and standards set forth in both the Journal Center Standards and the Journal Center 2 Design Guidelines.

Property developed in Journal Center must be approved by the Journal Center ARC, which, among other items, reviews for compliance with the Journal Center Standards. Property developed in Journal Center 2 also must be approved by the Journal Center 2 ARC, which, among other items, reviews for compliance with the Journal Center 2 Design Guidelines. Any prospective lot developer or property owner must follow the approval processes for both Journal Center and Journal Center 2 (see Section 3, Design Approval Process).

## Role Of Journal Center 2 Architectural Review Committee

Journal Center 2 ARC may retain review responsibilities (unless relinquished earlier) for four years after the release of their ownership in the property of Journal Center 2. The Journal Center 2 ARC is responsible for reviewing plans for compliance with all of the Journal Center Documents and Journal Center 2 Documents, and then recommending approval or disapproval of plans to the ARC. The review of plans by Journal Center 2 ARC shall be in addition to, and will not in any way affect or abridge the review by the Journal Center ARC under the Journal Center Documents or any other requirement under the Journal Center Documents. No plans shall be finally approved unless and until the Journal Center ARC has approved such plans pursuant to the terms of the Declaration. In the event of any conflict between the decisions of the Journal Center ARC and the Journal Center 2 ARC, the decision of the Journal Center ARC shall control.

Review of, and recommendation concerning, the plans by the Journal Center 2 ARC shall be based, among other things, and in addition to those items enumerated in the Journal Center Documents, on conformity of the plans to the Journal Center 2 Design Guidelines and the Amended Declaration.

Any matter requiring review and approval by the Journal Center 2 ARC, should be submitted directly to the Journal Center 2 ARC.

Pursuant to the Amended Declaration., the Journal Center 2 ARC has the power to amend these Journal Center 2 Design Guidelines, as it deems appropriate.

Four years after the time that Tiburon no longer owns property in Journal Center 2, the Journal Center 2 ARC shall cease to function and exist. At that time all reviews shall be made by the Journal Center ARC. Journal Center ARC will review plans for compliance with all of the Journal Center Documents and Journal Center 2 Documents and Journal Center 2 shall continue to be subject to the Journal Center 2 Documents. Tiburon may terminate the existence of the Journal Center 2 ARC prior to the time described above by executing a written instrument in recordable form and having the document recorded in the real estate records of Bernalillo County.

# Definitions

**AMAFCA.** Albuquerque Metropolitan Area Flood Control Authority maintains and owns the adjacent North Pino Drainage Right-of-Way, and the North Diversion Channel.

**Amended Declaration.** The First Amended Declaration of Protective Covenants for Journal Center Industrial Park (Journal Center Phase 2) recorded on March 20, 2001 as document 2001031047 in Book AIG, page 9531, records of Bernalillo County, New Mexico relating to Journal Center 2.

**Americans with Disabilities Act (ADA).** A Federal Act requiring appropriate design for accessibility via wheelchair. This effects exterior grades along walks, doorway openings and circulation / movement standards.

**Architectural Theme.** A consistent type of architecture throughout. At Journal Center 2 the architectural theme shall be of a "contemporary" style (No Pueblo revival, Territorial or Northern NM or other "historical styles" of architecture are allowed).

**Bollard.** A thick post used to discourage or block vehicular access. Typically of a concrete or masonry material. May contain a light.

**Building Setbacks.** Minimum distance required from the street right of way or property lines to the parking lot or the building.

**City.** City of Albuquerque, New Mexico

**City Zone Code IP (Industrial Park) Standards.** The City of Albuquerque Zone Code which sets forth all minimum standards for development within Journal Center 2. Journal Center 2 is zoned IP.

**Common Areas and Private Areas.** Journal Center 2 will install landscaping in the most critical "Common Areas" along the street and at intersections. Individual property owners will be responsible for all "Private and Common Area" improvements including landscaping in parkway strips, front and side yards, and public sidewalks. The common area parkway strip (between the street curb and the sidewalk) is to be connected to the common area landscape irrigation and then is to be turned over to Journal Center 2 for maintenance.

**Design Development Plan.** The Site Plan and the Plans and Specifications to be submitted and reviewed by the Journal Center 2 ARC and the Journal Center ARC pursuant to the Journal Center Documents and Journal Center 2 Documents.

**Floor Area Ratio (FAR).** That ratio between the total building size and the lot size. (For example, a 10,000 SF building on a 50,000 SF lot = an FAR of .20).

**Journal Center 2.** An office/industrial park, located on the west side of Jefferson Boulevard, north of Ellison Street and south of Paseo del Norte. The second "Phase" of the Journal Center.

**Journal Center 2 ARC.** The architectural review committee established pursuant to the Journal Center 2 Documents responsible for reviewing building plans, alterations, signage etc. for Journal Center 2.

**Journal Center 2 Common Properties.** Those "Phase 2 Common Properties" as defined in the Amended Declaration.

**Journal Center 2 Documents.** In addition to the Journal Center Documents, the First Amended Declaration of Protective Covenants for Journal Center Industrial Park (Journal Center Phase 2) recorded or to be recorded in the records of Bernalillo County, New Mexico, and these Design Guidelines, as amended and supplemented.

**Journal Center ARC.** The architectural review committee established pursuant to the Journal Center Documents responsible for reviewing building plans, alterations, signage etc. for Journal Center and, pursuant to the Journal Center 2 Documents, responsible for reviewing building plans, alterations, signage etc. for Journal Center 2.

**Journal Center Documents.** The Journal Center Master Plan prepared by Langdon & Wilson Architects and Amendment to Master Site Plan amended on August 24, 2000, the Declaration of Protective Covenants for Journal Center Industrial Park recorded in Bernalillo County New Mexico on July 26, 1984 as document no. 84-56323, the Journal Center Park Development Standards, the Journal Center Sign Guidelines/Sign Code, Journal Center Standards as amended and supplemented.

**Landscape Plan.** The Landscape Plan available from Journal Center 2 and a part of these Design Guidelines.

**Landscaping.** Typically pervious surfaces which are to be landscaped, not including driveways, sidewalks, parking lots and streets.

**Lighting - Shoebox.** A style of light that is rectangular.

**Lighting.** Shielded horizontal cut-off lamps are required.

**Mansard Roof.** A type of roof that acts also as fascia on a building facade. These types of roofs are not allowed.

**Massing.** The relationship between the volumes of space within a building made up of height, width and length, as visible from adjacent properties.

**Maximum Building Height.** The maximum height of buildings as established in these Design Guidelines.

**Parking Requirements.** Parking requirements shall be per the IP zoning district in the City Zone Code.

**Parkway.** That portion of the public right of way located between the street curb and the sidewalk, improved with landscaping.

**Reflexivity Value.** A value given to colors based on its inability to absorb light.

**Schematic Site Plan.** An initial or conceptual plan as submitted to the ARC of the Journal Center 2.

**Signs/Building Wall Signs.** Signs mounted directly on a building face.

**Signs/Permanent Ground Signs.** Signs that are detached from a building wall, sometimes called monument signs.

**Solar Gain Restriction.** A restriction of the City of Albuquerque Zone Code from the northern boundary of a property that further limits the location of a building to reduce the shadow effect on property to the north during winter months.

**Stormwater Treatment Device.** A device which is installed on the site which is intended to filter stormwater of noxious materials such as suspended solids. Suspended solids include trash and other debris as small as 1/8" in size.

**Tiburon.** Tiburon Investment LLC, which is the owner of Journal Center 2 at the time of promulgation of these Design Guidelines and which is the developer of Journal Center 2.

**Vehicular Access and Circulation.** Areas on individual sites designed to accommodate vehicles for entering the site, parking, loading and unloading and exiting.

**Water Features.** Fountains, waterfalls, ponds, etc. (Not allowed within Journal Center 2).

**Water harvesting.** The collection of storm water from roof tops, parking areas and other impervious surfaces through swales and / or underground piping, and routing it for the supplement of landscape irrigation.

**Zero Lot Line Building.** A zero lot line building is a building located on a lot line with no setbacks. In the case of Journal Center 2, these buildings would straddle a property line and each half may be owned by two (2) separate entities.

## Section 1. Land Use and Character

The character of Journal Center 2 is an aesthetically pleasing, well landscaped mixed use business campus. Contemporary architecture and native or adapted plantings should be used throughout the campus in order to integrate the various land uses and businesses with one another and with the environment. To ensure that Journal Center 2 design goals are met the guidelines are organized around the following improvement categories.

- Site Planning
  - Parking and Vehicular Circulation
  - Pedestrian Connections
  - Landscaping
  - Landscape Area Designations
  - Building Setbacks
  - Screening and Shade
  - Lighting
  - Signage
  - Employee Spaces: Plazas, Storage, and Miscellaneous Space
  - Maintenance
  
- Architecture
  - Massing
  - Building Heights
  - Materials
  - Colors
  - Screening Equipment

Journal Center 2 is divided into three land use types. Each is defined below, including applicable lot numbers.

### **Large Office Campus (4+ Acre Lots)**

Parcels of 4 or more acres provide an opportunity for clustered or multi-story office buildings and campuses.

### **Small Office (1/2+ Acre Lots)**

These 1/2+ acre parcels are clustered to provide private campus-like buildings. The buildings are smaller and intended to be architecturally integrated. Pedestrian connections between the offices as well as shared parking is encouraged.

## **Office/Warehouse (1+ Acre Lots)**

These 1+ acre parcels are intended for offices or offices with warehouses as a transition between the Journal Center 2 office core and surrounding industrial land uses. Therefore, the street-facing elevations of these parcels shall feature offices or showrooms, leaving warehouses toward the back of the lot. This site design will aid in the integration with nearby offices. Parcels may be combined and assembled to form longer tracts with the potential to cluster buildings and share access and parking to maximize truck circulation.

## Section 2. Design Guidelines

These Design Guidelines apply to all land use areas: Large Office Campus, Small Office Campus and Office/Warehouse. However, there may be additional or different design guidelines for particular land uses within the three main land use areas. In such cases, there will be special guidelines or exceptions provided for such land uses.

### 2.1. Site Planning

#### 2.1.1. General

#### 2.1.2. Parking and Vehicular Circulation

- Parking is per Journal Center Development Standards and City of Albuquerque parking requirements.
- Parking along the sides of buildings is strongly encouraged. Where parking fronts on streets, a 3 foot solid wall or screening of mature landscaping is required (see Figures 1 and 2).
- Large truck parking shall be separated from automobile and light truck parking.

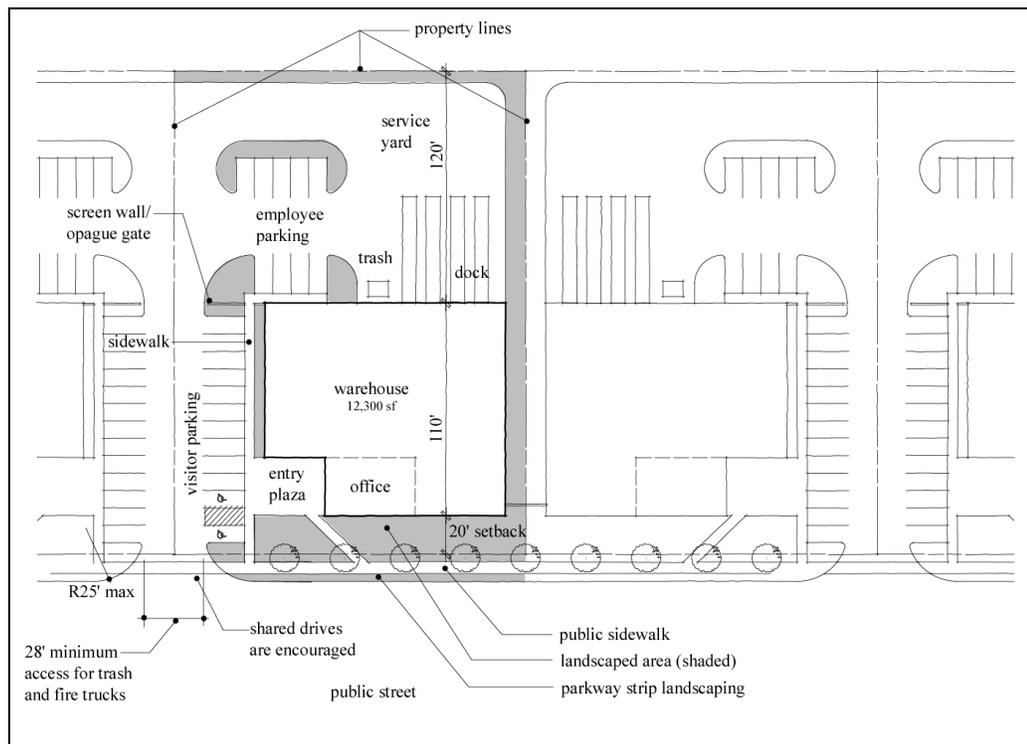


Figure 1. Building Typical Layout Traffic Circulation and Parking with Setbacks

- Allowable materials for parking surfaces include asphalt, concrete, pigmented, stamped or textured concrete, concrete pavers, stone pavers, and brick (no gravel or crusher fines are allowed). Use of pigmented paving is encouraged on the streetside of parcels.
- Large truck parking shall be screened from view from adjacent office buildings by tall mature landscaping and/or solid walls. Landscaping or wall must be tall enough to screen truck trailers (see Figures 1 and 2).
- Carports are allowed if materials are integral to building architecture.
- Access to storage yards & refuse containers shall be provided while being screened from the street.

- A 10' setback from the right-of-way is required for parking spaces and circulation drives.
- Site planning shall provide for pedestrian circulation that is separated from drive aisles (i.e. does not include storage yards at the rear of buildings) (see Figures 1 and 2).
- Turning movements for large trucks shall be directed by bollard placement or other devices. Such bollard or device placement shall indicate safe pedestrian circulation.
- Clearly demarcated Car / van pool preferred parking spaces are to be located near building entrances to encourage carpooling.

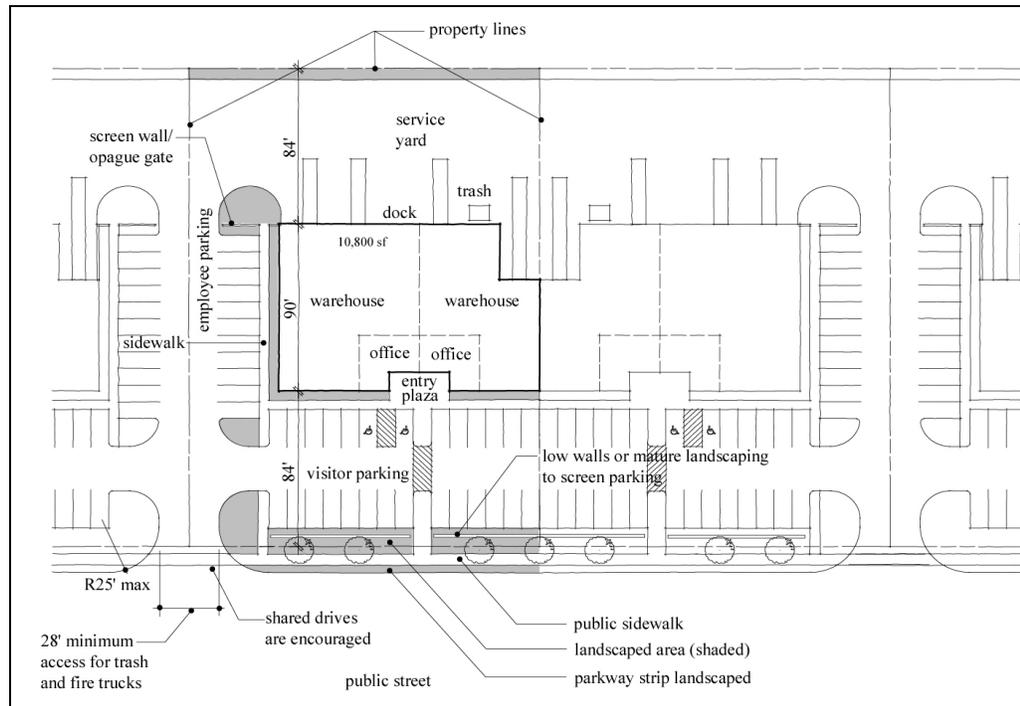


Figure 2. Zero Lot Line Layout Traffic circulation and Parking with Setbacks

### 2.1.3. Pedestrian Connections

- Pedestrian access along streets within Journal Center 2 shall be provided according to the Streetscape Plan (see Appendix B).
- Pedestrian access shall be separated from vehicles traveling on the internal streets of Journal Center 2. This will occur in the form of landscaping or wider sidewalks (See Appendix B).
- Pedestrian connections shall be made from the street to the building entrance.
- Where pedestrian paths cross vehicular entrances and drive aisles, crossings shall be a minimum width of 6-feet and clearly demarcated with slightly raised and/or textured paving, or accented with brick trim, pigmented concrete, etc. (see Figure 7).
- Where sidewalks cross drivepads and curb returns at parking lot entrances, sidewalk cross slope shall be a maximum of 2% (see Figure 7).
- A sidewalk with a minimum horizontal clearance of 6' shall be provided for all office buildings and office warehouse buildings (8' for multiple entry and/or multiple tenant buildings) along building sides where needed to provide

direct connections from the public pedestrian circulation system to the building entrance. In all cases, a 4' landscaping area shall be provided between the building and the walk.

- Americans with Disabilities Act (ADA) compliant parking shall be located adjacent to main building entries.
- All handicapped (HC) ramps constructed in common areas such as those at lot corners and drive pads are to be constructed during individual lot site development (see Figure 7).

**OFFICE USE ONLY:** Each office building exceeding 50,000 square feet shall have a clearly defined, highly visible entrance with features such as canopies or porticos, arcades, arches, wing walls and/or integral planters. Office buildings exceeding 5,000 square feet shall also provide a "plaza area" at the main entrance of no less than 400 square feet. Visible areas shall be accented with color concrete, pavers, etc.

#### 2.1.4. Stormwater Treatment Device

Every parcel within Journal Center 2 which lies directly adjacent to the North Pino Arroyo is required to treat any stormwater surface flow which falls onto that parcel, prior to release into that AMAFCA controlled storm channel by way of a stormwater treatment device. The Treatment Device would be used to filter stormwater of noxious materials such as suspended solids. These solids include Styrofoam, cigarette butts, and other trash. No chicken wire, untreated metal wire or other non decorative fencing can be used. These Stormwater Treatment Devices can also be used to separate silt from stormwater. A graphic showing the general concept is shown in Figures 3 and 4. Examples of devices that may be used for this purpose are shown in Figures 5 through 6.

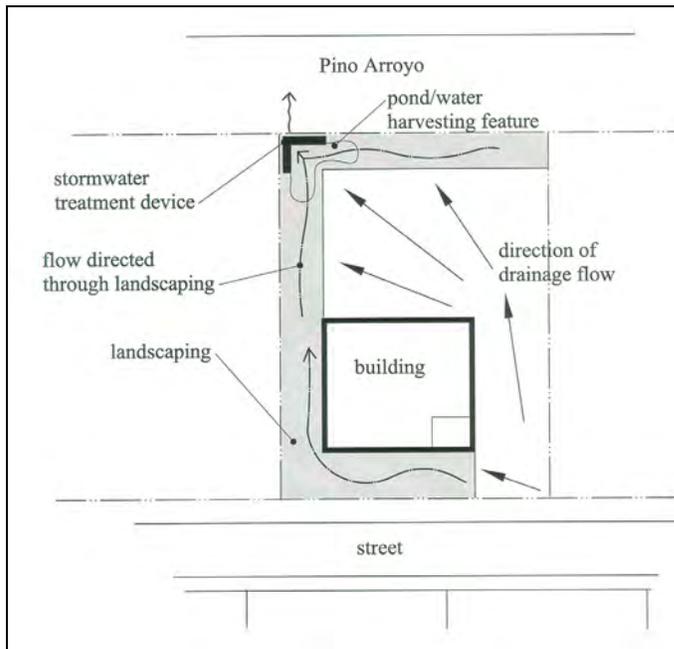


Figure 3. Screening Device

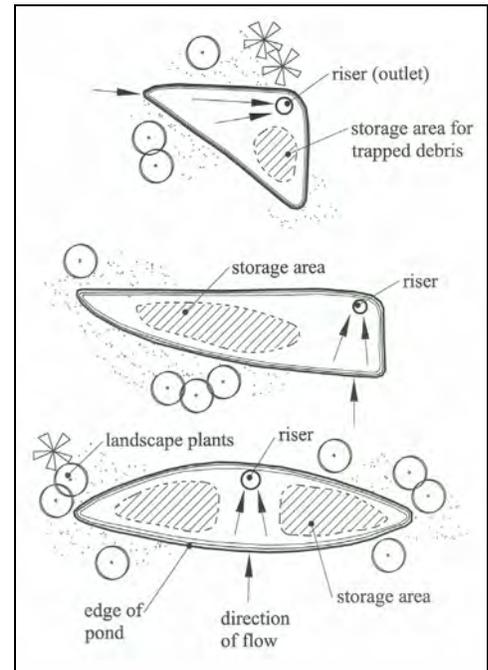


Figure 4. Various shapes for storage areas within basins

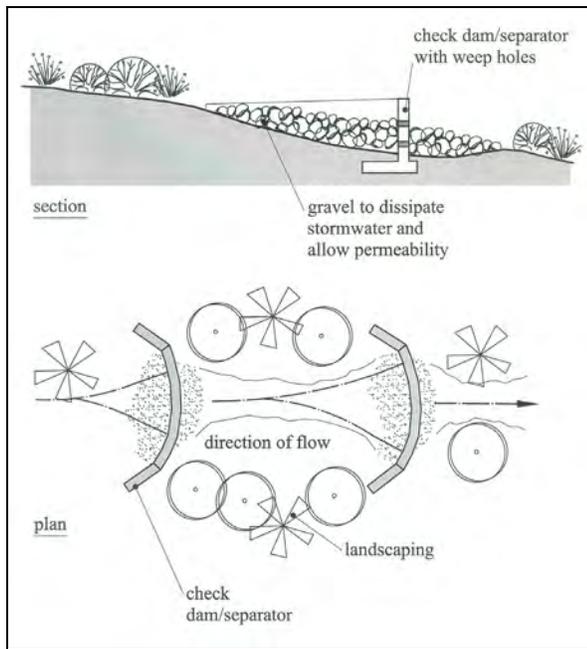


Figure 5. Check Dam Device

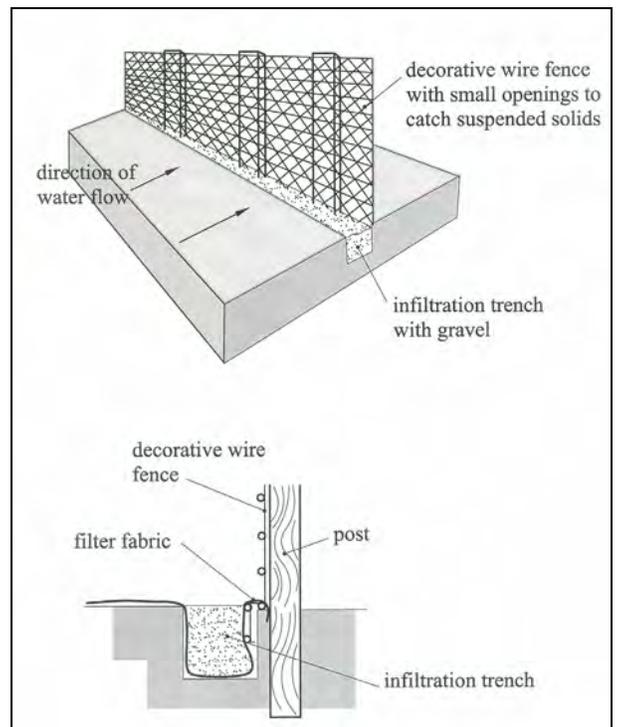


Figure 6. General diagram showing direction of flow and relationship to channel

### 2.1.5. Landscaping

#### Treatment of Landscaped Areas

In general, landscaped areas shall be treated with consistency and environmental appropriateness using water and other resources as conservatively as possible. Journal Center 2 has been developed to promote this approach with a Streetscape Plan landscape concept (see Appendix B), Acceptable and Prohibited Plants/Acceptable Irrigation Equipment (see Appendix C), the Landscape Plan, and a range of suitable development options. Irrigation shall be consistent throughout all common areas in regard to equipment used and in design. It is also important to implement landscapes which are relatively mature at time of installation and dense in terms of their coverage to try to provide an enhanced curb appeal. Use of amenities such as sculpture and other features in the landscape is also encouraged. In all cases landscape design and construction shall meet the requirements of the City.

#### Densities and Coverage

Living plant material shall cover 75% of all landscape areas at maturity. The use of mulch is encouraged, not as a landscape feature, but as a temporary surface treatment until plant materials mature. No motifs or designs made entirely out of gravel are allowed. No designs using multiple colors of gravel are allowed, and at least one color shall match that used in the parkway strip. Other ground treatments could include turfgrasses from the approved plant list and hardscape. Native grass reclamation is only to be used as an interim step in development.

**A minimum of 15% of the site must be landscaped.**

**Minimum size requirements from the approved plant list are as follows:**

- Deciduous Trees – 2" Caliper or 20 gallon
- Evergreen trees shall be at least 6' tall at time of installation.
- Shrubs – 5 gal.

- Ground Covers and Perennials – 1 gal.

*Note: No plants smaller than 1 gal. are allowed unless planted as annual color or as massings of ground cover with densities of 12" on center or greater.*

**Acceptable mulch materials are as follows, others can be used with approval:**

- Gravel
- Cobblestone
- Bark
- Pecan Shells

**All landscape plans for Journal Center 2 shall be submitted to the Journal Center 2 ARC, following procedures as described in Section 3 of these Guidelines.**

### Use of Site Building Materials

All building materials used in landscaping Journal Center 2, whether in common or private areas, shall maintain contextual integration with the architecture for a given parcel, in material and style (see Appendix E).

### Amenities

- Water Features are not allowed within Journal Center 2
- Sculptural Elements: The character of Journal Center 2 is derived from the character of the land and its people. Sculptural elements, if used, shall reflect the cultural, climatic, historic, and geographic influence of the southwest in form, materials and color and should complement building materials. Sculptures must be submitted to the Journal Center 2 ARC for review and approval.
- Sustainability and Water Use: Responsible use of water is highly desirable. Water harvesting is encouraged.

## **2.1.6. Landscape Area Designations**

Parcel owners are required to install landscaping in certain common areas pursuant to the Landscaping Master Plan for Journal Center 2.

### Streetscape Common Areas

The landscaping at Journal Center 2 has been separated into two main divisions: common areas and private areas. Under common areas (refer to Appendix D for Phase I), there are two distinctions: developer installed landscaping and parcel owner installed landscaping. The developer will install landscaping along portions of street and at critical intersection areas; all other areas are the parcel owner's responsibility (refer to Appendix D for Phase I property). However, the parcel owner must install landscaping matching that of the developer in the common area between the back of curb and the sidewalk and that landscape irrigation is to be connected to the common area irrigation system installed by the developer. In the private areas (outside common area) the parcel owner will be responsible for all improvements, including parkway, landscaping, sidewalks, common area and private area landscaping for each lot, see Appendix B. Throughout Journal Center 2, all streetscape shall be consistent with the Landscaping Master Plan. It is required that plants and material selection for all landscaping be drawn from the list of Acceptable Plants and Materials in Appendix C.

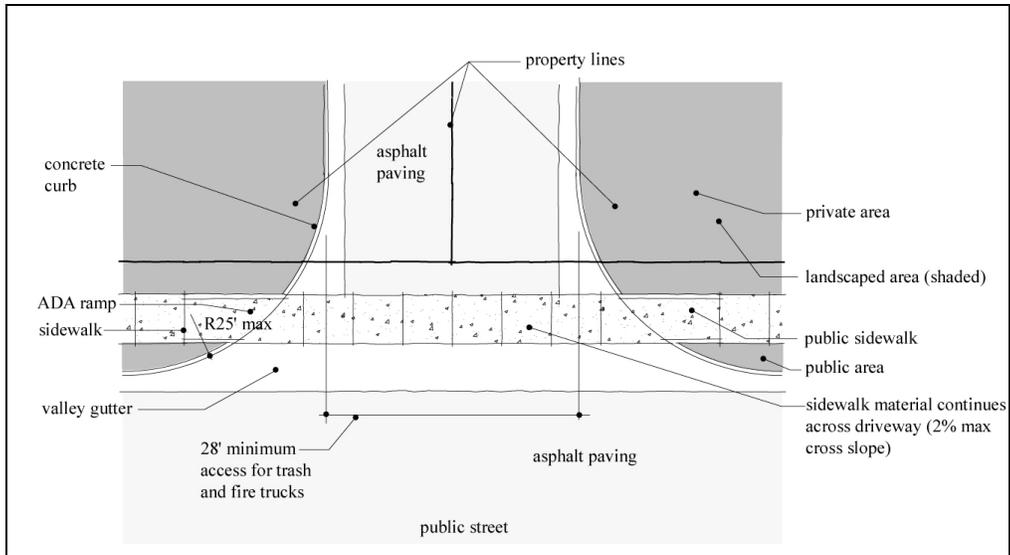


Figure 7. Drive-cut Sidewalk Entrance Detail

### Private Area Landscapes

Landscaping of private areas shall follow the design guidelines including the list of Acceptable and Prohibited Plants/Acceptable Irrigation Equipment in Appendices C and D. However, individuation is encouraged within these parameters. Further, the landscape in the common or private areas of individual lots should integrate aesthetically with the landscaping in the parkway strip.

#### 2.1.7. Building Setbacks

- Building setbacks from front right-of-way line shall be 20' and at side and rear shall be 10'.
- Locating the building at the 20' building setback is encouraged, in order to provide parking at building sides rather than within the front yard. In no case shall parking be within 10' of the right of way (see Figures 1 and 2).
- Zero lot line buildings attached / straddling property lines are compatible with these design guidelines, however, it may require a variance from the City Zone Code. In those instances where zero lot line development is proposed, all other screening and design guidelines shall apply (see Figure 2).

#### 2.1.8. Screening and Shade

- All walls visible from an adjacent street within Journal Center 2 shall be solid, integral with building architecture, and consistent with the Wall Design as shown in Figure 8.
- No chain link, razor wire (concertina), wood, grape stake, or plastic vinyl fencing is permitted. Side yard fencing shall be opaque where office/warehouse (land use 3) abuts office lots (land uses 1, 2).
- No chain link, razor wire (concertina), wood grape stake, or plastic vinyl fencing is permitted when visible from the street.
- Low walls 3' high or mature landscaping shall be used to screen parking spaces adjacent to streets. If a wall is used it shall integrate with building materials/colors and shall be consistent with the Wall Design in Figure 8.
- Refuse enclosures shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain link gates or enclosures are not allowed.

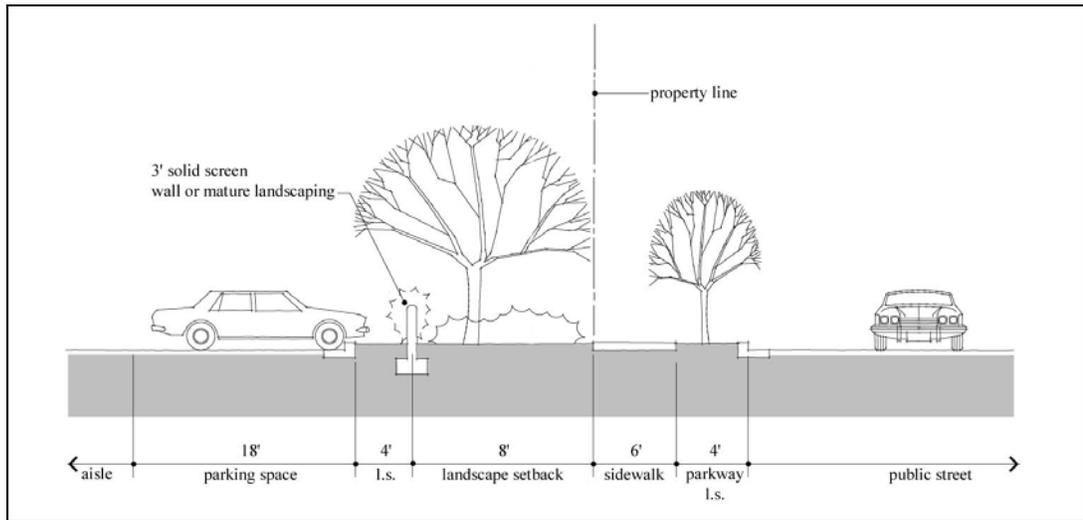


Figure 8. Wall Design

- A 6' high solid wall used to screen loading, and delivery/storage areas is required where visible from adjacent streets.
- Utility boxes shall be located inconspicuously, away from pedestrian and vehicular entrances, and screened with either mature landscaping or approved screen walls.
- Drive through facilities shall be shaded with architecturally integrated canopies.

#### 2.1.9. Lighting

- See Appendix F for light standards to be located within the front yard common areas. This standard will be consistent throughout the development. Private area parking lot lighting is discretionary.
- For pedestrian lighting a maximum height of 16' and fully shielded horizontal cut-off lamps are required.
- Building lighting shall be no higher than 20' and shall be shielded / cut-off lighting.
- Pedestrian scale light bollards are encouraged along walkways.
- No "wall pack" lights are allowed in front or side yards.
- No flood lights are allowed.
- Parking lot lights shall be cut-off type and no taller than 24' from grade.

#### 2.1.10. Signage

- Monument signs are allowed in Journal Center 2. They shall not exceed 60 square feet, and shall be no taller than 6' in height from grade. See Figure 9 for detail on materials, colors and signage sizes and configurations. Sign width may vary with the approval of the Journal Center 2 ARC, however overall style must remain the same.
- All other signage is building mounted (see section 2.2.7).

## 2.1.11. Employee Spaces: Plazas, Storage, And Miscellaneous Space

- Any outdoor patio space shall provide shade for users.
- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- All outdoor storage shall be limited to 20 feet in height. Storage buildings must be architecturally compatible with main building or parcel. No portable buildings will be allowed. Storage units shall not be visible from the street, although they may be visible from adjacent businesses, unless in large office campus or small office land use categories. Outdoor storage tanks shall be limited in height to no taller than 10' below the top of the building parapet and they must not be visible from adjacent properties or street rights-of-way.

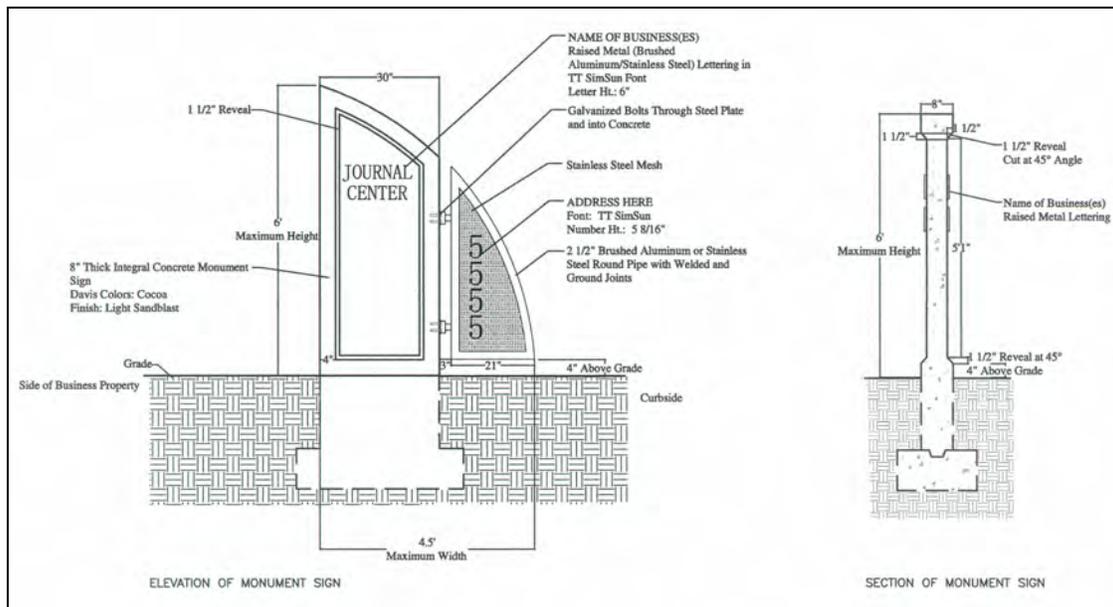


Figure 9. Journal Center 2 Monument Sign

## 2.1.12. Maintenance

- The Journal Center documents and Journal Center 2 documents apply to the maintenance of Journal Center 2 buildings, landscape, and site.
- Parcel owners at Journal Center 2 are responsible for the maintenance of their Stormwater Treatment Devices. Maintenance includes general upkeep, landscape maintenance (if the device is part of the landscape), removal of any material that would block the flow of stormwater, and the removal of suspended solids and silt which blocks stormwater flows. Clean-up must occur within seven (7) days of the time which the undesirable material is deposited.

## 2.2. Architecture

### 2.2.1. General

- The architectural theme is contemporary. No Pueblo revival, Territorial or Northern NM or other “historical styles” of architecture are allowed.
- No “off the shelf” metal buildings are allowed.
- No gutters or down spouts shall be located on the front elevations of buildings.
- No pitched roofs are allowed.
- No Mansard roofs are allowed.
- No “Double T” or “Single T” buildings are allowed.
- Building design shall be architecturally integrated within the site and contextually related to buildings within the vicinity.
- No generic franchise building elevations or canopies are permitted.
- Columns and beams should be kept to a minimum. Only simple and clean column designs are allowed. Prohibited column & beam types are those with historical references such as Greco Roman, Victorian, Rope Vigas, etc.
- No exposed metal ribbed panels are allowed on building exteriors.
- All canopies and ancillary structures shall be architecturally integrated with main buildings. Special consideration shall be given to covered parking canopies, where they occur.
- ATM’s shall be architecturally integrated with building design, materials and colors.
- Any garage doors are to be reviewed and approved by the Journal Center 2 ARC. Garage or overhead doors shall be consistent with the color palette of the building and must not be visible from the street.
- Decks
  - Deck support columns must have visual strength and size to give the appearance of mass, unless hidden from view. Columns must meet design guideline requirements.
  - Second story or elevated decks shall be of materials and colors integral to the main building.
  - Undersides of decks shall be finished. No exposed framing is allowed if visible.
  - Deck lighting shall comply with Journal Center 2 lighting standards in these guidelines.
- No freestanding cell or microwave tower antenna shall be permitted. Roof-or wall mounted antenna or microwave equipment shall be screened or integrated into building architecture.
- No clock towers or flagpoles are allowed without the written approval of the Journal Center 2 ARC. If allowed, these elements must be in scale with the building and the location and height must be approved by the ARC.
- Loading dock doors are required on buildings 10,000 square feet or larger.
- Energy Conservation is encouraged.
- Mail boxes: The postal service shall have final approval of the mail receptacle and delivery system for each business. In general, large multi story office buildings will require a mailroom, single business offices may have in-office delivery or a built-in mailbox. Small businesses in close proximity to one another may have grouped mailboxes.

### 2.2.2. Massing

- Office/Warehouse massing shall be “softened” by locating the office at the front/street side and stepping the height up. Offices shall be integrated into building design, not simply “stuck on” the front or completely within the building footprint (see Figure 10 below for examples of intent).

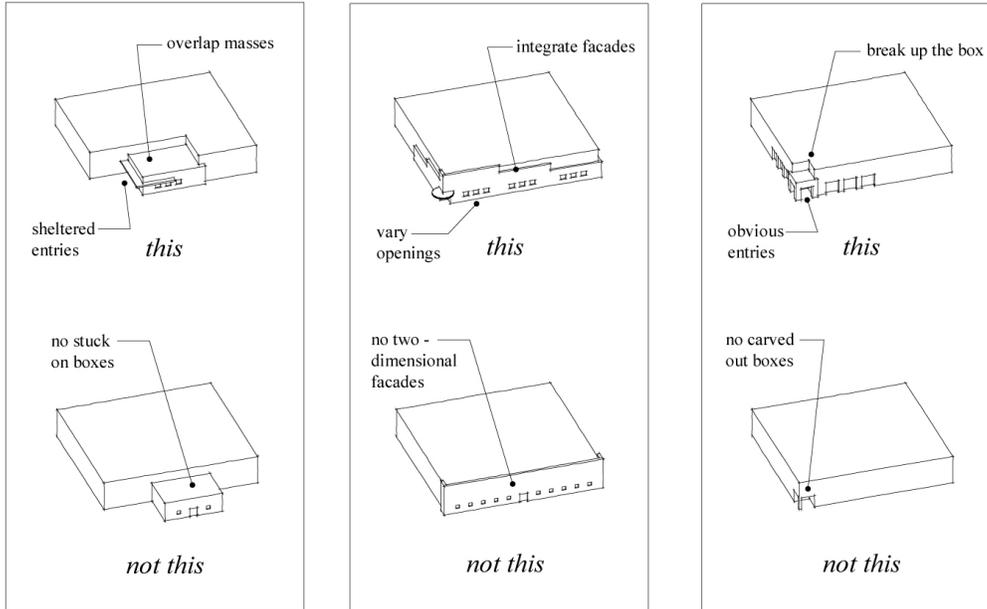


Figure 10. Stepped down Massing Detail

### 2.2.3. Building Heights

#### Large Office Buildings

Large office buildings shall comply with the City of Albuquerque Zoning Code.

#### Small Office Building

Small office buildings shall have a maximum height of 26’.

#### Office Warehouse Building

Office / Warehouse buildings shall have a maximum height of 34’.

### 2.2.4. Materials

The purpose for limiting materials and color palettes within Journal Center 2 is to establish an overall level of quality and a consistency in visual appearance. The basic color concept is to provide an overall appearance of predominantly darker, earth tone buildings with small, well placed areas of accent color to provide interest and variety between individual buildings. However, larger warehouse structures can utilize a lighter earthtone color (see Appendix E).

Basic building materials allowed are:

- Exterior materials / finishes include tilt-up integrally pigmented concrete panels, stucco, masonry including brown and dark red brick (no gray, yellow, beige or used brick), stone, cultured stone or integral color CMU (no slump block or plain gray CMU block allowed.) Other materials may be considered by the Journal Center 2 ARC. No painted masonry is allowed.
- Office: Front elevations of office buildings shall have a minimum of 5% and no more than 80% glazing.
- Office Warehouse: Front elevations of office warehouse buildings shall include glazing as follows: on the office portion, 5% to 80% shall have glazing; on the warehouse portion facing the street, at least 5% shall be glazing.
- Recessed windows are encouraged to provide depth and shadows.
- Windows shall be commercial grade. Glass colors are limited to clear, light green, and light amber. Tinted glass for the sake energy efficiency is allowed, however “mirror” windows are not allowed.
- No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- Metal / steel articulation is allowed, including white, bronze, nickel, clear anodized aluminum, copper, or accent colors. No highly polished metals are allowed; they shall be brushed or matte finish.
- Details of the flashing and scuppers are subject to review by the Journal Center 2 ARC. Visible sheet metal shall be coated by an approved method, such as powder coating.
- Door materials and colors should be consistent with the building’s color palette. Wood doors are not encouraged for Large Office Campus and Office Warehouse land uses and shall be reviewed and approved by the Journal Center 2 ARC.

### 2.2.5. Colors

The Journal Center 2 color scheme includes up to three (3) colors per building: 1) the main building color; 2) an accent building color which may be applied on up to 10% of the facade; and 3) metal /trim finishes including windows, doors, metal appendages / portals. See Appendix E for acceptable main building colors.

- Colors for predominant building finishes include medium “earth” tones ranging from tan, khaki, to dark browns and dark reds.
- Colors for accent building finishes are at the architect’s discretion; however, accent colors are subject to review and approval by the Journal Center 2 ARC.
- Colors for building lighting are to match walls and / or site lighting fixtures.
- Stucco shall have a maximum reflexivity value of 40.
- No bright white building finishes are allowed as main building colors. Warehouse portions of buildings may be lighter than the office fronts to reduce their visual bulk (see Appendix E).

### **2.2.6. Screening Equipment**

- Parapets shall screen all rooftop equipment and appurtenances (solar panels, mechanical, etc.) from view from all property lines. Alternatively, rooftop equipment shall be screened by rooftop screen walls that are treated to match the predominant building color. In addition, all rooftop equipment shall be painted to match the predominant building color.
- Satellite dishes shall be located on the roof, and shall not exceed 36" in diameter. Dishes shall be screened by the parapet or rooftop screen walls.
- All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.

### **2.2.7. Building Mounted Signage**

- Wall mounted signs shall be reviewed and approved by the Journal Center 2 ARC. They should be proportional to the wall area and visible to the setback distance from the street. Signs are limited to a single building and shall be limited to two (2) elevations. Individual channel letters are encouraged. No illuminated plastic panel signs are allowed with the exception of logos. All building signage shall be limited to a maximum area of 6% of the wall area the sign is mounted on, but shall not exceed 100 square feet.

## Section 3. Design Approval Process

### 3.1. Submittals and Approvals to the Journal Center 2 Architectural Review Committee

During the time that Tiburon owns any property in Journal Center 2, Journal Center 2 property development must be approved by both the Journal Center ARC and Journal Center 2 ARC.

For Journal Center 2 Property, and as set forth in the Amended Declaration, lot developers are required to make those submittals required under the Journal Center Documents first to the Journal Center 2 ARC. Lot developers are required to submit plans prepared by a licensed architect, landscape architect and engineer. All submittals must include five copies of all plans, specifications and other documents submitted. The submittals must be sent to:

Journal Center 2  
c/o Tiburon Investment , LLC  
13000 Academy Road NE  
Albuquerque, New Mexico 87111  
Attention: Administrative Manager

Five sets of drawings are required for each stage of the submittal process to the Journal Center 2 ARC. The Journal Center 2 ARC will initially review the submittals and make a recommendation to the Journal Center ARC for approval or disapproval. Reference is made to the Amended Declaration and Declaration for details of the approval process.

The required submittals and stages of review will be the same as for Journal Center, as set forth in the Journal Center Documents, a brief outline of which is set forth as follows (please refer to the Journal Center Standards):

#### 3.1.1. First Stage

- Review Basic Covenants/Guidelines for Journal Center and Journal Center 2 (reference)
- Submit Schematic Plans to Journal Center 2 ARC showing:
  - Location of Building
  - Egress and Ingress
  - Parking and Circulation
  - Landscape
  - Preliminary Building Elevations
  - Building Footprint or Floorplan
  - Grading Concepts

#### 3.1.2. Second Stage

- Submit Design Development Plans to Journal Center 2 ARC Showing:
  - Exact Location of Building

- Service Areas (Trash, Loading Docks, etc.)
- Utility Locations
- Exact Egress and Ingress
- Signage
- Parking and Circulation
- Landscape
- Building Elevations
- Building Materials
- Building Colors
- Pedestrian Circulation on Site
- Mechanical Screening
- Stormwater Treatment Device
- Grading and Drainage Plans
- Floorplans (show doorways and windows)

### **3.1.3. Third Stage/Final Approval**

- Submit final set of development plans to Journal Center 2 ARC including:
  - Site Plan
  - Landscape Plan
  - Grading and Drainage Plan
  - Building Elevations
  - Building Floorplans
  - Details of Signage

Final approval will be granted in writing and submittal package will be forwarded to Journal Center 2 ARC, following approval applicant may submit plans to the City of Albuquerque. Contact Administrative Manager for Tiburon Investment LLC to set up inspection date.

### **3.1.4. Final Inspection by Journal Center 2 ARC**

Final inspection of the entire landscape, site and building must be conducted at the completion of construction activities.

### **3.1.5. City of Albuquerque Approval**

After approval of the plans by both the Journal Center ARC and Journal Center 2 ARC, plans must be submitted to the City of Albuquerque for approval. All Journal Center development is subject to the City of Albuquerque ordinances and zoning code. The parcel owner is responsible to obtain such approval.

These Guidelines may not address every site plan, building, design or approval issue at Journal Center 2, The Journal Center 2 ARC may impose requirements or conditions that are additional to those requirements and conditions specifically indicated in these Journal Center 2 Design Guidelines.

Four years after the time that Tiburon no longer owns property in Journal Center 2, the Journal Center 2 ARC shall cease to function and exist. At that time all reviews shall be made by the Journal Center ARC. Journal Center ARC will review

plans for compliance with all of the Journal Center Documents and Journal Center 2 Documents and Journal Center 2 shall continue to be subject to the Journal Center 2 Documents. Tiburon may terminate the existence of the Journal Center 2 ARC prior to the time described above by executing a written instrument in recordable form and having the document recorded in the real estate records of Bernalillo County.

### **3.2. Variance from Design Guidelines**

A variance from the Journal Center 2 Land Development Design Guidelines is possible and may be granted with the approval of the Journal Center 2 ARC.

The variance will only be granted when in the opinion of the Journal Center 2 ARC an unusual or unique condition exists in the site context, topography, environmental condition or other circumstance that affect the development of the lot. A variance will only be considered when unusual or unique conditions exist and when in the opinion of the Journal Center 2 ARC, the variance requested is preferable to the requirements of the Journal Center 2 design guidelines.

The variance submittal process must include a letter of "Request for Variance" from the parcel owner sent to the Journal Center 2 ARC with any pertinent plans or graphics used as back-up information.

### **3.3. Construction and Modifications After Initial Construction**

No structure shall be placed, erected, or installed on any lot, and no improvements (including excavation, grading and other site work, exterior alteration of existing improvements, and planting or removal of landscaping materials) shall take place except in compliance with these guidelines and with written approval of the Journal Center ARC or its successor.

Any owner may remodel, paint or redecorate the interior of structures on his property without approval. However, modifications to areas visible from outside the structure shall be subject to approval by the Journal Center ARC or its successor.

The process for approval of modifications shall follow the three stage process used for initial plan approval (Sections 3.11, 3.12 and 3.1.3) including final inspection (3.1.4)

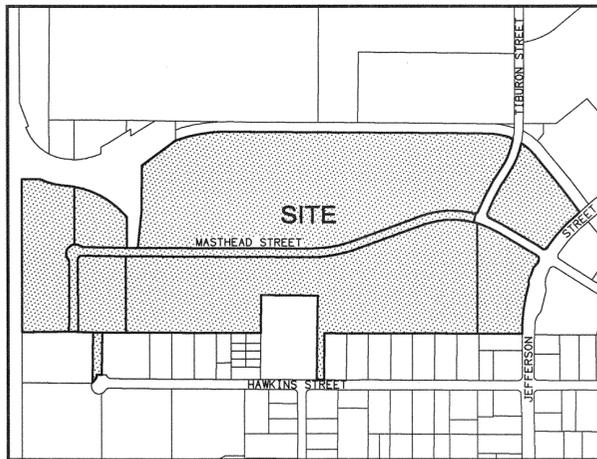
## Section 4. Designation of Journal Center 2 Common Properties

Pursuant to the Amended Declaration, Tiburon may designate the Journal Center 2 Common Properties pursuant to the Design Guidelines. The Journal Center 2 Common Properties are those areas shown in Appendix D, which presently are all located within public rights-of-way. Tiburon and the other Declarants (as defined in the Amended Declaration) may amend Appendix D to designate new, or redesignate the existing, Journal Center 2 Common Properties. The Journal Center 2 Common Properties are subject to the terms of the Amended Declaration.

# Appendices

# Appendix A Final Plat

SP-00120614510406



LOCATION MAP

ZONE ATLAS MAP NO. D-17-Z  
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB Project # 1000633 Appl. # 01440-00000-00277
2. Zone Atlas Index No. D-17-Z
3. Gross Subdivision Acreage: 96.9654 Acres.
4. Total Number of Tracts/Lots created: Three (3) Tracts and Sixteen (16) Lots
5. Total mileage of full width Streets created: 0.7179 Mile.
6. Total mileage of partial width Streets created: 0.2141 Mile.
7. This Plat shows existing easements.
8. Date of Survey: February, 1999
9. Plat is located within the Elena Gallegos Grant, within Projected Section 23, T11N, R3E, N.M.P.M.
10. Record Bearings and Distances of JOURNAL CENTER, recorded June 30, 1983 in Volume C21, Folio 126 are shown in parenthesis ( )
11. Record Bearings and Distances of Lot 9A & 7A-1A, JOURNAL CENTER, recorded September 7, 1999 in Book 99C, Page 262 are shown in brackets [ ]

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tracts 6A, 8A, 8F-1, 8G-1, 10A, Snarroll Street right-of-way and a portion of Masthead Street right-of-way of the JOURNAL CENTER, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 30, 1983 in Volume C21, Folio 126 as Document No. 83-43105 together with all of Tracts 9A-1 of the JOURNAL CENTER, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 8, 1987 in Volume C34, Folio 127 as Document No. 87-93767, together with all of Tract 7A-1A of the AMENDED PLAT OF LOT 9A & 7A-1A, JOURNAL CENTER, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 29, 1999 in Book 99C, Page 274 as Document No. 1999125318 into Three (3) Tracts, and sixteen (16) Lots to dedicate Public Street Right-of-way to the City of Albuquerque, to dedicate additional drainage rights-of-way to AMAFCA, to vacate Public Street Rights-of-way, to vacate Public Utility Easements and to grant Public Utility Easements.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# 7UPC Codes See attached Tax certificates. PROPERTY OWNER OF RECORD: Tiburon Investment Corp. Date: 3-15-2001

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Elena Gallegos Grant, within projected Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts 6A, 8A, 8F-1, 8G-1, 10A, Snarroll street right-of-way and a portion of Masthead Street right-of-way of the JOURNAL CENTER, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 30, 1983 in Volume C21, Folio 126 as Document No. 83-43105, together with all of 9A-1 of the JOURNAL CENTER, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 8, 1987 in Volume C34, Folio 127 as Document No. 87-93767, together with all of Tract 7A-1A of the AMENDED PLAT OF LOT 9A & 7A-1A, JOURNAL CENTER, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 29, 1999 in Book 99C, Page 274 as Document No. 1999125318, now comprising Tracts 6A-1, 8A-1, 9A-1A and Lots 1 through 16 inclusive of JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby dedicate drainage rights-of-way shown hereon to AMAFCA in Fee Simple and do hereby grant: All access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead Utilities where shown or indicated, and in the event Grantor, its successors and assigns, constructs and improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purpose of performing the Work. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

Owner of Tract 8A-1 and Lots 1 through 16 inclusive TIBURON INVESTMENT CORP.

BY: Steven K. Moise, President

BY: Richard G. Elkins, Treasurer

State of New Mexico)
SS
County of Bernalillo )

This instrument was acknowledged before me on 26 day of Feb. 2001 by Steven K. Moise, President and Richard G. Elkins, Treasurer of Tiburon Investment Corp.

My Commission Expires: 4-15-01

OWNERS OF TRACTS 6A-1 AND 9A-1A JOURNAL CENTER CORPORATION

BY: T. H. Lang, President

State of New Mexico)
SS
County of Bernalillo )

This instrument was acknowledged before me on 26 day of February 2001 by T.H. Lang, President of Journal Center Corporation.

My Commission Expires: 4-12-2003

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWest for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 27).
2. Distances are ground distances.
3. All easements of record are shown.
4. A variance of waiver from certain subdivision requirements has been granted by the City and Albuquerque Metropolitan Arroyo Flood Control Authority in condition with this plat.
5. Future subdivision of lands within this plat, zoning site development plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies. In effect at the time for any specific proposal.
6. The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed with future plats or site development plans are approved.
7. Existing 150 foot wide Public Service of New Mexico Easement granted by Grant of Right-of-Way dated August 8, 1956, recorded August 10, 1956 as Document No. 3174 in Book D359, Pages 275-282, and Grant Right-of-Way dated January 9, 1959, recorded January 15, 1959 as Document No. 98462 in Book D459, Pages 329-333 and amended by Document recorded January 15, 1959 in Book D459, Pages 359-361, of the County Records, Bernalillo County, New Mexico.
8. Centerline (in lieu of R/W) Monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a four-inch (4") aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS #6544". A Temporary Blanket Drainage Easement is granted within Tract 8A-1. This easement is subject to adjustment in size, shape, dimension and location as plans for future development of Tract 8A-1 become more firm. Reversion of any Temporary Easement or portion of Easement not required for Drainage Improvements shall require the approval of The City of Albuquerque by way of a Vacation Action.
9. In the event Grantor constructs any City-approved temporary improvements (i.e. ponds) within the Temporary Blanket Drainage easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the work affects any improvements or Encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or Encroachments. If, in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or Encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the improvements or Encroachments. Maintenance of any Grantor temporary improvement is the responsibility of the Grantor.
10. A 50' wide floating sanitary sewer easement is granted to the City of Albuquerque with the filing of This plat for the purposes of constructing a future sanitary sewer line within tract 8A-1. The exact Location of this easement will be further defined by future platting actions and will likely be located within or covered by future public street right-of-way.

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PLAT OF JOURNAL CENTER PHASE 2, UNIT 1

ALBUQUERQUE, NEW MEXICO JANUARY, 2001

APPROVALS

Table with columns for PLAT NUMBER (1000633), APPROVAL TYPE, NAME, and DATE. Includes approvals from Planning Director, City Engineer, Traffic Engineer, City Surveyor, Property Management, Utility Development Department, Planning & Policy Section, Qwest Communications, Comcast Cable, PNM Electric Services, and PNM Gas Services.

SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October 1, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver, A. Dwain Weaver, New Mexico Professional Surveyor 6544, Date: January 30, 2001

Bohannon & Huston logo and address: Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109. Services listed: ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS.

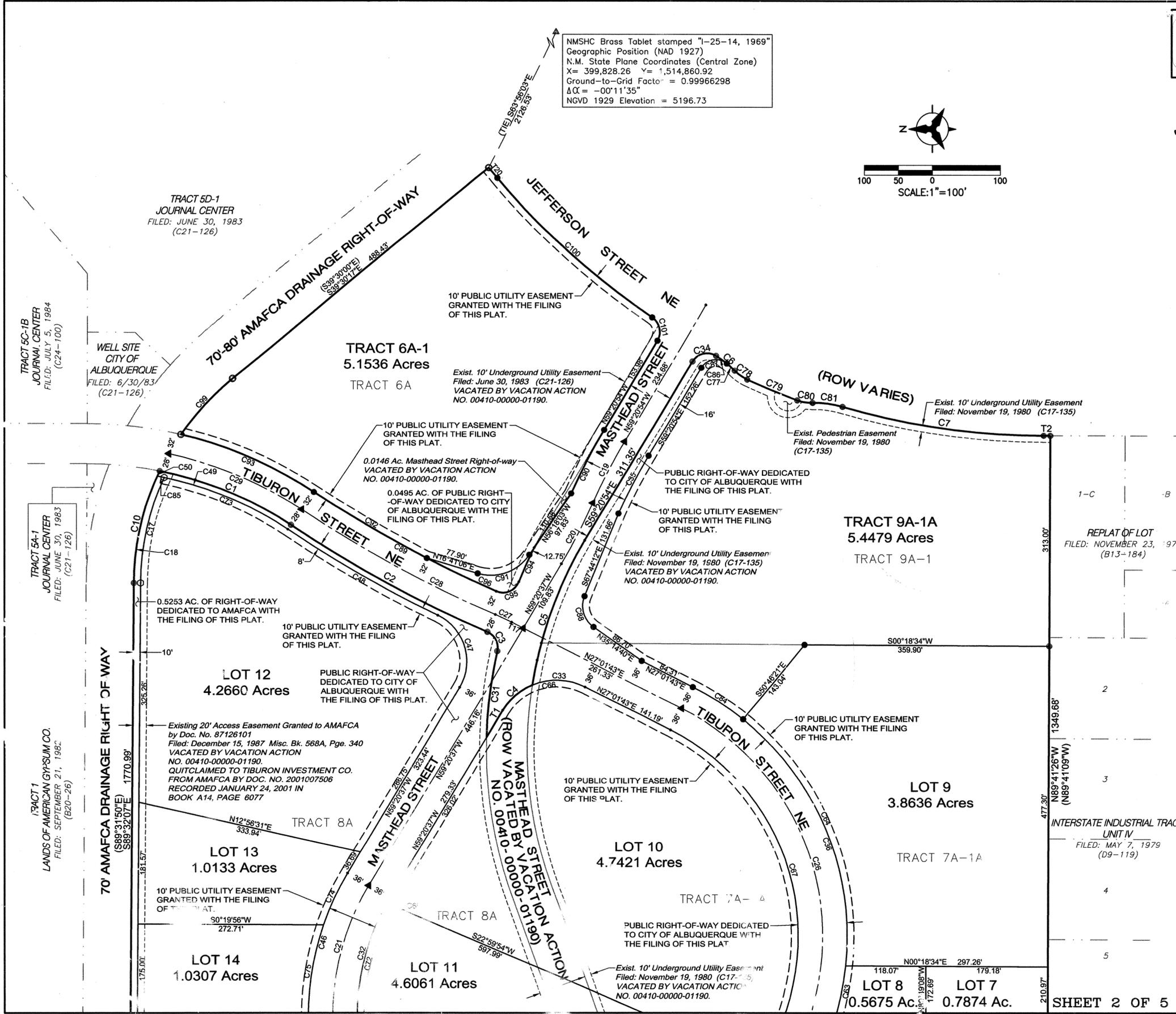
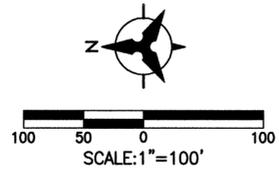
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# PLAT OF JOURNAL CENTER PHASE 2, UNIT 1

ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2001

NMSHC Brass Tablet stamped "1-25-14, 1969"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X = 399,828.26 Y = 1,514,860.92  
 Ground-to-Grid Factor = 0.99966298  
 ΔC = -00°11'35"  
 NGVD 1929 Elevation = 5196.73



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
	ORIGINAL LOT LINES ELIMINATED WITH THE FILING OF THIS PLAT.
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 5/8" REBAR W/ 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 6544"
	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 6544"
	SET CHISELED MARK IN CONCRETE AS NOTED
	FOUND 5/8" REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND PKNAIL W/SURVEY WASHER
	FOUND 5/8" REBAR W/ 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

**Bohannon & Huston**  
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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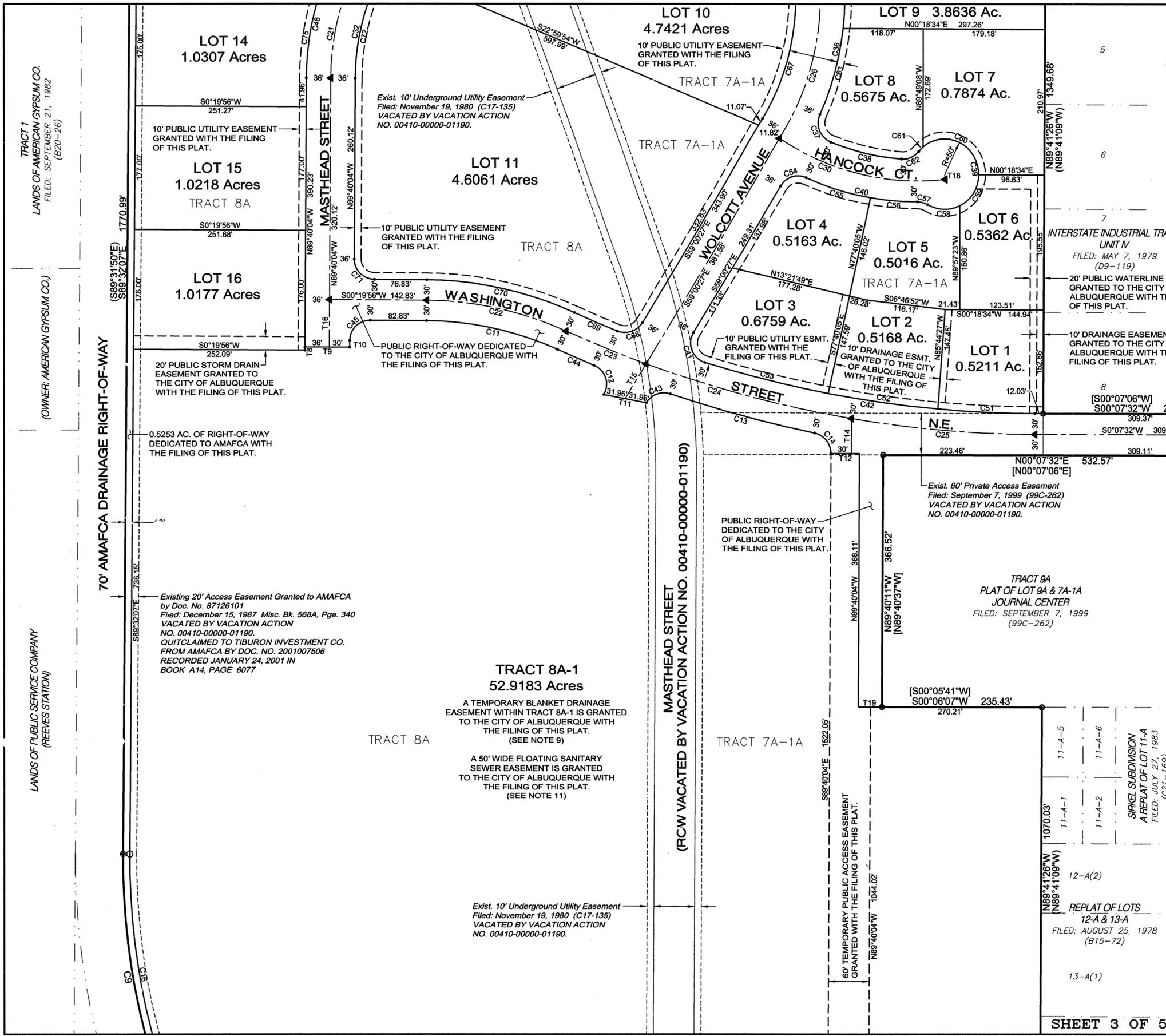
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2001



100 50 0 100  
SCALE: 1" = 100'

LEGEND	
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	NEW LOT LINE
	ADJOINING PROPERTY LINE
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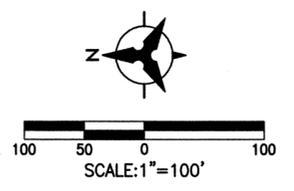
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Mary Herrera Bern. Co. PLAT R 27.98 Bk-2881C Pg-84

# PLAT OF JOURNAL CENTER PHASE 2, UNIT 1

ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2001

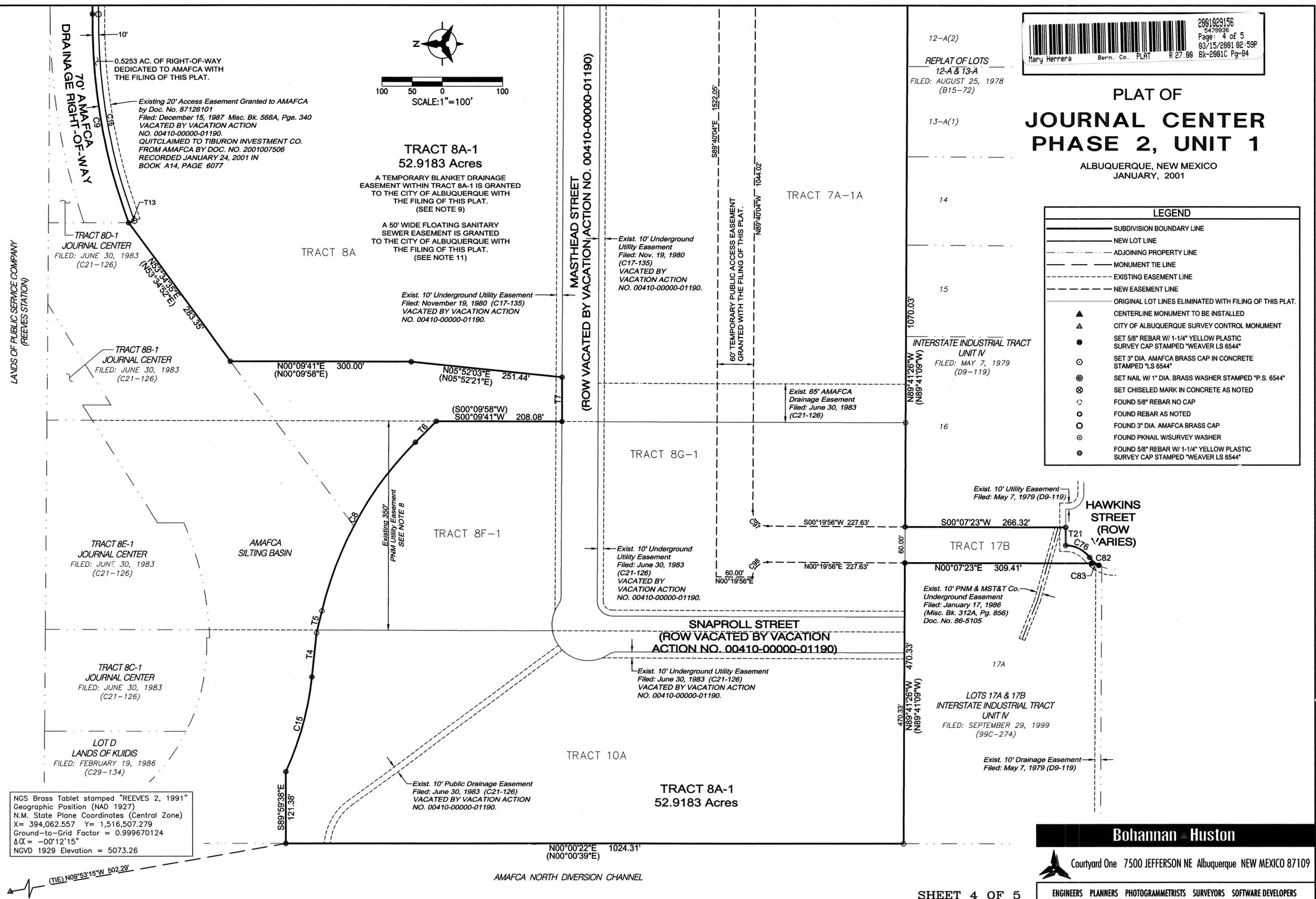
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	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
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	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 6544"
	SET CHISELED MARK IN CONCRETE AS NOTED
	FOUND 5/8" REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND PKNAIL W/SURVEY WASHER
	FOUND 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



**TRACT 8A-1**  
 52.9183 Acres

A TEMPORARY BLANKET DRAINAGE EASEMENT WITHIN TRACT 8A-1 IS GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT. (SEE NOTE 9)

A 50' WIDE FLOATING SANITARY SEWER EASEMENT IS GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT. (SEE NOTE 11)



NGS Brass Tablet stamped "REEVES 2, 1991"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 394,062.557 Y= 1,516,507.279  
 Ground-to-Grid Factor = 0.999670124  
 $\Delta\alpha = -00^{\circ}12'15''$   
 NGVD 1929 Elevation = 5073.26

**Bohannon & Huston**  
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

2578

CURVE DATA										
No.	Delta	Tangent	Arc	Radius	Chord	Chord Bearing				
C1	22° 34' 36"	106.73	210.68	534.68	209.32	S22° 53' 21" W				
C2	11° 06' 43"	165.24	329.44	1698.66	328.92	S28° 37' 17" W				
C3	79° 34' 34"	20.82	34.72	25.00	32.00	S62° 51' 12" W				
C4	36° 36' 37"	30.44	58.79	92.00	57.79	S41° 02' 19" E				
C5	21° 32' 38"	115.11	227.50	605.04	226.16	S70° 07' 13" E				
C6	14° 30' 32"	17.82	35.45	140.00	35.36	S39° 04' 07" W				
C7	16° 28' 23"	150.98	299.87	1043.00	298.84	S08° 19' 36" W				
C8	30° 45' 00"	166.69	325.34	606.20	321.45	S61° 07' 47" E				
C9	20° 24' 18"	179.57	355.34	997.76	353.46	N80° 15' 44" E				
C10	24° 48' 20"	87.81	172.87	399.30	171.53	S77° 07' 57" E				
C11	24° 14' 45"	100.96	198.89	470.00	197.41	S12° 27' 19" W				
C12	98° 23' 49"	34.75	51.52	30.00	45.42	[N89° 37' 54" W]				
C13	07° 24' 44"	110.03	219.76	1698.66	219.60	S71° 47' 39" W				
C14	79° 11' 38"	24.82	41.47	30.00	38.24	(S83° 59' 21" E)				
C15	18° 39' 37"	82.97	164.47	505.00	163.74	S50° 44' 07" W				
C16	20° 24' 18"	177.77	351.77	987.76	349.92	S74° 39' 50" E				
C17	23° 56' 35"	82.55	162.69	389.30	161.50	N80° 15' 44" E				
C18	23° 37' 35"	83.52	164.66	399.30	163.49	N77° 33' 50" W				
C19	07° 24' 06"	51.81	103.48	800.99	103.40	S77° 43' 19" E				
C20	07° 17' 27"	50.97	101.80	800.00	101.73	N63° 02' 57" W				
C21	30° 19' 27"	102.97	201.12	380.00	198.78	N62° 59' 20" W				
C22	24° 14' 45"	107.40	211.59	500.00	210.01	N74° 30' 20" W				
C23	04° 22' 38"	63.77	127.48	1668.66	127.45	S12° 27' 19" W				
C24	10° 45' 44"	157.18	313.43	1668.66	312.97	S22° 23' 22" W				
C25	09° 18' 48"	135.92	271.24	1668.66	270.94	S14° 49' 12" W				
C26	93° 57' 50"	407.24	823.19	380.00	555.67	S04° 46' 56" W				
C27	03° 59' 34"	13.25	26.48	380.00	26.48	N74° 00' 38" E				
C28	11° 08' 30"	162.95	324.88	1670.66	324.36	N25° 01' 56" E				
C29	21° 46' 26"	108.22	213.83	562.68	212.55	N28° 36' 24" E				
C30	38° 33' 04"	132.89	255.68	380.00	250.88	N23° 17' 26" E				
C31	11° 07' 08"	64.73	129.06	665.04	128.86	S13° 17' 02" W				
C32	30° 19' 27"	93.22	182.06	344.00	179.95	N82° 55' 05" W				
C33	49° 45' 43"	42.67	79.90	92.00	77.42	N74° 30' 20" W				
C34	91° 09' 44"	25.51	39.78	25.00	35.71	N02° 08' 52" E				
C35	07° 24' 06"	49.16	98.18	759.99	98.11	S13° 46' 01" E				
C36	87° 13' 09"	396.28	633.26	416.00	573.86	N63° 02' 57" W				
C37	92° 42' 08"	31.45	48.54	30.00	43.42	S70° 38' 18" W				
C38	17° 33' 57"	54.08	107.30	350.00	106.88	S67° 53' 48" W				
C39	259° 59' 50"	*****	226.89	50.00	76.61	S12° 45' 45" W				
C40	23° 33' 54"	85.52	168.63	410.00	167.44	S80° 10' 07" W				
C41	103° 36' 22"	38.13	54.25	30.00	47.15	N11° 56' 57" E				
C42	17° 15' 38"	2+8.71	493.66	1638.66	491.79	S69° 11' 22" W				
C43	77° 33' 30"	24.10	40.61	30.00	37.58	S08° 45' 21" W				
C44	01° 58' 57"	29.39	58.78	1698.66	58.78	S20° 13' 42" E				
C45	90° 00' 00"	30.00	47.12	30.00	42.43	S23° 35' 13" W				
C46	30° 19' 27"	112.73	220.17	416.00	217.61	S44° 40' 04" E				
C47	95° 01' 24"	81.88	124.39	75.00	110.61	S74° 30' 20" E				
C48	08° 32' 40"	127.49	254.51	1706.66	254.27	N73° 08' 41" E				
C49	22° 46' 44"	106.10	209.39	526.68	208.01	N29° 54' 19" E				
C50	01° 10' 44"	4.11	8.22	399.30	8.22	N22° 47' 16" E				
C51	05° 00' 29"	71.66	143.23	1638.66	143.18	S65° 19' 11" E				
C52	05° 42' 15"	81.64	163.14	1638.66	163.07	N02° 37' 46" E				
C53	06° 32' 55"	93.75	187.29	1638.66	187.18	N07° 59' 09" E				
C54	82° 44' 21"	26.42	43.32	30.00	39.65	N14° 06' 43" E				
C55	13° 52' 33"	49.89	99.29	410.00	99.05	N17° 38' 16" W				
C56	09° 41' 21"	34.75	69.33	410.00	69.25	S16° 47' 38" W				
C57	30° 00' 02"	8.04	15.71	30.00	15.53	S05° 00' 40" W				
C58	56° 30' 04"	26.87	49.31	50.00	47.33	N15° 10' 01" E				
C59	63° 21' 24"	30.85	55.29	50.00	52.51	S01° 55' 00" W				
C60	130° 02' 33"	107.33	113.48	50.00	90.65	S58° 00' 44" E				
C61	10° 05' 49"	4.42	8.81	50.00	8.80	N25° 17' 18" E				
C62	53° 48' 35"	15.22	28.17	30.00	27.15	N44° 46' 53" W				
C63	18° 39' 03"	66.25	131.39	416.00	130.84	S22° 55' 30" E				
C64	56° 55' 27"	225.51	413.30	416.00	396.51	S74° 48' 01" E				
C65	01° 33' 08"	4.66	9.32	344.00	9.32	N67° 41' 23" E				
C66	86° 22' 20"	86.35	138.69	92.00	125.92	S60° 07' 10" E				
C67	33° 57' 50"	368.66	564.15	344.00	503.02	S16° 09' 27" E				
C68	81° 11' 17"	25.71	42.51	30.00	39.04	N74° 00' 38" E				
C69	02° 23' 52"	34.29	68.57	1638.66	68.57	S18° 24' 48" E				
C70	24° 14' 45"	113.84	224.28	530.00	222.61	S23° 22' 46" W				
C71	90° 00' 00"	30.00	47.12	30.00	42.43	S12° 27' 19" W				
C72	28° 46' 19"	88.23	172.74	344.00	170.94	S45° 19' 56" W				
C73	21° 39' 56"	100.78	199.16	526.68	197.97	S75° 16' 55" E				
C74	11° 40' 24"	42.52	84.76	416.00	84.61	S23° 20' 41" W				
C75	18° 39' 03"	68.31	135.42	416.00	134.82	N65° 10' 49" W				
C76	52° 53' 52"	24.87	46.17	50.00	44.54	N80° 20' 32" W				
C77	06° 29' 53"	7.95	15.88	140.00	15.87	S26° 34' 28" W				
C78	21° 49' 37"	11.57	22.86	60.00	22.72	S43° 04' 25" W				
C79	04° 19' 45"	39.88	79.72	1055.00	79.70	S35° 24' 35" W				
C80	21° 49' 36"	11.57	22.86	60.00	22.72	S22° 19' 54" W				
C81	18° 13' 23"	22.45	44.53	140.00	44.34	S09° 15' 12" W				
C82	23° 28' 14"	10.39	20.48	50.00	20.33	S07° 27' 06" W				
C83	29° 27' 21"	6.57	12.84	25.00	12.70	S41° 17' 35" W				
C84	12° 11' 56"	44.45	88.57	416.00	88.40	N14° 50' 30" E				
C85	01° 06' 48"	5.12	10.23	526.68	10.23	N33° 07' 41" E				
C86	08° 00' 38"	9.80	19.57	140.00	19.56	S11° 57' 17" W				
C87	99° 10' 24"	29.36	43.27	25.00	38.07	S35° 49' 11" W				
C88	77° 01' 07"	30.24	51.08	38.00	47.32	N09° 45' 42" W				
C89	10° 42' 48"	153.65	306.40	1638.66	305.95	S73° 45' 14" W				
C90	07° 20' 38"	53.65	107.15	835.99	107.08	N28° 49' 15" E				
C91	72° 59' 06"	50.30	86.62	68.00	80.88	N63° 01' 13" W				
C92	06° 45' 59"	96.87	193.52	1638.66	193.41	N19° 48' 28" W				
C93	20° 41' 17"	108.54	214.72	594.68	213.56	N30° 47' 39" E				
C94	04° 46' 17"	27.71	55.38	665.04	55.37	N23° 50' 00" E				
C95	91° 37' 43"	25.72	39.98	25.00	35.85	N65° 46' 44" W				
C96	03° 56' 48"	56.46	112.88	1638.66	112.85	N22° 21' 00" W				
C97	90° 00' 00"	25.00	39.27	25.00	35.36	N25° 26' 15" E				
C98	90° 00' 00"	25.00	39.27	25.00	35.36	S45° 19' 56" W				
C99	90° 00' 00"	25.00	39.27	25.00	35.36	N44° 40' 04" W				

TANGENT DATA										
No.	Bearing	Distance	No.	Bearing	Distance					
T1	S59° 20' 37" E	46.68	T9	S00° 19' 56" W	66.00					
T2	S00° 05' 23" W	9.84	T10	S89° 40' 04" E	10.11					
T3	(S00° 05' 41" W)	60.00	T11	S10° 48' 03" W	63.93					
T4	N89° 37' 27" W	74.17	T12	S00° 19' 56" W	42.00					
T5	[N89° 37' 54" W]	38.16	T13	S19° 56' 38" E	10.00					
T6	(S83° 59' 21" E)	49.94	T14	N89° 40' 04" W	50.38					
T7	S83° 59' 38" E	75.00	T15	S59° 00' 27" E	59.95					
T8	(S76° 30' 00" E)	4.73	T16	N89° 40' 04" W	70.11					
	(S45° 45' 17" E)		T17	N27° 01' 43" E	19.14					
	(S45° 45' 00" E)		T18	N84° 00' 31" E	7.13					
	(S89° 41' 26" E)		T19	N00° 06' 07" E	34.78					
	(S89° 41' 09" E)		T20	S50° 29' 43" W	20.00					
	S89° 40' 04" E		T21	(S50° 30' 00" W)						
			T22	N89° 52' 37" W	30.00					

**DESCRIPTION**

A certain tract of land situate within the Elena Gallegos Grant in projected Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 6A and a northerly portion of Masthead Street right-of-way of the JOURNAL CENTER, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 30, 1983 in Volume C21, Folio 126 as Document No. 83-43105 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and Ground distances as follows:

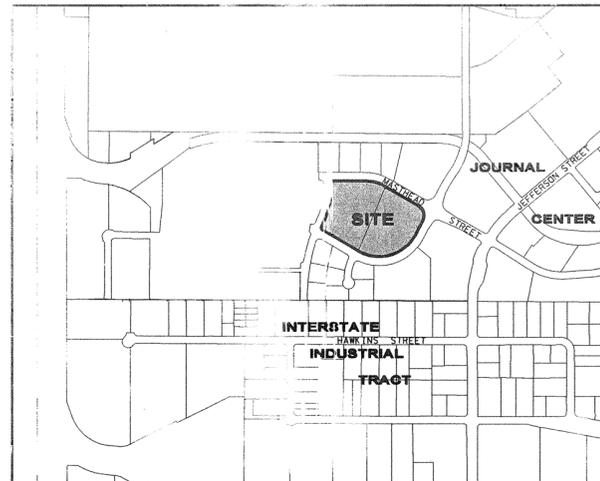
BEGINNING at the most easterly corner of said Tract 6A, a point on the westerly right-of-way line of Jefferson Street, whence the Albuquerque City Survey (ACS) monument "1-25-14", a standard NMSHC Brass Tablet set in top of a concrete post (having New Mexico State Plane Grid Coordinates, Central Zone NAD 1927) of X=399,828.26 and Y=1,514,860.92 bears S63°56'03"E, a distance of 2126.53 feet and from said point of beginning running thence along the southeasterly boundary line of said Tract 6A and also along said right-of-way line, S50°29'43"W, a distance of 20.00 feet to a point of curvature; thence, 307.49 feet along the arc of a curve to the left having a radius of 1043.00 feet and a chord which bears S42°02'58"W, a distance of 306.38 feet to a point of reverse curvature; thence, 37.98 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears S77°07'40"W, a distance of 34.43 feet to a point on the southeasterly boundary line of said Tract 6A and also being a point on the northeasterly right-of-way line of Masthead Street, thence running along the southeasterly boundary line of said Tract 6A and also along said right-of-way line, N59°20'54"W, a distance of 153.98 feet to a point of curvature, thence leaving the southeasterly boundary line of said Tract 6A and also said right-of-way line and running thence along the southeasterly boundary line of the tract herein described, 107.15 feet along the arc of a curve to the left having a radius of 835.99 feet and a chord which bears N63°01'13"W, a distance of 107.08 feet to a point of non-tangency; thence, N56°18'03"W, a distance of 97.83 feet to a point of curvature (non-tangent) on the southeasterly boundary line of said Tract 6A and also being a point on the northeasterly right-of-way line of Masthead Street; thence running along the southeasterly boundary line of said Tract 6A and also along said right-of-way line, 55.38 feet along the arc of a curve to the left having a radius of 665.04 feet and a chord which bears N65°46'44"W, a distance of 55.37 feet to a point of reverse curvature; thence, 39.98 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears N22°21'00"W, a distance of 35.85 feet to a point of compound curvature on the northwesterly boundary line of said Tract 6A and also being a point on the southeasterly right-of-way line of Tiburon Street, thence running along the northwesterly boundary line of said Tract 6A and also along said right-of-way line, 306.40 feet along the arc of a curve to the right having a radius of 1638.66 feet and a chord which bears N28°49'15"E, a distance of 305.95 feet to a point of reverse curvature; thence, 214.72 feet along the arc of a curve to the left having a radius of 594.68 feet and a chord which bears N23°50'00"E, a distance of 213.56 feet to the most northerly corner of said Tract 6A, a point on a curve on the southeasterly right-of-way line of an AMAFCA Drainage Channel, thence running along the northwesterly boundary line of said Tract 6A and also along said right-of-way line, 112.92 feet along the arc of a curve to the right having a radius of 399.30 feet and a chord which bears S47°36'22"E, a distance of 112.54 feet to a point of tangency; thence, S39°30'17"E, a distance of 488.43 feet to the point and place of beginning.

Tract contains 5.2031 acres, more or less.

**DESCRIPTION**

A certain tract of land situate within the Elena Gallegos Grant in projected Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts 8A, 8F-1, 8G-1, 10A, Snarroll Street Right-of-way and a portion of Masthead Street Right-of-way of the JOURNAL CENTER, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the Office of the County Clerk of Bernalillo County, New Mexico on June 30, 1983 in Volume C21, Folio 126 as Document No. 83-43105 together with Tract 9A-1 of the JOURNAL CENTER, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 8, 1987 in Volume C34, Folio 127 as Document No. 87-93767, together with Tract 7A-1A, AMENDED PLAT OF LOT 9A & 7A-1A, JOURNAL CENTER, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 7, 1999 in Book 99C, Page 262 as Document No. 1999116039 and Lot 17B, LOTS 17A & 17B, INTERSTATE INDUSTRIAL TRACT, UNIT IV, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 29, 1999 in Book 99C, Page 274 as Document No. 1999125318 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927 Datum) and ground distances as follows:

BEGINNING at the northwest corner of said Tract 10A, a point on the southerly Right-of-way line of the A.M.A.F.C.A. Silting Basin, whence the Albuquerque City Survey (ACS) Monument "Reeves 2", a NGS brass tablet set in the concrete lined Flood Channel, having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=394,062.557 and Y=1,516,507.279 bears N09°53'15"W, a distance of 502.29 feet and from said point of beginning running thence along the northerly boundary line of said Tracts 10A and 8F-1 and also along said right-of-way line, S89°59'38"E, a distance of 121.38 feet to a point of curvature (non-tangent); thence, 164.47 feet along the arc of a curve to the left having a radius of 505.00 feet and a chord which bears S74°39'50"E, a distance of 163.74 feet to a point of tangency; thence, S83°59'38"E, a distance of 74.17 feet to a point; thence, S76°30'17"E, a distance of 38.16 feet to a point of curvature; thence, 325.34 feet along the arc of a curve to the right having a radius of 606.20 feet and a chord which bears S61°07'47"E, a distance of 321.45 feet to a point of tangency; thence, S45°45'17"E, a distance of 49.94 feet to the northeast corner of said Tract 8F-1; thence running along the easterly boundary line of said Tract 8F-1 and also along said right-of-way line, S00°09'41"W, a distance of 208.08 feet to the southeast corner of said Tract 8F-1, a point on the northerly right-of-way line of Masthead Street; thence running along said right-of-way line, S89°41'26"E, a distance of 75.00 feet to the southwest corner of said Tract 8A, a point on the easterly right-of-way line of said A.M.A.F.C.A. Silting Basin; thence running along the westerly boundary line of said Tract 8A and also along said easterly right-of-way line, N05°52'03"E, a distance of 251.44 feet to a point; thence, N00°09'41"E, a distance of 300.00 feet to a point; thence, N53°34'35"E, a distance of 2



LOCATION MAP

ZONE ATLAS INDEX MAP No. D-17-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index No. D-17-Z
3. Gross Subdivision Acreage: 9.3482 Acres.
4. Total Number of Lots created: Two (2) Lots
5. No streets were created.
6. Date of Survey: September, 2001.
7. Plat is located within the Elena Gallegos Grant, within Projected Section 23, T11N, R3E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Lots 10 & 11. Plat of JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico as the same are shown and designated on the plat thereof...

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. Comcast for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements...

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, within projected Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 10 and 11 of the PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico...

BEGINNING at the northwest corner of said Lot 11, a point of curvature on the easterly right-of-way line of Washington Street NE, whence the Albuquerque City Survey (ACS) 'REEVES 2, 1991', a standard NGS 3 1/2 inch brass tablet set in a concrete apron...

Tract contains 9.3482 acres, more or less.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 27) and also the same as shown on the plat of the JOURNAL CENTER PHASE 2, UNIT 1, Albuquerque, New Mexico, recorded March 15, 2001 in Book 2001C, Page 84 as Document No. 2001029156.
2. Distances are ground distances.
3. All easements of record are shown.
4. A variance of waiver from certain subdivision requirements has been granted by the City and Albuquerque Metropolitan Arroyo Flood Control Authority in condition with this plat.
5. Future subdivision of lands within this plat, zoning site development plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies.
6. The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed with future plats or site development plans are approved.
7. By its approval the City makes no representative or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items. It is understood that a separate notice of these conditions has been recorded with the County Clerk at the time of final plat recorded September 8, 1987 in Book M531B, Pages 726-727.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Elena Gallegos Grant, within projected Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 10 & 11 of the PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof...

TIBURON INVESTMENT CORP.

BY: Richard G. Elkins, Treasurer

State of New Mexico )
County of Bernalillo )
This instrument was acknowledged before me on 22 day of October, 2001 by Steven K. Motse, President and Richard G. Elkins, Treasurer of Tiburon Investment Corp. My Commission Expires 4-12-04

SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver
New Mexico Professional Surveyor 6544
Date: October 19, 2001

Barcode area with text: 2001140658, 5551798, Page: 1 of 2, 11/28/2001 02:06P, Bk-2001C Pg-311

PLAT OF LOTS 10A & 11A JOURNAL CENTER PHASE 2, UNIT 1 (A REPLAT OF LOTS 10 & 11, JOURNAL CENTER, PHASE 2, UNIT 1) ALBUQUERQUE, NEW MEXICO OCTOBER, 2001

APPROVALS

Table with columns for Agency, Name, and Date. Includes Planning Director, City Engineer, Traffic Engineer, City Surveyor, Utility Development Department, Parks & Recreation, and PNM Gas Services.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1017-063-173193-30120
PROPERTY OWNER OF RECORD Tiburon Investments Corp.
Bernalillo County Treasurer's Office

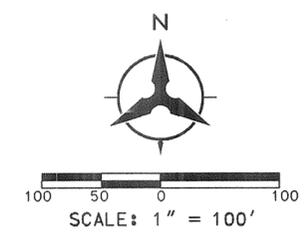
PNM STAMP: In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston
Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

2627

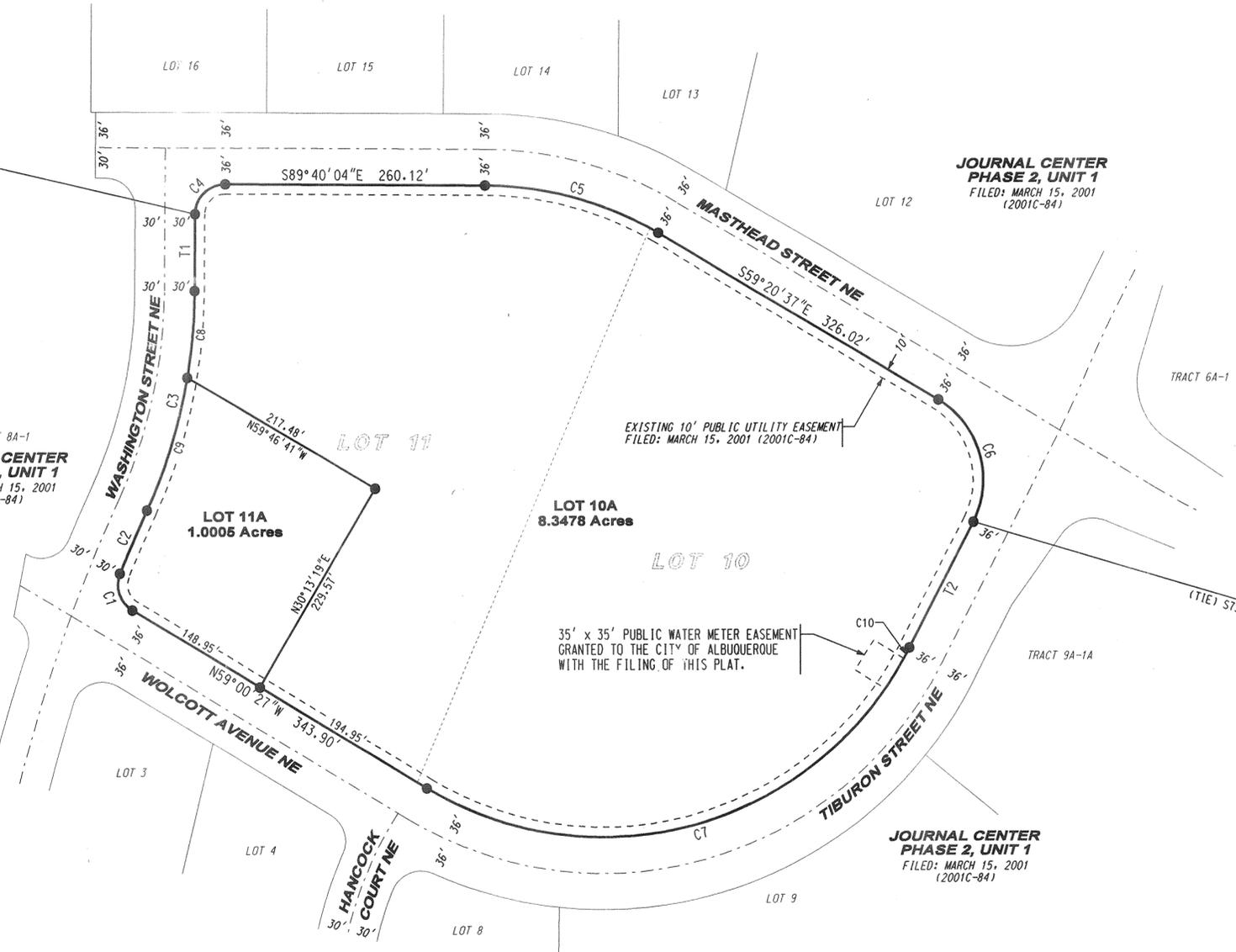
2001140658  
 5561798  
 Page: 2 of 2  
 11/28/2001 02:06P  
 Mary Herrera Bern. Co. PLAT R 12.00 Bk-2001C Pg-311

PLAT OF  
**LOTS 10A & 11A**  
**JOURNAL CENTER**  
**PHASE 2, UNIT 1**  
 (A REPLAT OF LOTS 10 & 11,  
 JOURNAL CENTER, PHASE 2, UNIT 1)  
 ALBUQUERQUE, NEW MEXICO  
 OCTOBER, 2001



NGS BRASS TABLET STAMPED "REEVES 2, 1991"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=394,062.557 Y=1,516,507.279  
 GROUND TO GRID FACTOR = 0.99991285  
 DELTA ALPHA = -00°12'15"  
 NGVD 1929 TRIG ELEVATION = 5074.0

NMSHC BRASS TABLET STAMPED "1-25-14, 1969"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=399,828.26 Y=1,514,860.92  
 GROUND TO GRID FACTOR = 0.99966298  
 DELTA ALPHA = -00°11'35"  
 NGVD 1929 ELEVATION = 5196.73



TRACT 8A-1  
**JOURNAL CENTER**  
**PHASE 2, UNIT 1**  
 FILED: MARCH 15, 2001  
 (2001C-84)

**JOURNAL CENTER**  
**PHASE 2, UNIT 1**  
 FILED: MARCH 15, 2001  
 (2001C-84)

**JOURNAL CENTER**  
**PHASE 2, UNIT 1**  
 FILED: MARCH 15, 2001  
 (2001C-84)

CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	81°11'17"	25.71'	42.51'	30.00'	39.04'	N18°24'48"W
C2	02°23'52"	34.29'	68.57'	1638.66'	68.57'	N23°22'46"E
C3	24°14'45"	113.84'	224.28'	530.00'	222.61'	N12°27'19"E
C4	89°59'59"	30.00'	47.12'	30.00'	42.43'	N45°19'56"E
C5	30°19'27"	93.22'	182.06'	344.00'	179.95'	S74°30'20"E
C6	86°22'20"	86.35'	138.69'	92.00'	125.92'	S16°09'27"E
C7	93°57'50"	368.66'	564.15'	344.00'	503.02'	S74°00'38"W
C8	09°21'59"	43.42'	86.64'	530.00'	86.55'	N05°00'56"E
C9	14°52'46"	69.21'	137.64'	530.00'	137.25'	N17°08'19"E
C10	02°04'08"	6.21'	12.42'	344.00'	12.42'	S28°03'47"W

TANGENT DATA		
ID	BEARING	DISTANCE
T1	N00°19'56"E	76.83'
T2	S27°01'43"W	141.19'

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	NEW EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

**Bohannon & Huston**  
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

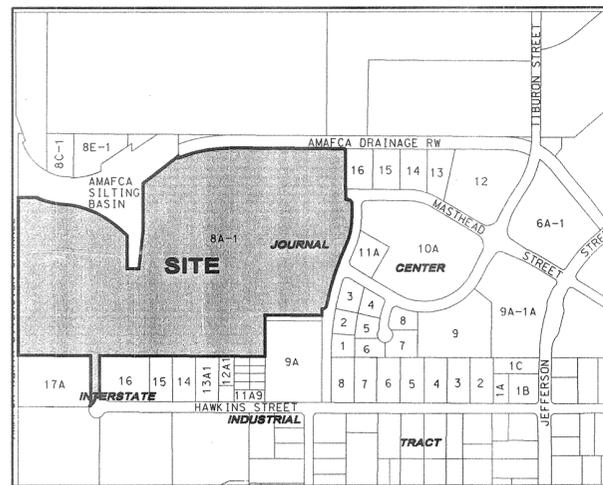
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

SHEET 2 OF 2

BHMAIN-020147\SURVEYS\001\GRAPHICS\FINAL PLAT JOB NO. 020147 001  
 020147REPLAT.DGN

2627

SP-2003040267



LOCATION MAP

ZONE ATLAS INDEX MAP Nos. D-16-Z & D-17-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB Project No. 1002321
2. Zone Atlas Index Nos. D-16-Z & D-17-Z.
3. Gross Subdivision Acreage: 52.9679 Acres.
4. Total Number of Lots/Tracts created: Twenty (20) Lots and One (1) Tract.
5. Total Mileage of full width Streets created: 0.6367 mile.
6. Total Mileage of partial width Streets created: 0.0697 mile.
7. Date of Survey: December, 2002
8. Plat is located within the Elena Gallegos Grant, within Projected Sections 22 & 23, T11N, R3E, NMPM.

App# 03 DRB - 00478

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract 8A-1, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, page 84 as Document No. 2001029156 together with a portion of public street right-of-way into Twenty (20) Lots and One (1) Tract, to dedicate Public Street Right-of-way to the City of Albuquerque, to vacate Public Street Right-of-way, to vacate Public Utility Easements and to grant Public Utility Easements.

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. ONEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, in projected Sections 22 and 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 8A-1 and a westerly portion of public street right-of-way of Washington Street NE, of the PLAT OF JOURNAL CENTER PHASE 2, UNIT 1, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, page 84 as Document No. 2001029156 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927 Datum) and ground distances as follows:

BEGINNING the northwest corner of said Tract 8A-1, a point on the easterly right-of-way line of the A.M.A.F.C.A. North Diversion Channel and a point on the southerly right-of-way line of the A.M.A.F.C.A. Siltling Basin, whence the Albuquerque City Survey (ACS) Monument 'REEVES' 2", a NOS brass tablet set in the concrete lined Flood Channel, having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=394,062.551 and Y=1,516,507.279 bear N09°53'15"W, a distance of 502.29 feet and from said point of beginning running thence along the northerly boundary line of said Tract 8A-1 and also along said southerly right-of-way line.
S89°59'38"E, a distance of 121.38 feet to a point of curvature (non-tangent); thence, 164.47 feet along the arc of a curve to the left having a radius of 505.00 feet and a chord which bears S74°39'50"E, a distance of 163.74 feet to a point of tangency; thence, S83°59'38"E, a distance of 74.17 feet to a point; thence, S76°30'17"E, a distance of 38.16 feet to a point of curvature; thence, S25°34'00"E, a distance of 83 feet to a point of curvature; thence, 325.34 feet along the arc of a curve to the right having a radius of 606.20 feet and a chord which bears S61°07'47"E, a distance of 321.45 feet to a point of tangency; thence, S45°45'17"E, a distance of 49.94 feet to a point; thence, S00°09'41"W, a distance of 208.08 feet to a point; thence, S89°41'26"E, a distance of 75.00 feet to a point; thence, N05°52'03"E, a distance of 251.44 feet to a point; thence, N00°09'41"E, a distance of 300.00 feet to a point; thence, N53°34'35"E, a distance of 283.35 feet to a point; thence, S19°56'39"E, a distance of 10.00 feet to a point of curvature (non-tangent) on the southerly right-of-way line of an eighty (80) foot wide A.M.A.F.C.A. Drainage right-of-way, thence running along the northerly boundary line of said Tract 8A-1 and also along said right-of-way line.
351.77 feet along the arc of a curve to the right having a radius of 987.76 feet and a chord which bears N80°15'44"E, a distance of 349.92 feet to a point of tangency; thence, S89°32'07"E, a distance of 736.15 feet to the northeast corner of said Tract 8A-1, thence leaving said right-of-way line and running thence along the easterly boundary line of said Tract 8A-1.
S00°19'56"W, a distance of 252.09 feet to a point; thence, S89°40'04"E, a distance of 4.73 feet to a point on the northerly right-of-way line of Masthead Street NE, thence crossing said right-of-way.
S00°19'56"W, a distance of 66.00 feet to a point on the southerly right-of-way line of said Masthead Street NE; thence, S89°40'04"E, a distance of 10.11 feet to a point of curvature; thence, 47.12 feet along the arc of a curve to the right having a radius of 30.00 feet and a chord which bears S44°40'04"E, a distance of 42.43 feet to a point of tangency on the westerly right-of-way line of Washington Street NE, thence running along the easterly boundary line of said Tract 8A-1 and also along said right-of-way line.
S00°19'56"W, a distance of 210.21 feet to a point of curvature; thence, 198.89 feet along the arc of a curve to the right having a radius of 470.00 feet and a chord which bears S12°27'19"W, a distance of 197.41 feet to a point of reverse curvature; thence, 398.45 feet along the arc of a curve to the left having a radius of 1698.66 feet and a chord which bears S17°51'30"W, a distance of 397.54 feet to a point of reverse curvature; thence, 41.47 feet along the arc of a curve to the right having a radius of 30.00 feet and a chord which bears S50°44'07"W, a distance of 38.24 feet to a point of non-tangency; thence, S00°19'56"W, a distance of 42.00 feet to a point, thence leaving said right-of-way line and running thence along the easterly boundary line of said Tract 8A-1.
N89°40'04"E, a distance of 368.11 feet to a point; thence, S00°06'07"W, a distance of 210.21 feet to a point; thence, N89°41'26"W, a distance of 1070.03 feet to a point; thence, S00°07'23"W, a distance of 266.32 feet to a point on the northerly right-of-way line of Hawkins Street NE, thence running along the southerly boundary line of said Tract 8A-1 and also along said right-of-way line.
N89°52'37"W, a distance of 30.00 feet to a point of curvature (non-tangent); thence, 46.17 feet along the arc of a curve to the right having a radius of 50.00 feet and a chord which bears S26°34'28"W, a distance of 44.54 feet to a point of reverse curvature; thence, 20.48 feet along the arc of a curve to the left having a radius of 50.00 feet and a chord which bears S41°17'35"W, a distance of 20.11 feet to a point of compound curvature; thence leaving said right-of-way line and running thence along the southerly boundary line of said Tract 8A-1.
12.84 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N14°50'30"E, a distance of 12.70 feet to a point of tangency; thence, N00°07'23"E, a distance of 309.41 feet to a point; thence, N89°41'26"W, a distance of 470.33 to the southwest corner of said Tract 8A-1, a point on the easterly right-of-way line of the A.M.A.F.C.A. North Diversion Channel, thence running along the westerly boundary line of said Tract 8A-1 and also along said right-of-way line, N00°00'22"E, a distance of 1024.31 feet to the point and place of beginning.
Tract contains 52.9679 acres, more or less.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 27) and also the same as shown on the plat of the PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, page 84 as Document No. 2001029156
2. Distances are ground distances.
3. All easements of record are shown.
4. Record bearings and distances are shown in parenthesis ( ).
5. A variance of waiver from certain subdivision requirements has been granted by the City and Albuquerque Metropolitan Arroyo Flood Control Authority in condition with this plat.
6. Future subdivision of lands within this plat, zoning site development plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies. In effect of the time for any specific proposal.
7. The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed with future plats or site development plans are approved.
8. By its approval the City makes no representative or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items. It is understood that a separate notice of these conditions has been recorded with the County Clerk at the time of final plat recorded September 8, 1987 in Book M5531B, Page(s) 726-727.
9. Tract 8A-1 is subject to a temporary blanket drainage easement filed: March 15, 2001 in Book 2001C, Page 84. Easement is vacated by vacation action V-02DRB-01724.
10. Tract 8A-1 is subject to a 50' wide floating sanitary sewer easement granted to the City of Albuquerque Filed: March 15, 2001 in Book 2001C, Page 84. Easement is vacated by Vacation Action V-02DRB-01724.
11. Tract A is subject to a temporary blanket drainage easement to be granted to the City of Albuquerque with the filing of this plat.
12. Existing 150' wide Public Service of New Mexico easement granted by Grant of Right-of-Way dated August 8, 1956, recorded August 10, 1956 as Document No. 3174 in Book D359, Pages 275-282, and Grant of Right-of-Way dated January 9, 1959, recorded January 15, 1959 as Document No. 98462 in Book D459, Pages 329-333 and amended by Document recorded January 15, 1959 in Book D459, Pages 359-361, of the County Records of Bernalillo County, New Mexico.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Elena Gallegos Grant, within projected Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract 8A-1, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, page 84 as Document No. 2001029156 together with a portion of public street right-of-way, now comprising Lots 1 thru 20 inclusive and Tract A of the JOURNAL CENTER, PHASE 2, UNIT 2 is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque In Fee Simple with Warranty Covenants, do hereby grant: All access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and in the event Grantor, its successors and assigns, constructs and improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purpose of performing the Work. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

TIBURON INVESTMENT, LLC

By: Douglas H. Collister, Administrative Manager of Tiburon Investment, LLC

State of New Mexico )
County of Bernalillo )

This instrument was acknowledged before me on 24 day of MARCH, 2003 by Douglas H. Collister, Administrative Manager of Tiburon Investment, LLC.

My Commission Expires: 11/18/06 Notary Public

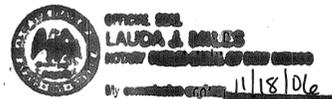
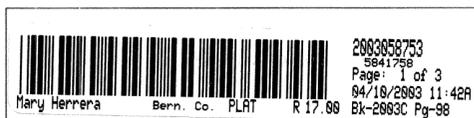


Table with 7 columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Contains curve data for various points and segments.

Table with 3 columns: ID, BEARING, DISTANCE. Contains tangent data for various points and segments.



PLAT OF JOURNAL CENTER PHASE 2, UNIT 2 (A REPLAT OF TRACT 8A-1, JOURNAL CENTER PHASE 2, UNIT 1) ALBUQUERQUE, NEW MEXICO MARCH, 2003

- APPROVALS
PLAT NUMBER: 1002321 03DRB-00478
PLANNING DIRECTOR: [Signature] DATE: 4/1/03
CITY ENGINEER: [Signature] DATE: 4-3-03
TRAFFIC ENGINEER: [Signature] DATE: 3-25-03
CITY SURVEYOR: [Signature] DATE: 4-1-03
PROPERTY MANAGEMENT: [Signature] DATE: 4-4-03
UTILITY DEVELOPMENT DEPARTMENT: [Signature] DATE: 4/2/03
MARKS & RECREATION: [Signature] DATE: 4-2-03
QUEST: [Signature] DATE: 3-31-03
COMCAST CABLE: [Signature] DATE: 4-01-03
PNM ELECTRIC SERVICES: [Signature] DATE: 4-01-03
PNM GAS SERVICES: [Signature] DATE: 4-01-03

TAX CERTIFICATION

PROPERTY OWNER OF RECORD: Tiburon Investment, LLC
BERNALILLO COUNTY TREASURER'S OFFICE: [Signature] DATE: 4-10-03
1-017-063-107208-30120

SURVEYOR'S CERTIFICATION

I, A. Dwin Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwin Weaver, New Mexico Professional Surveyor 6544
Date: March 21, 2003

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

TRACT E  
**AMAFCA NORTH DIVERSION CHANNEL & INLET CHANNELS RW**  
**PHASE 4**  
 FILED: OCTOBER 11, 1996 (196C-429)  
 N00°00'22"E 1024.31'

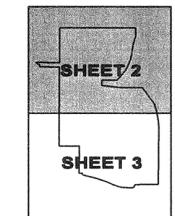
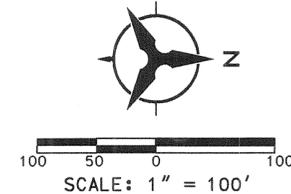
2003058753  
 5841758  
 Page: 2 of 3  
 04/10/2003 11:42A  
 Mary Herrera Bern. Co. PLAT R 17.00 Bk-2003C Pg-98

**PLAT OF**  
**JOURNAL CENTER**  
**PHASE 2, UNIT 2**  
 (A REPLAT OF TRACT 8A-1,  
 JOURNAL CENTER PHASE 2, UNIT 1)  
 ALBUQUERQUE, NEW MEXICO  
 MARCH, 2003

NGS BRASS TABLE STAMPED "REEVES 2, 1991"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 394,062,557 Y = 1,516,507,279  
 PUBLIC VALUE = 0.99967022  
 DELTA ALPHA = -00°12'15"  
 NGVD 1929 TRIG ELEVATION = 5074.0

NOTE: SEE SHEET 1 FOR CURVE & TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



17A  
**INTERSTATE INDUSTRIAL TRACT**  
**UNIT IV**  
 FILED: SEPTEMBER 29, 1999  
 (199C-274)

**TRACT A**  
**14.1686 Acres**  
 (SEE NOTE 11, SHEET 1)

**JOURNAL CENTER**  
 FILED: JUNE 30, 1983  
 (C21-126)

**INTERSTATE INDUSTRIAL TRACT**  
**UNIT IV**  
 FILED: MARCH 22, 1977  
 (07-141)

HAWKINS ST. NE  
 (RW VARIES)

13-A(1)

14  
 1.0000 Acres

15  
 1.0000 Acres

16  
 2.1971 Acres

17  
 1.0293 Acres

18  
 1.0000 Acres

19  
 1.0000 Acres

20  
 1.0000 Acres

21  
 1.0000 Acres

22  
 1.0000 Acres

23  
 1.0000 Acres

24  
 1.0000 Acres

25  
 1.0000 Acres

26  
 1.0000 Acres

27  
 1.0000 Acres

28  
 1.0000 Acres

29  
 1.0000 Acres

30  
 1.0000 Acres

**SNAPROLL STREET NE**  
 S00°07'23"W 493.86'

**RUTLEDGE ROAD NE**  
 S89°40'04"E 671.04'

**BARTLETT STREET NE**  
 S00°19'59"W 589.36'

**MASTHEAD ST. NE**

**80' AMAFCA DRAINAGE R/W**

EXISTING 10' PUBLIC UTILITY EASEMENT  
 FILED: MAY 7, 1979 (09-119)

CENTERLINE EXISTING 10' PNM AND M&T UNDERGROUND EASEMENT  
 FILED: JANUARY 17, 1986 (MISC. BK. 3124, PG. 856)  
 DOCUMENT NO. 86-5105)

EXISTING 60' TEMPORARY PUBLIC ACCESS EASEMENT  
 FILED: MARCH 15, 2001 (2001C-84) VACATED BY VACATION ACTION V-02DRB-01724

EXISTING 65' AMAFCA DRAINAGE EASEMENT  
 FILED: JUNE 30, 1983 (C21-126) VACATED BY VACATION ACTION V-02DRB-01724

EXISTING 350' PNM EASEMENT  
 (SEE NOTE 12, SHEET 1)

25' PUBLIC DRAINAGE & PUBLIC TRAIL EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

5' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 8, 9 & 10 TO BE GRANTED WITH THE FILING OF THIS PLAT. EASEMENT TO BE MAINTAINED BY OWNER OF SAID LOTS

45' PUBLIC DRAINAGE & PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

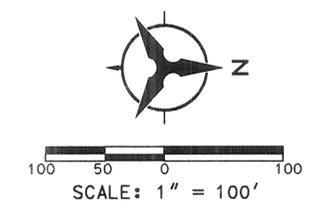
PUBLIC STREET RIGHT OF WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

2893858753  
5841758  
Page: 3 of 3  
94/18/2003 11:42A  
Mary Herrera Bern. Co. PLAT R 17.00 Bk-2803C Pg-98

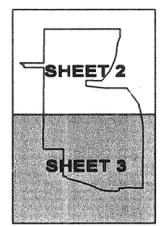
PLAT OF  
**JOURNAL CENTER  
PHASE 2, UNIT 2**  
(A REPLAT OF TRACT 8A-1,  
JOURNAL CENTER PHASE 2, UNIT 1)  
ALBUQUERQUE, NEW MEXICO  
MARCH, 2003

**JOURNAL CENTER**  
FILED: JUNE 30, 1983  
(C21-126)



NOTE: SEE SHEET 1 FOR CURVE & TANGENT DATA

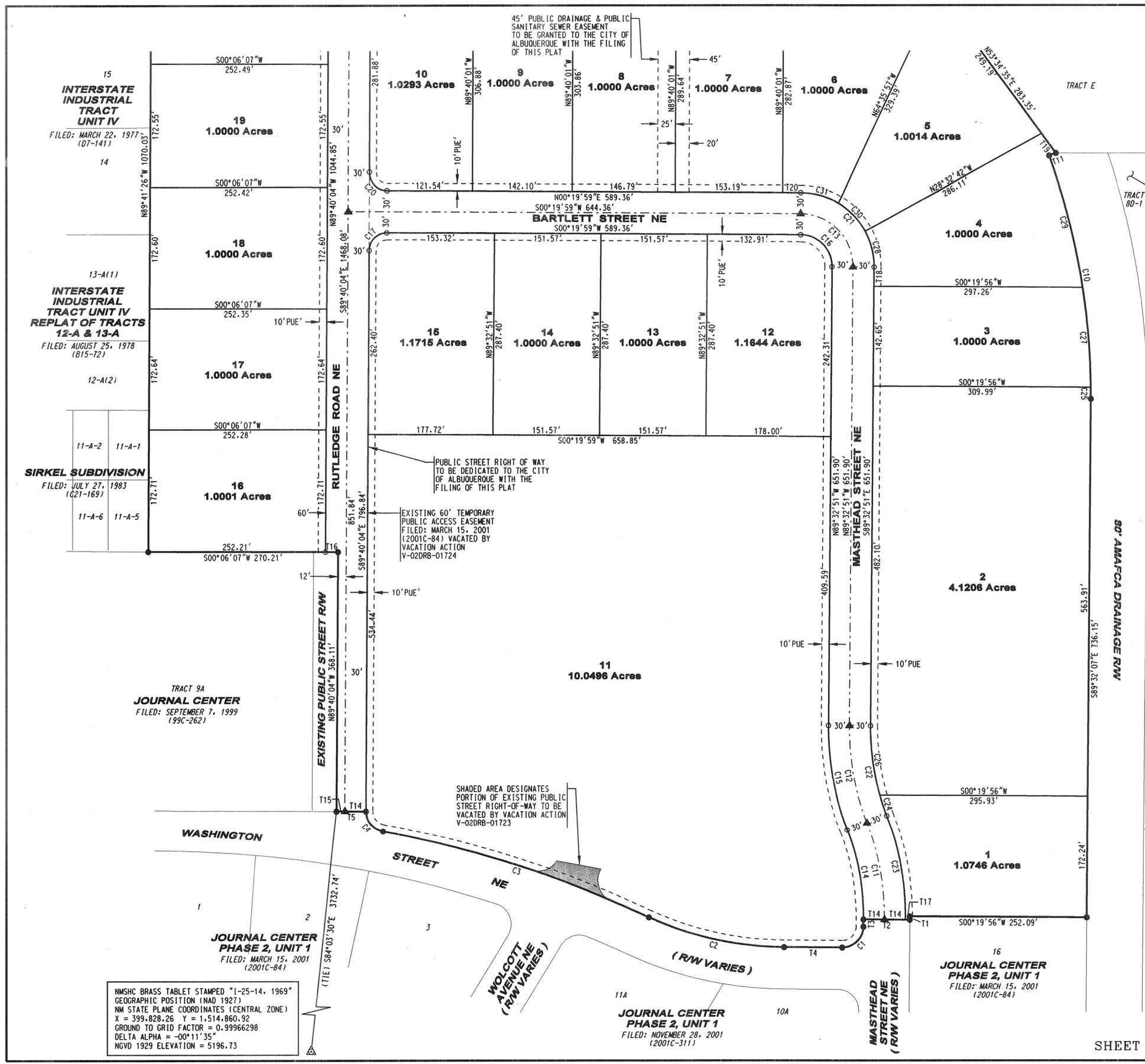
LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5/8\" REBAR WITH 1 1/4\" YELLOW PLASTIC SURVEY CAP STAMPED \"WEAVER LS 6544\"



**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 3 OF 3

2723



NMSHC BRASS TABLET STAMPED "1-25-14, 1969"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 399,828.26 Y = 1,514,860.92  
GROUND TO GRID FACTOR = 0.99966298  
DELTA ALPHA = -00°11'35"  
NGVD 1929 ELEVATION = 5196.73

**JOURNAL CENTER  
PHASE 2, UNIT 1**  
FILED: MARCH 15, 2001  
(2001C-84)

**JOURNAL CENTER  
PHASE 2, UNIT 1**  
FILED: NOVEMBER 28, 2001  
(2001C-311)

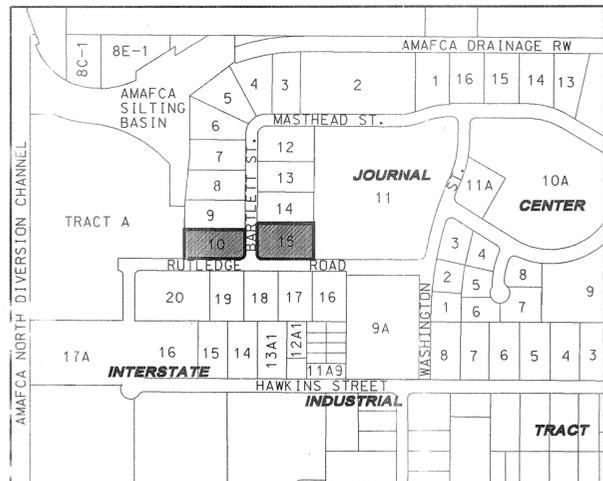
TRACT 9A  
**JOURNAL CENTER**  
FILED: SEPTEMBER 7, 1999  
(199C-262)

**SIRKEL SUBDIVISION**  
FILED: JULY 27, 1983  
(C21-169)

13-A(1)  
**INTERSTATE INDUSTRIAL TRACT UNIT IV REPLAT OF TRACTS 12-A & 13-A**  
FILED: AUGUST 25, 1978  
(B15-12)

15  
**INTERSTATE INDUSTRIAL TRACT UNIT IV**  
FILED: MARCH 22, 1977  
(07-141)

SP-2003281123



**LOCATION MAP**

ZONE ATLAS INDEX MAP No. D-17-Z  
NOT TO SCALE

**SUBDIVISION DATA**

1. DRB No. **03DRB-01304**
2. ZONE ATLAS INDEX No. D-17-Z
3. GROSS SUBDIVISION ACREAGE: 2.2008 ACRES.
4. TOTAL NUMBER OF LOTS CREATED: FOUR (4) LOTS.
5. NO STREETS WERE CREATED.
6. DATE OF SURVEY: JULY, 2003
7. PLAT IS LOCATED WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, T11N, R3E, NMPM.

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE ALL OF LOTS 10 & 15, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT No. 2003058753, INTO FOUR (4) LOTS.

**NOTES**

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE NAD 27) AND ALSO THE SAME AS SHOWN ON THE PLAT OF THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT No. 2003058753.
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.
4. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THE LOTS CREATED BY THIS PLAT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON JOINT USE OF:

- A. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- B. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- C. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, REPAIR, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL, DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMERS/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

**DESCRIPTION**

A CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, IN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF LOTS 10 & 15 OF THE PLAT OF JOURNAL CENTER PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT No. 2003058753.

LOT 10 CONTAINS 1.0293 ACRES, MORE OR LESS.

LOT 15 CONTAINS 1.1715 ACRES, MORE OR LESS.

**FREE CONSENT**

THE FOREGOING PLAT OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, BEING AND COMPRISING ALL OF LOTS 10 & 15, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT No. 2003058753 NOW COMPRISING LOTS 10-A, 10-B, 15-A, & 15-B OF THE JOURNAL CENTER, PHASE 2, UNIT 2 IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF.

TIBURON INVESTMENT, LLC

BY: Douglas H. Collister  
DOUGLAS H. COLLISTER  
ADMINISTRATIVE MANAGER OF TIBURON INVESTMENT, LLC

STATE OF NEW MEXICO )  
  SS  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 29<sup>th</sup> DAY OF July, 2003 BY  
DOUGLAS H. COLLISTER, ADMINISTRATIVE MANAGER OF TIBURON INVESTMENT, LLC  
My Commission Expires: 02-24-2007 Stephanie L. Stratton  
NOTARY PUBLIC



OFFICIAL SEAL  
**STEPHANIE L. STRATTON**  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My commission expires: 02-24-07



**PLAT OF  
LOTS 10-A, 10-B, 15-A, & 15-B  
JOURNAL CENTER  
PHASE 2, UNIT 2  
(A REPLAT OF LOTS 10 & 15, JOURNAL CENTER  
PHASE 2, UNIT 2)  
ALBUQUERQUE, NEW MEXICO  
JULY, 2003**

PROJECT NUMBER 1002865  
APPLICATION NUMBER 03DRB01304

**PLAT APPROVAL**

UTILITY APPROVALS:	DATE
QWEST	<u>Dave R. Miller</u> 7-30-03
COMCAST CABLE	<u>Rita Erickson</u> 7-30-03
PNM ELECTRIC SERVICES	<u>Leand J. Mat</u> 7-30-03
PNM GAS SERVICES	<u>Leand J. Mat</u> 7-30-03
CITY APPROVALS:	
CITY SUPERVISOR	<u>[Signature]</u> 7-29-03
ENGINEERING, TRANSPORTATION DIVISION	<u>Khalid Dawud</u> 8-13-03
UTILITIES DEVELOPMENT	<u>[Signature]</u> 8/13/03
PARKS & RECREATION DEPARTMENT	<u>Khalid Dawud</u> 8-13-03
A.M.A.F.C.A.	<u>Brad J. Bihm</u> 8/13/03
CITY ENGINEER	<u>Sharon Naton</u> 8/16/03
DRB CHAIRPERSON, PLANNING DEPARTMENT	N/A
REAL PROPERTY DIVISION	N/A
ENVIRONMENTAL HEALTH DEPARTMENT	N/A

**TAX CERTIFICATION**

PROPERTY OWNER OF RECORD Tiburon Investment Corp  
[Signature] 13 Aug 03  
BERNALILLO COUNTY TREASURER'S OFFICE DATE

**PNM STAMP**

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**SURVEYOR'S CERTIFICATION**

I, A. DWAIN WEAVER, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS IN OCTOBER, 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



A. Dwain Weaver  
A. DWAIN WEAVER  
NEW MEXICO PROFESSIONAL SURVEYOR 6544  
DATE: July 25, 2003

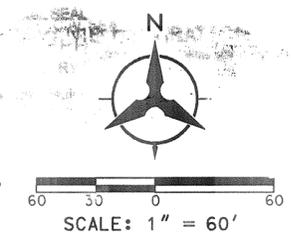
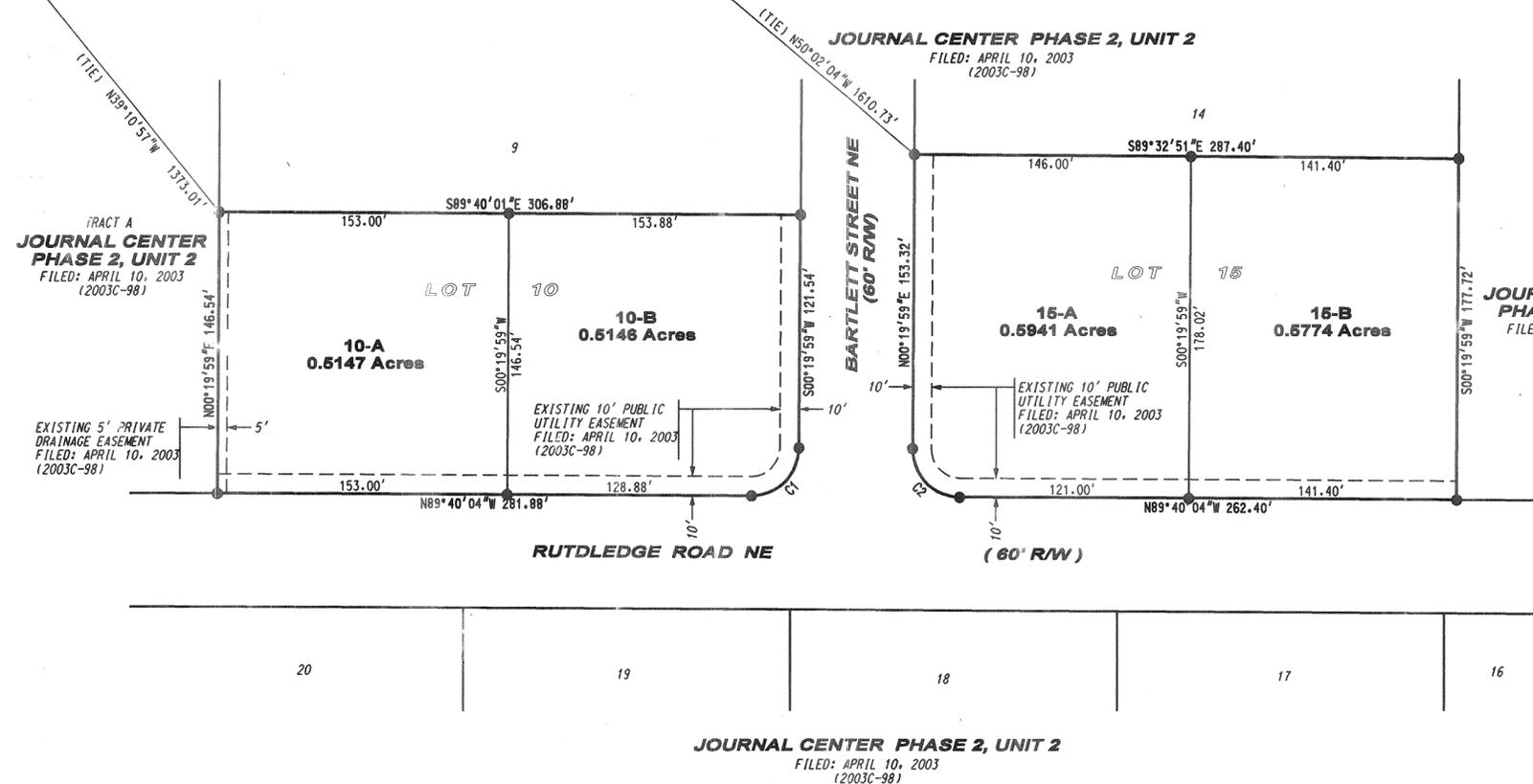
**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

2758

NGS BRASS TABLET STAMPED "REEVES 2, 1991"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 394,062.557 Y = 1,516,507.279  
 GROUND TO GRID FACTOR = 0.99967022  
 DELTA ALPHA = -0°12'15"  
 NGVD 1929 TRIG ELEVATION = 5074.0

2003145988  
 5828813  
 Page: 2 of 2  
 06/18/2003 02:08P  
 Mary Herrera Bern. Co. PLAT R 12.00 BK-2003C Pg-251

PLAT OF  
**LOTS 10-A, 10-B, 15-A, & 15-B**  
**JOURNAL CENTER**  
**PHASE 2, UNIT 2**  
 (A REPLAT OF LOTS 10 & 15, JOURNAL CENTER  
 PHASE 2, UNIT 2)  
 ALBUQUERQUE, NEW MEXICO  
 JULY, 2003



**LEGEND**

	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

**CURVE DATA**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	89°59'57"	25.00'	39.27'	25.00'	35.36'	S45°19'58"W
C2	90°00'03"	25.00'	39.27'	25.00'	35.36'	N44°40'02"W

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 2 OF 2

2758

SP-2003360295



LOCATION MAP

ZONE ATLAS INDEX MAP No. D-17-Z  
NOT TO SCALE

SUBDIVISION DATA

- 1. DCS NO.
2. ZONE ATLAS INDEX MAP No. D-17-Z
3. GROSS SUBDIVISION ACRES: 1.1644 ACRES
4. TOTAL NUMBER OF LOTS CREATED: TWO (2) LOTS
5. NO STREETS WERE CREATED
7. DATE OF SURVEY: AUGUST, 2003
8. PLAT IS LOCATED WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, T11N, R3E, N11PM.

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE ALL OF LOT 12, PART OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753, INTO TWO (2) LOTS AND EASEMENT.

NOTICE

- 1. BEING IN ACCORDANCE WITH NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE - NAD 83), AND ALSO THE SAME AS SHOWN ON THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 93 AS DOCUMENT NO. 2003058753.
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.
4. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THE LOTS CREATED BY THIS PLAT MUST BE VERIFIED AND COORDINATED WITH PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON JOINT USE OF:

- A. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
B. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
C. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMERS/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, IN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF LOT 12 OF THE PLAT OF JOURNAL CENTER PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753. LOT 12 CONTAINS 1.1644 ACRES, MORE OR LESS.

FREE CONSENT

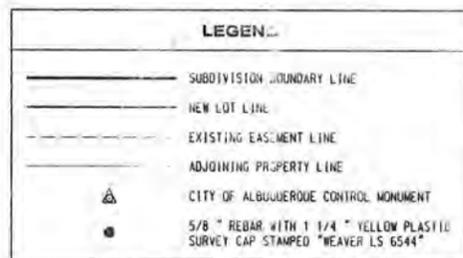
THE FOREGOING PLAT OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF LOT 12, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753 NOW COMPRISING LOTS 12-A, AND 12-B, OF THE JOURNAL CENTER, PHASE 2, UNIT 2 IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERLINED OWNER(S) AND/OR PROPRIETOR(S) THEREOF.

TIBURON INVESTMENT, LLC
By: Douglas H. Collister, Administrative Manager of Tiburon Investment, LLC

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 2 September, 2003 BY DOUGLAS H. COLLISTER, ADMINISTRATIVE MANAGER OF TIBURON INVESTMENT, LLC. MY COMMISSION EXPIRES: 6-24-07

OFFICIAL SEAL: STEPHANIE L. STRATTON, NOTARY PUBLIC-STATE OF NEW MEXICO. My commission expires: 6-24-07



CURVE DATA table with columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Row 1: C1, 90°07'10", 45.09', 70.76', 45.00', 63.71', N45°23'34"E

NGS BRASS TABLE STAMPED "REEVES 2, 1891" GEOGRAPHIC POSITION (NAD 1927) NM STATE PLANE COORDINATES (CENTRAL ZONE) X = 394,062.557 Y = 1,516,507.275 GROUND TO GRID FACTOR = 0.99967022 DELTA ALPHA = -00°12'15" NGVD 1929 TRIG ELEVATION = 5074.0



SURVEYOR'S CERTIFICATION

I, A. DWAIN WEAVER, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS IN OCTOBER, 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



A. Dwain Weaver, A. DWAIN WEAVER, NEW MEXICO PROFESSIONAL SURVEYOR 6544, DATE: August 29, 2003



PLAT OF LOTS 12-A & 12-B JOURNAL CENTER PHASE 2, UNIT 2 (A REPLAT OF LOT 12, JOURNAL CENTER PHASE 2, UNIT 2) ALBUQUERQUE, NEW MEXICO AUGUST, 2003

PROJECT NUMBER: 1000633
APPLICATION NUMBER: CB DRB-01504
PLAT APPROVAL

UTILITY APPROVALS:
QWEST: 9-3-03
COMCAST CABLE: 9-9-03
PNM ELECTRIC SERVICES: 9-3-03
PNM GAS SERVICES: 9-3-03

CITY APPROVALS:
CITY SUPERVISOR: 9-3-03
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION: 9-17-03
UTILITIES DEVELOPMENT: 9-17-03
PARKS RECREATION DEPARTMENT: 9/17/03
A.A.F.C.A.: 9/17/03
CITY ENGINEER: 9/17/03
ORB CHAIRPERSON - PLANNING DEPARTMENT: 9/25/03

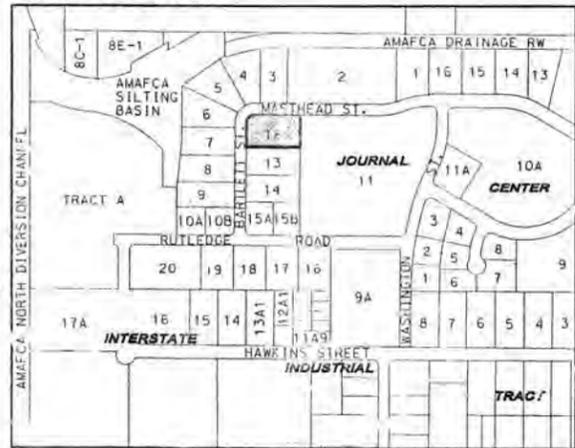
TAX CERTIFICATION
PROPERTY OWNER OF RECORD: TIBURON INVESTMENT CORP
BERNALILLO COUNTY TREASURER'S OFFICE: 9/25/03

PNM STAMP: In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston, Inc.
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

2765

SP-2003360295



**LOCATION MAP**  
ZONE ATLAS INDEX MAP No. D-17-Z  
NOT TO SCALE

**SUBDIVISION DATA**

1. DRB NO.
2. ZONE ATLAS INDEX No. D-17-Z.
3. GROSS SUBDIVISION ACREAGE: 1.1644 ACRES.
4. TOTAL NUMBER OF LOTS CREATED: TWO (2) LOTS.
5. NO STREETS WERE CREATED.
6. DATE OF SURVEY: AUGUST, 2003.
7. PLAT IS LOCATED WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, T11N, R3E, NMPM.

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE ALL OF LOT 12, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753, INTO TWO (2) LOTS AND EASEMENT.

**NOTES**

1. BEARINGS AND NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) AND ALSO THE SAME AS SHOWN ON THE PLAT OF THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753.
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.
4. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THE LOTS CREATED BY THIS PLAT MUST BE VERIFIED AND COORDINATED WITH PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON JOINT USE OF:

- A. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- B. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- C. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMERS/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

**DESCRIPTION**

A CERTAIN TRACT OF LAND WITHIN THE ELENA GALLEGOS GRANT, IN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF LOT 12 OF THE PLAT OF JOURNAL CENTER PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753.

LOT 12 CONTAINS 1.1644 ACRES, MORE OR LESS.

**FREE CONSENT**

THE FOREGOING PLAT OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO, BEING AND COMPRISING ALL OF LOT 12, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753 NOW COMPRISING LOTS 12-A, AND 12-B, OF THE JOURNAL CENTER, PHASE 2, UNIT 2 IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF.

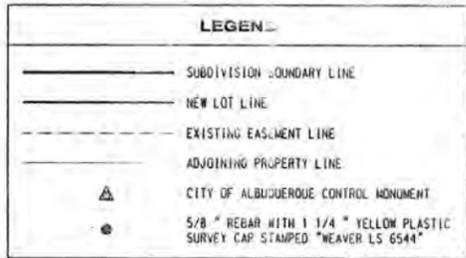
TIBURON INVESTMENT, LLC  
BY: *Douglas H. Collister*  
DOUGLAS H. COLLISTER  
ADMINISTRATIVE MANAGER OF TIBURON INVESTMENT, LLC

STATE OF NEW MEXICO )  
                                  ) SS  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 8 DAY OF September, 2003  
BY DOUGLAS H. COLLISTER, ADMINISTRATIVE MANAGER OF TIBURON INVESTMENT, LLC.

MY COMMISSION EXPIRES: 02-24-07 *Stephanie L. Stratton*  
NOTARY PUBLIC

**OFFICIAL SEAL**  
**STEPHANIE L. STRATTON**  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My commission expires: 02-24-07



**CURVE DATA**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°07'10"	45.09'	70.78'	45.00'	63.71'	N45°23'34"E

NGS BRASS TABLET STAMPED "REEVES 2, 1991"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 394,062.557 Y = 1,516,507.273  
GROUND TO GRID FACTOR = 0.99967022  
DELTA ALPHA = -00°12'15"  
NGVD 1929 TRIG ELEVATION = 5074.0



**SURVEYOR'S CERTIFICATION**

I, A. DWAIN WEAVER, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS IN OCTOBER, 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



*A. Dwain Weaver*  
A. DWAIN WEAVER  
NEW MEXICO PROFESSIONAL SURVEYOR 6544  
DATE: August 29, 2003



**PLAT OF**  
**LOTS 12-A & 12-B**  
**JOURNAL CENTER**  
**PHASE 2, UNIT 2**  
(A REPLAT OF LOT 12, JOURNAL CENTER  
PHASE 2, UNIT 2)  
ALBUQUERQUE, NEW MEXICO  
AUGUST, 2003

PROJECT NUMBER 1000633  
APPLICATION NUMBER CB DRB-01504  
**PLAT APPROVAL**

UTILITY APPROVALS:  
QWEST *Dan D. Muller* 9-3-03  
COMCAST CABLE *Rita S. Sicks* 9-9-03  
PNM ELECTRIC SERVICES *Leonard G. Marts* 9-3-03  
PNM GAS SERVICES *Leonard G. Marts* 9-3-03

CITY APPROVALS:  
CITY ENGINEER *W. B. Ful* 9-3-03  
TRAFFIC ENGINEERING, TRANSPORT PLANNING DIVISION *Paul D. Cook* 9-17-03  
UTILITIES DEVELOPMENT *Roger A. Shum* 9-17-03  
PARKS & RECREATION DEPARTMENT *Christina Sandoval* 9/17/03  
A.P.A.F.C.A. *Paul D. Cook* 9-17-03  
CITY ENGINEER *Brad S. Bigham* 9/17/03  
DRB CHAIRPERSON, PLANNING DEPARTMENT *Ashlan Matson* 9/25/03

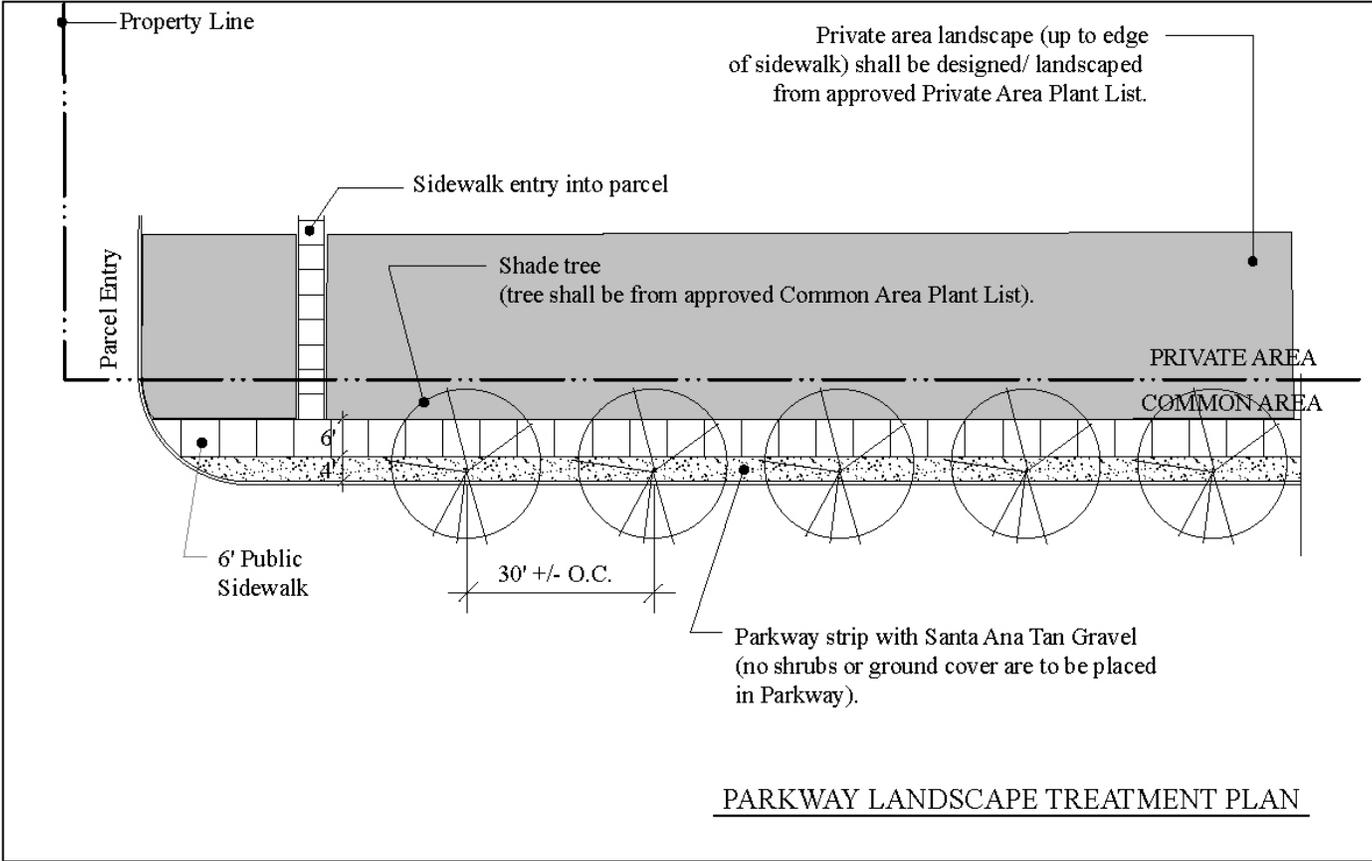
**TAX CERTIFICATION**  
101706710-2308 20120  
PROPERTY OWNER OF RECORD **TIBURON INVESTMENT CORP**  
*[Signature]* 9/25/03  
BERNALILLO COUNTY TREASURER'S OFFICE DATE

**PNM STAMP**  
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**Bohannon & Huston**  
Court yard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

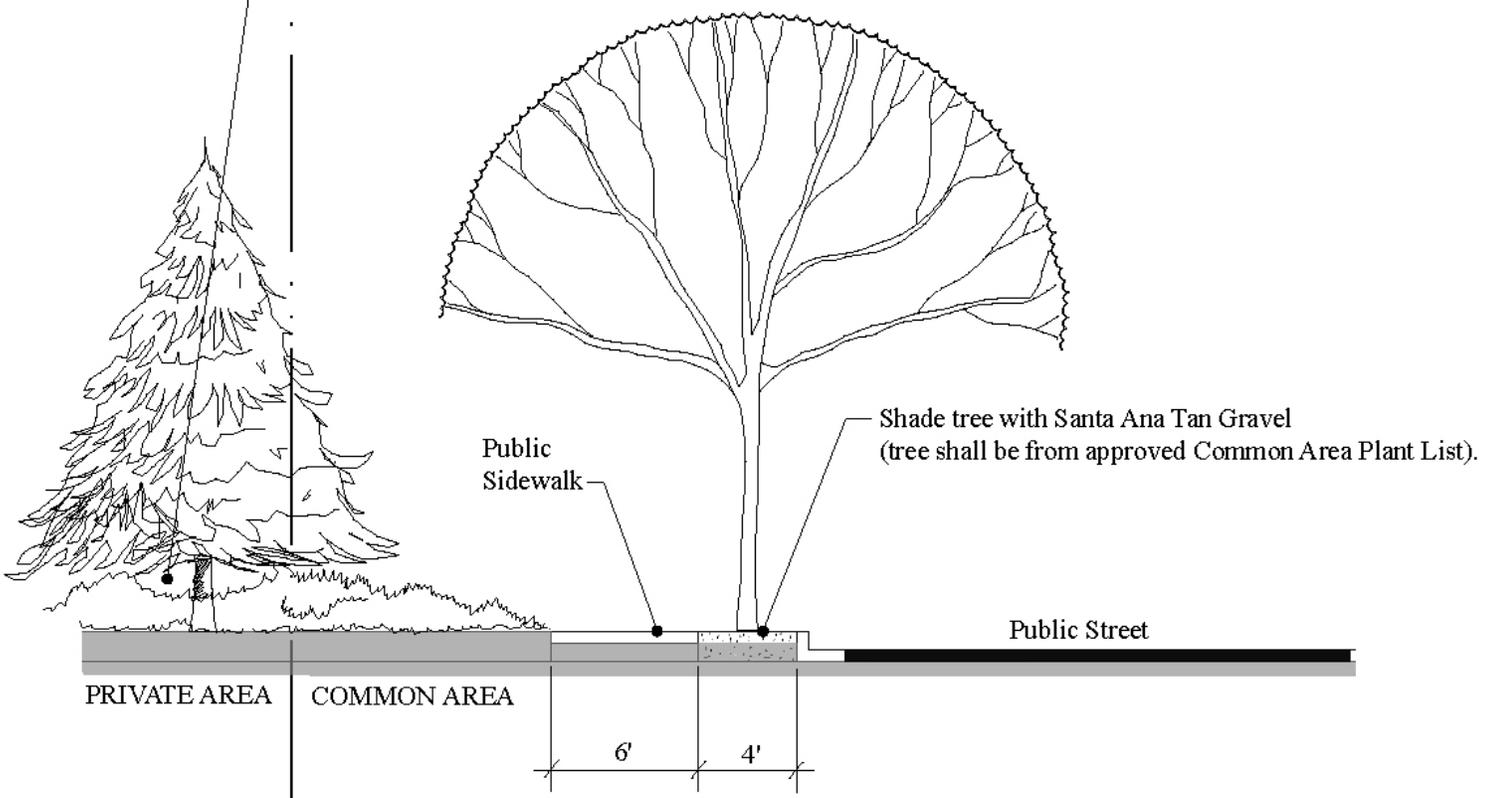
2765

# Appendix B Streetscape Plan/Section



Property Line

Private area landscape (up to edge of sidewalk) shall be designed/ landscaped from approved Private Area Plant List.



PARKWAY LANDSCAPE TREATMENT SECTION

**Appendix C**  
**Acceptable and Prohibited Plants/**  
**Acceptable Irrigation Equipment**

# "Acceptable and Prohibited Plant List"

for Journal Center 2

## Common Name

## Botanical Name

---

### Streetscape

#### Street Trees (Parkway Strip)

Berinda Ash

*Fraxinus velutina* vav. Berinda

#### Trees

Berinda Ash

*Fraxinus velutina* vav. Berinda

Chinese Pistache

*Pistachia chinensis*

Common Hackberry

*Celtis occidentalis*

#### Small / Specimen Trees

Arizona Rosewood

*Vauquelinia californica*

Escarpment or Emory Oak

*Quercus fusiformis*

Gambel Oak

*Quercus gambelii*

Oklahoma Redbud

*Cercis reniformis*

Thornless Hawthorne

*Crataegus crus-galli* Inermis

#### Shrubs

Curleaf Mountain Mahogany

*Cercocarpus ledifolius*

Manzanita

*Arctostaphylos pungens*

Apache Plume

*Fallugia paradoxa*

Silverberry

*Elaeagnus pungens*

Dwarf Mugo Pine

*Pinus mugo mugo*

#### Ground Cover

Prostrate Sumac

*Rhus triobata* Prostrata

Powis Castle Sage

*Artemisia* X Powis Castle

Kinnikinnick

*Arctostaphylos uva-ursi*

Thyme

*Thymus* spp.

#### Grasses

Buffalograss (sod)

*Buchloe dactyloides*

## Roundabout

### Trees

Rocky Mountain Juniper  
Vanderwulf's Limber Pine  
Arizona Rosewood (option)  
Oklahoma Redbud (option)  
Thornless Hawthorne (option)

Juniperus scopulorum  
Pinus flexilis var. Vanderwulf  
Vauquelinia californica  
Cercis reniformis  
Crataegus crus-galli Inermis

### Shrubs

Sotol  
Beargrass  
Banana Yucca

Dasyllirion wheeleri  
Nolina microcarpa  
Yucca baccata

### Ground Cover

Mexican Threadgrass

Stipa tenuisima

## Outparcel Buffer

### Trees

Rocky Mountain Juniper  
Limber Pine  
Southwestern White Pine

Juniperus scopulorum  
Pinus flexilis var. Vanderwulf  
Pinus strobiformis

### Shrubs

Winter Jasmine  
Three-leaf Sumac  
Apache Plume  
Grayleaf Cotoneaster  
English Lavender  
Upright Rosemary  
Rainsage

Jasminum nudiflorum  
Rhus trilobata  
Fallugia paradoxa  
Cotoneaster buxifolius  
Lavandula angustifolia  
Rosmarinus officinalis cultivars  
Leucophyllum spp.

## Private Space

### Trees

Berinda Ash  
Chinese Pistache  
Common Hackberry  
Arizona Rosewood  
Oklahoma Redbud

Fraxinus velutina var. Berinda  
Pistachia chinensis  
Celtis occidentalis  
Vauquelinia californica  
Cercis

Thornless Hawthorne  
Rocky Mountain Juniper  
Limber Pine  
Southwestern White Pine

### **Small / Specimen Trees**

Arizona Rosewood  
Escarpment Live Oak  
Gambel Oak  
Oklahoma Redbud  
Thornless Hawthorne

### **Shrubs**

Curleaf Mountain Mahogany  
Manzanita  
Silverberry  
Dwarf Mugo Pine  
Sotol  
Beargrass  
Banana Yucca  
Winter Jasmine  
Three-leaf Sumac  
Apache Plume  
Grayleaf Cotoneaster  
English Lavender  
Upright Rosemary  
Rainsage

### **Ground Cover**

Prostrate Sumac  
Mexican Threadgrass  
Powis Castle Sage  
Kinnikinnick  
Thyme  
Buffalograss (sod)  
Autumn Joy Sedum  
Wooly Lamb's ear  
Germander  
Hummingbird plant  
Gayfeather

### **Prohibited Plants**

Mulberry  
Russian Olive

Crataegus crus-galli Inermis  
Juniperus scopulorum  
Pinus flexilis var. Vanderwulf  
Pinus strobiformis

Vauquelinia californica  
Quercus fusiformis  
Quercus gambelii  
Cercis reinformis  
Crataegus crus-galli Inermis

Cercocarpus ledifolius  
Arctostaphylos pungens  
Elaeagnus pungens  
Pinus mugo mugo  
Dasylirion wheeleri  
Nolina microcarpa  
Yucca Baccata  
Jasminum nudiflorum  
Rhus trilobata  
Fallugia paradoxa  
Cotoneaster buxifolius  
Lavandula angustifolia  
Rosmarinus officinalis cultivars  
Leucophyllum spp.

Rhus trilobata Prostrata  
Stipa tenuisima  
Artemisia X Powis Castle  
Arctostaphylos uva-ursi  
Thymus spp.  
Buchloe dactyloides  
Sedum telephium  
Stachys lanata  
Teucrium chamaedrys  
Zauschneria californica  
Liatris punctata

Morus spp.  
Elaeagnus angustifolid

Tamarisk  
Purple Leaf Plum  
All Palm Trees

Tamarix spp.  
Prunus spp.

## “Acceptable Irrigation Equipment”

Following is acceptable equipment for any work done in the parkway strips of Journal Center 2. Any equipment used in private areas is up to the discretion of the lot owner.

<b>Equipment</b>	<b>Supplier</b>	<b>Model #</b>
Automatic Controller and Pedestal Enclosure	Tucor Stronbox	TWC-100-C SB-2455
Water Meter		Per Code
Backflow Preventer and Enclosure Standard Detail	Wilkins Strongbox	975 RPBA, SBBC-60 ALHP, COA
Flow Sensor Master Valve	Tucor Bermad	FS-200, 910-P
Remote Control Master Valve	Rainbird	PEB, COA Standard Detail #2703
Remote Control Valve	PEB	COA Standard Detail # 2703
Buffalo Grass Turf Spray	Hunter	Institutional 4" PCN-20
Tree Bubbler	Rainbird	1803-5H-PCS060, COA #2710
Drip Poly Pipe	Toro	Toro EZ DripTubing EZH-50
Pressure Regulator	Rainbird	PSI-L30x-075
Remote Drip Valve Disc Filter	Rainbird Netafim	PEB 1" DF100-200, COA # 2703
Manual Drain Valve	Nibco	Nibco 1"
Gate Valve	Nibco	Nibco 2"
Air Relief Valve	Crispin	Crispin UL , COA # 2705
Irrigation Sleeve		Class 200 w/12 ga.pull wire
Irrigation Main Line Piping		Sch 40 PVC
Irrigation Lateral Piping		Class 200 PVC

**Appendix D**  
**Journal Center 2 Common Properties**



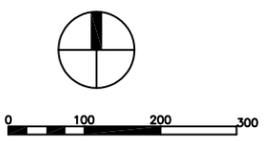
**LEGEND**  
 JOURNAL CENTER 2 - COMMON PROPERTIES

-  Developer Installed
-  Parcel Owner Installed

Note:  
 Dimensions and Acreages noted are approximate only; actual surveyed plat data will vary slightly from the plan as shown.

# JOURNAL CENTER 2

## OFFICE AND OFFICE/WAREHOUSE PROPERTIES



GRAPHIC PREPARED BY:  
 January 19, 2004



Graphic depicts R.O.W  
 and Parcel Boundaries  
 Only.

5150 A SAN FRANCISCO NE  
 ALBUQUERQUE, NM 87109

# Appendix E Color Palette

# List of Acceptable Stucco Colors

## El Rey Stucco

PF 817 Dry River

PF 1569 Taos

PF 272 Tierra

PF 806 Buffalo

PF 1566 Pottery

PF 825 Rio Bravo

PF 1571 Clay

PF 816 Earth

*Note: matching colors by other manufacturers are acceptable*

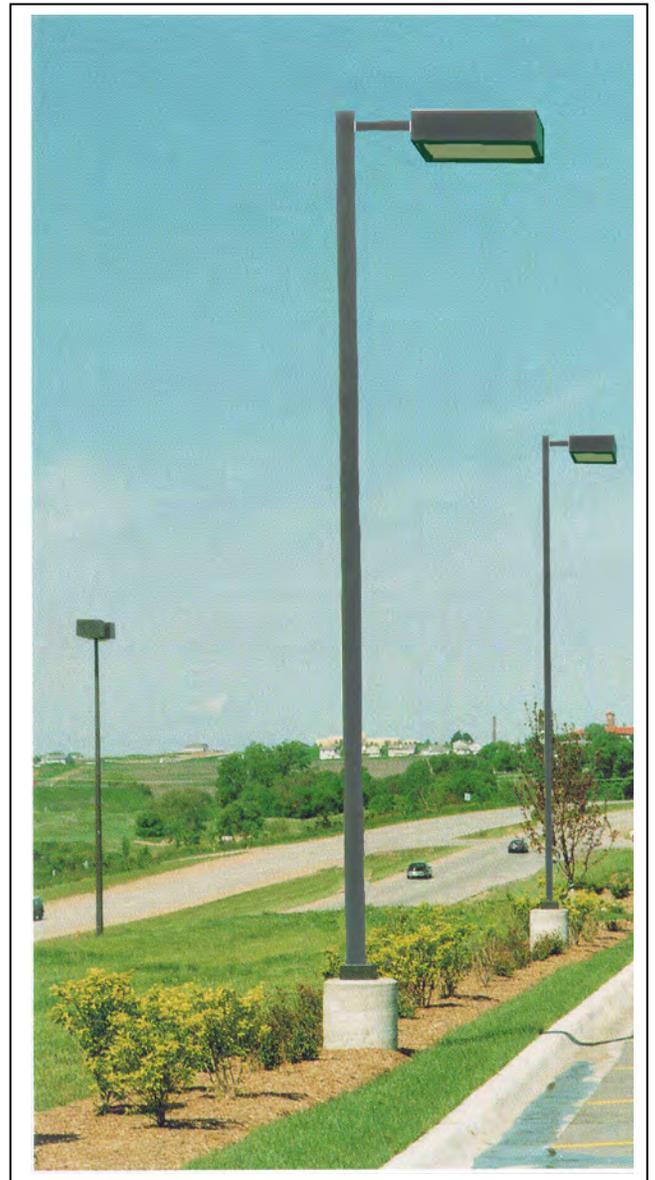
# Appendix F Standards for Street Furniture

# Streetscape Light Poles

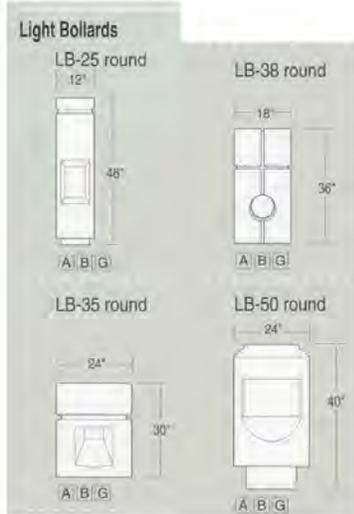


"Shoe Box" style lighting (approved by PNM)  
for all area lighting.

Bronze toned color is required for Journal Center2



# Front Yard-Light Bollards



Light Bollards  
by Dura Art Stone,  
Robert H. Boyer  
Woods Site and Playscapes  
6301 Menaul Blvd. NE #540  
Albuquerque, NM 87110  
1-505-881-4088

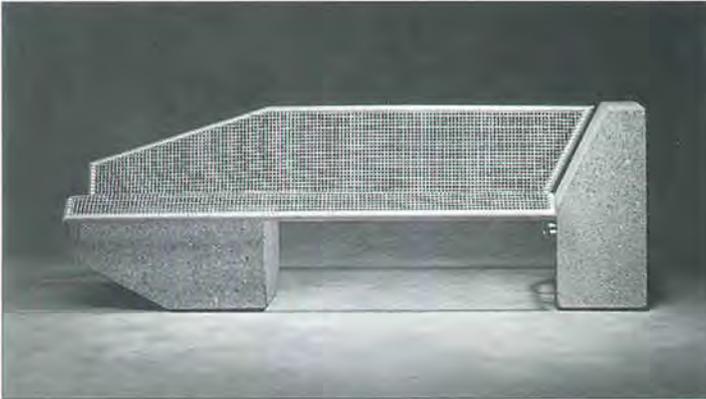


LB-50 Light Bollard

Light Bollard, Model # LB-50  
by Dura Art Stone,  
Robert H. Boyer  
Woods Site and Playscapes  
6301 Menaul Blvd. NE #540  
Albuquerque, NM 87110  
1-505-881-4088

# Street Furniture

## Benches



"Artesit" bench by ERLAU  
Outer Space Landscape Furnishings, Inc  
7533 Draper Ave.  
La Jolla CA 92037  
1-800-338-2499



S-6L

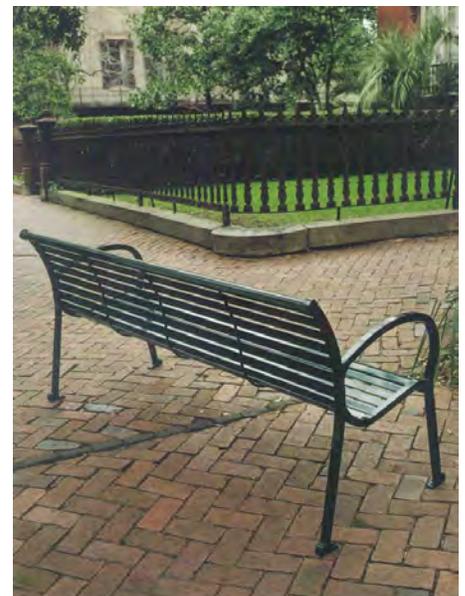
Cast Stone Bench, Model #S-6L,  
by Dura Art Stone,  
Robert H. Boyer  
Woods Site and Playscapes,  
6301 Menaul Blvd. NE  
Albuquerque, NM 87110  
505-881-4088



"Avenida" Bench,  
by ERLAU AG  
Outerspace Landscape Furnishings, Inc.  
7533 Draper Ave.  
La Jolla, CA  
1-800-338-2499  
[www.erlau.com](http://www.erlau.com)



Petoskey Full, backed bench,  
by Landscapeforms,  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-5212546  
[www.landscapeforms.com](http://www.landscapeforms.com)



"Scarborough" backed bench,  
horizontal strap seat,  
by Landscapeforms,  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-521-2546  
[www.landscapeforms.com](http://www.landscapeforms.com)



"Arcata" backed bench,  
with metal and recycled plastic,  
by Landscapeforms,  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-521-2546  
[www.landscapforms.com](http://www.landscapforms.com)



"Arcata" backless bench,  
by Landscapeforms,  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-521-2546



"Arcata" backed bench,  
with wood and metal,  
by Landscapeforms  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-521-2546  
[www.landscapeforms.com](http://www.landscapeforms.com)



Cast Stone Bench, Model# S-6A,  
by Dura Art Stone  
Robert H. Boyer  
Woods Site and Playscapes  
6301 Menaul Blvd. NE #540  
Albuquerque, NM 87110  
505-881-4088

## Bicycle Racks

▼ PI9005-SM-43, Surface Mount, Hollyberry powdercoat.



"PI rack" bike rack,  
by Landscape Forms, Inc.  
431 Lawndale Ave  
Kalamazoo, MI 49001  
1-800-521-2546  
[www.landscapeforms.com](http://www.landscapeforms.com)



"Heavy Duty Challenger" bike rack,  
by Madrax  
2210 Pinehurst Drive  
Middleton, WI 53562  
1-800-831-9040  
[www.madrax.com](http://www.madrax.com)

# Bollards



"Arcus" Bollard  
 by ERLAU AG  
 Outerspace Landscape Furnishings  
 7533 Draper Ave.  
 La Jolla, CA  
 1-800-338-2499  
 www.erlau.com



Parking Bollards  
 by Dura Art Stone,  
 Robert H. Boyer  
 Woods Site and Playscapes  
 6301 Menaul Blvd NE #540  
 Albuquerque, NM 87110

**Parking Bollards**

PB-A square PB-B round (A) (B) (F)	PB-C square PB-D round (A) (B) (F)
PB-H3 round (A) (B) (F)	PB-H4 round (A) (B) (F)
PB-E round (A) (B) (F)	

Parking Bollards,  
 by Dura Art Stone,  
 Robert H. Boyer  
 Woods Site and playscapes  
 6301 Menaul Blvd. NE #540  
 Albuquerque, NM 87110  
 1-505-881-4088

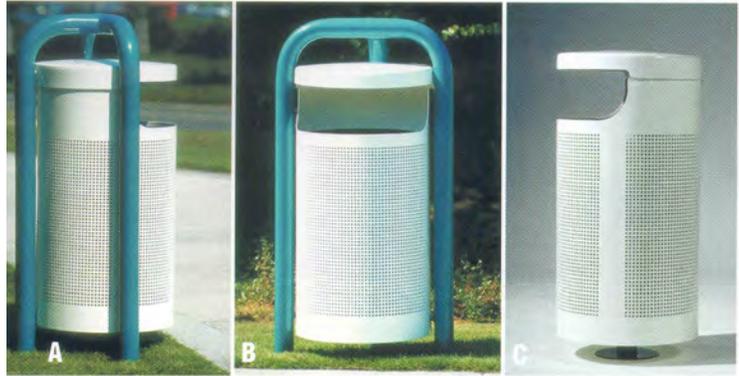
## Trash Receptacles



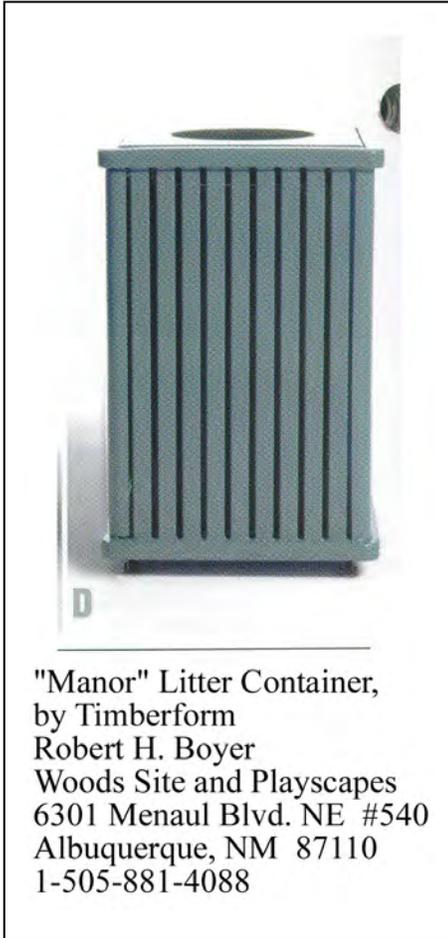
"Petosky" litter receptacle series,  
by Landscapeforms  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-521-2546  
www.landscapeforms.com



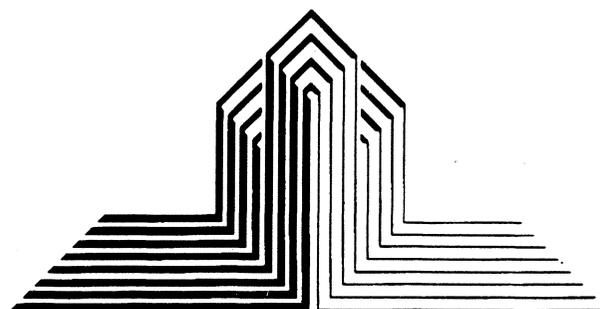
"Boulevard" Litter Container,  
by Timberform  
Robert H. Boyer  
Woods Site and Playscapes  
6301 Menaul Blvd. NE #540  
Albuquerque, NM 87110  
1-505-881-4088



"Palomar" Litter Container,  
by Timberform  
Robert H. Boyer  
Woods Site and Playscapes  
6301 Menaul Blvd. NE #540  
Albuquerque, NM 87110  
1-505-881-4088



# Park Development Standards



JOURNAL CENTER CORPORATION

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# PARK DEVELOPMENT STANDARDS

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SECTION VIII	Industrial Class II	Page 25

## Appendices

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APPENDIX B	Minor Arterial Street 86 foot Right-of-Way – Building Setback Sketch 1 – Parking Lot Setback Sketch 2	Page 33 Page 34
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## PREFACE

It is the intent of the park development standards to provide comprehensive standards for the development of the Journal Center, consisting of approximately 315 acres previously designated on the Albuquerque/Bernalillo County Comprehensive Plan, as an established urban area. The property has been annexed November 19, 1980, to the City of Albuquerque and IP (Industrial Park) zoning was acquired.

### SECTION I - Purpose and Intent

The purpose of the Park Development Standards for the Journal Center is to achieve the following general objectives:

1. General Purpose
  - A. To enhance and implement the comprehensive plan.
  - B. To provide a guide for the growth and development of the Journal Center in accordance with the Albuquerque/Bernalillo County Comprehensive Plan and Zoning Code.
  - C. To secure for the citizens of Albuquerque the social and economic advantages resulting from the orderly planned use of its land resources.
  - D. To establish conditions which will allow land uses to exist in harmony within the community.
  - E. To promote a safe, efficient traffic circulation system and adequate off-street parking.
  - F. To facilitate adequate provisions for community facilities such as transportation, water, sewerage and other public requirements.
  - G. To protect and enhance real property values.
  - H. To promote the stability of existing land uses and to protect them from incompatible and harmful intrusions.

2. Specific Purpose

The Development Standards for the Journal Center are additionally intended to achieve the following objectives:

- A. To provide additional commercial, business and industrial activities for the City of Albuquerque and vicinities.

- B. To provide regulations that meet the broad objectives of the Albuquerque/Bernalillo County Comprehensive Plan; and show an integration of site uses, structures, accessory uses, landscaping, parking, signing and circulation, at the same time allowing for the protection and enhancement of surrounding property both developed and undeveloped.
- C. To provide and promote the highest quality of design and visual appearance of all improvements and permit planned diversification.
- D. To provide for flexibility in development, creative and imaginative design, and the development of parcels of land as coordinated projects involving a mixture of land uses.
- E. To establish conditions for a planning and review process and review criteria intended to lessen discretionary decisions.
- F. To provide a system of private design review by the Journal Center Architectural Review Committee and the City of Albuquerque to develop any parcel within Journal Center.
- G. To establish a review process for the user from initial contact to issuance of a building permit and through the construction of project.

## **SECTION II - General Notes**

1. Terms used in the development standards shall have the same meaning as defined by the City of Albuquerque Comprehensive City Zone Code, Ordinance 80-1975, Section 5 definitions, unless otherwise defined herein.
2. All construction within the boundaries of the Journal Center shall comply with all provisions of subdivision, zoning and building codes applicable in the City of Albuquerque.
3. No lands shall be cleared of vegetation, graded, or the natural ground surface thereof otherwise disturbed, unless a building permit has been duly issued for the proposed construction or other development as authorized by the City of Albuquerque.
4. All signs within Journal Center shall be subject to the standards in the City of Albuquerque comprehensive zoning code General Regulation, Section 40.E and/or the standards in this text.
5. The utilities within Journal Center will be provided by:

**Electricity:**

**PUBLIC SERVICE COMPANY OF NEW MEXICO**

Alvarado Square

414 Silver Avenue, Southwest

Albuquerque, New Mexico 87158

**Gas:**

**GAS COMPANY OF NEW MEXICO**

Corporate Offices:

2444 Louisiana Boulevard, Northeast

Albuquerque, New Mexico 87110

**Mailing Address:**

Post Office Box 1692

Albuquerque, New Mexico 87103

**Water and Sewer:**

**CITY OF ALBUQUERQUE**

Public Works Department

Post Office Box 1293

Albuquerque, New Mexico 87102

**Telephone:**

**U.S. WEST COMMUNICATIONS**

Post Office Box 1355

Albuquerque, New Mexico 87103

6. All access plans, necessary rights-of-way, dedication and improvements shall meet with the requirements and approval of the City of Albuquerque.
7. All construction shall be in compliance with City of Albuquerque building, mechanical and electrical codes.

## **SECTION III - Development Plan**

The following exhibits are presented in the same sequence as the information they contain was used in the analysis and design process. The project boundary and the elevation analysis were used to develop the grading and drainage analysis plan and the buildable area plan. These physical site maps led to the development of the land use map. The landscape master plan defines a total landscape concept for planting and maintenance. The conceptual site plan is only an attempt to show the character of the development standards with **one possible development alternative** in compliance with the land use plan. It is important to realize that the conceptual site plan is conceptual and its value is to show the intent of the development standards as envisioned by the planners and architects for the Journal Center.

### **Exhibits**

1. **Project Boundary**
2. **Elevation Analysis**
3. **Grading and Drainage Analysis**
4. **Buildable Area Analysis**
5. **Land Use Plan**
6. **Landscape Master Plan**
7. **Conceptual Site Plan**
8. **Sign Plan**
9. **Utility Plan**

## **SECTION IV - General Development Standards**

### **1. Purpose and Intent**

The purpose and intent of this section is to establish general standards for development in addition to those established by other sections of the Journal Center Park Development Plan and Standards.

### **2. Building Heights**

A variety of building height limitations has been established because of different land uses allowed.

#### **A. Support Commercial**

1. Structure height up to 26 feet is permitted at any legal location. The height and width of the structure over 26 feet high shall fall within 45-degree angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline. To protect solar access, a structure over 26 feet high may not exceed the northern boundary of these 45-degree plans, but may be sited in any other direction within planes drawn at a 60-degree angle from the same boundaries or centerline. Antennas will be allowed up to 65 feet in height, but will be subjected to review by the Journal Center Design Review Committee.

#### **B. Office/Commercial/Research and Development**

1. Structure height up to 26 feet is permitted at any legal location. The height and width of the structure over 26 feet high shall fall within 45-degree angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline. To protect solar access, a structure over 26 feet high may not exceed the northern boundary of these 45-degree planes, but may be sited in any other direction within planes drawn at a 60-degree angle from the same boundaries or centerline. Antennas will have no limitation as to height but will be subjected to review by the Journal Center Design Review Committee.

#### **C. Industrial Class I**

1. Structure height up to 36 feet is permitted at any legal location. The height and width of the structure over 36 feet high shall fall within a 45-degree angle plane drawn from the horizontal at the mean grade along each boundary of the premises, but a structure shall not exceed a height of 120 feet. Antennas will have no limitation as to height.

#### **D. Industrial Class II**

1. Structure height up to 36 feet is permitted at any legal location. The height and width of the structure over 36 feet high shall fall within a 45-degree angle plane drawn from the horizontal at the mean grade along each boundary of the premises, but a structure shall not exceed a height of 120 feet. Antennas will have no limitation as to height.

## Building Setbacks

All building setbacks shall be measured from the face of the curb.

### A. Front Yard Setback

1. Arterial Street, 86' right of way

Minimum building setback of forty (40) feet from the face of the street curb line. See Appendix B, Sketches 1 and 2.

2. Local street, 60' right of way

Minimum building setback of thirty (30) feet from the face of the street curb line. See Appendix C.

3. Freeway Frontage Road

Minimum building setback of sixty (60) feet from the street property line. The setback area will be a combination of public and private lands. See Appendix D, Sketches 1 and 2.

4. Paseo del Norte

Minimum building setback of sixty (60) feet from the street property line. The setback area will be a combination of public and private lands. See Appendix E, Sketches 1 and 2.

### B. Side Yard Setback

1. Ten (10) feet, except that cantilevered roofs and sunscreens may project three (3) feet into the setback area. In the case of a corner lot, the front yard setbacks will apply, except that cantilevered roofs and sunscreens may project six (6) feet into the setback area. Interior lot lines for a corner lot shall be considered side lot lines. Signs allowed by this ordinance may be placed in street-side, side yard setback areas.

### C. Rear Yard Setback

1. Ten (10) feet, except that cantilevered roofs and sunscreens may project three (3) feet into the setback area.

## 4. Building Site Coverage

Maximum building coverage allowed for each land use is described below. Parking structures shall not be calculated as building area; however, said structures shall be used only for the parking of company vehicles, employees' vehicles or vehicles belonging to persons visiting the subject firm.

- A. Support Commercial  
thirty-five percent (35%) maximum building coverage
- B. Office/Commercial/Research and Development  
fifty percent (50%) maximum building coverage
- C. Industrial Class I  
sixty percent (60%) maximum building coverage
- D. Industrial Class II  
eighty percent (80%) maximum building coverage

5. Signs

All signs will be in compliance with the City of Albuquerque comprehensive zoning code General Regulation, Section 40.E.

All signs will also be subject to approval by the Journal Center Architectural Review Committee before submittal to the City of Albuquerque.

A. Administration

- 1. Each owner, tenant or lessee shall submit or cause to be submitted to the Journal Center Architectural Review Committee for approval before fabrication at least 3 copies of detailed drawings covering the location, size, layout, design, color and materials of the proposed building elevation, including all signing and/or graphics.
- 2. After the Journal Center Architectural Review Committee has approved the sign drawings, the owner, tenant or lessee shall submit the plans to the City of Albuquerque Planning Department for approval. If any changes are made in the signed plans by the Planning Department, the owner, tenant or lessee shall re-submit revised plans to the Architectural Committee for review and approval prior to fabrication and installation.
- 3. All permits and fees for signs and their installation shall be obtained and paid for by the owner, tenant, lessee, or his representative.
- 4. The owner, tenant or lessee shall be responsible for the fulfillment of all requirements and specifications of this document and any appropriate City Code.

6. Landscaping

A. Landscape Master Plan and Standards

The Landscape Master Plan and Standards serve to establish a framework for the site development at Journal Center. It is the intent of this framework to provide the basis for an overall unified treatment and high degree of landscape quality throughout the entire site.

This document is comprised of two distinct sections: the Landscape Master Plan, Section III, and the Landscape Standards, Paragraph E page II. The Master Plan is the more rigid and serves to provide site unity through the use of specific materials. The Landscape Standards, although specific in nature, will allow flexibility in design. The Standards are the backbone provided to support the desired high quality of development.

## B. Landscape Concept

The landscape objective in its broadest sense is to integrate the landscape with both the introduced architectural elements and the character of the major roadways and perimeter plantings. Plant materials of varied nature have been selected for their hardiness, character and maintainability.

## C. General Requirements

Detailed landscape and irrigation plans, prepared and signed by a “qualified” landscape architect, shall be submitted to the Journal Center Architectural Review Committee for concept approval. The landscape and irrigation plans shall also be submitted to the proper reviewing agencies of the city, county and highway department for approval prior to issuance of a Building Permit; prior to any building construction, and prior to the issuance of a Certificate of Use and Occupancy.

1. All government standards (local and otherwise) applicable to landscape and irrigation shall be investigated prior to preliminary design and incorporated into design schemes prior to plan submittal.
2. Individual expression, as related to the landscape design of each site, is encouraged and shall be based, in addition to the parameters set forth in the concept statement, on the following criteria:
  - a. Landscape elements shall be of the “long-lived” variety. “Short-lived” materials can be utilized, but only as a supplement to longer-lived elements.
  - b. Landscape elements within the front yard or visible from the public right-of-way shall be of similar character and compatible with the parkway in the design and vocabulary indicated on the Master Plan and Suggested Plant Lists. Landscape materials are considered to be a strong unifying element and, therefore, should reflect the physical, functional, and aesthetic qualities of the site.
  - c. Simple palettes of materials in simple compositions utilizing two species of accent trees recommended to achieve an overall unified design treatment.
  - d. Expansive horizontal and vertical surfaces, comprised of singular materials, shall be modulated or interrupted by foliage masses.

- e. Trees, both lines and masses, shall be utilized to enclose and subdivide exterior spaces relative to each individual site and provide physical protection from sun and wind in paved expanses.
- f. Thorough soil preparation is essential to plant survival. An agricultural quality soil test shall be performed. Specifications shall indicate all soil treatment and preparation.
- g. As water management is critical, conservation is a key design consideration for irrigation plans. These systems shall be coordinated with specific planting requirements.
- h. Large areas of disturbed (scarified) soil cause blowing dust and noxious weeds to be problems. Ground covers such as pasture grasses with at least temporary irrigation should be considered in these areas.

#### D. Landscape Master Plan and Suggested Plant List

The Landscape Master Plan (see Section III - Development Plan) specifically delineates the major site planting elements, their size, number and location requirements. The function of this section is to maintain landscape design continuity that is critical to overall site unity.

The Suggested Plant Lists (see Appendix A) are to serve as a supplement to the Master Landscape Plan. It is the intent of these lists to provide a further basis for overall site continuity.

Suggested Plant List, Sections 1, 2, 4 and 5 related directly to the Landscape Master Plan while Sections 3, 6, 7, 8, 9, and 10 establish a framework for individual site design. It is required that plant selection for all common maintenance areas be limited to and drawn from these lists. For privately maintained areas, extended plant palettes are encouraged, but designers shall keep in mind that both simplicity and unity are major design criteria for overall site development.

#### E. Landscape Standards

The Landscape Standards are the major means by which a quality landscape will develop at Journal Center Business Park. Prior to proceeding with any individual site design, particular attention should be given to this section.

In terms of landscape design, all unpaved areas not utilized for parking and storage shall be landscaped utilizing ground cover, shrubs, and tree materials, and/or dry (inorganic) materials as indicated in the Landscape Master Plan and Suggest Plant Lists.

1. **Street Trees**

Street trees are required and are considered to be part of the Front Yard – Parkway Landscape. Major and minor species, minimum sizes and number required per 100 lineal feet of street frontage can be determined by referring to the Landscape Master Plan and Suggested Plant Lists. Minimum tree size to be 2 1/2" caliper.

2. **Front Yard**

The front yard is considered to consist of the entire area between the face of the curb at the access street and the face of any building. Front yard landscaping shall consist of the following:

- a. **Parkway Landscape:** Where parking occurs between the right-of-way line and the face of building (see Appendix B & C). This area is to be landscaped with 2 1/2" minimum caliper street trees, accent trees, screening shrubs and ground cover treatment (see Landscape Master Plan and Appendices).

The parkway landscape shall be designed to screen the parking area from the access street. In addition to street trees, the screening must be accomplished by earth berming (natural in character) with a minimum height of 36" from the top of curb at the access street (see Appendices). Scope shall never be greater than 33% (one to three).

- b. **Building Setback (or Landscaper Buffer):** Where no parking occurs between the right-of-way line and the face of building (see also Appendix B and C) this area is to be landscaped with street trees, accent trees, shrubs (optional near building) and ground cover treatment (see Landscape Master Plan and Appendices).

Both the Parkway Landscape and Building Setback Buffer, with the exception of parking lots, are to be turned over to common maintenance, performed by the Journal Center Association, upon acceptance of final installation.

3. **Parking Lots**

Shade trees not less than two and one-half inches (2 1/2") caliper in size, equal in number to two (2) per each five (5) parking stalls; accent trees, equal in number to one (1) per each five (5) parking stalls, all with adequate irrigation systems will be provided within all parking areas for office/commercial and support/commercial zones.

All areas not covered by the parking lot surface or other hardscape surfaces are to be landscaped with ground cover and shrubs as per Suggested Plant Lists (Appendix A).

Parking lots in zones classified Industrial I and II that serve the public and visitors and are not within storage areas shall be landscaped as per commercial standards. Employee parking and storage areas need not be landscaped in Industrial zones I and II.

All parking within storage yards shall be fully screened from street frontage. Provide minimum 6'-0" walls or combination walls and planting sufficient for a total screen of cars from street view. Planting to be similar to that required for property line treatment of commercial zones.

The maintenance of all parking lot landscaping not occurring in common leased land is to be the responsibility of the individual property owner(s) or tenant(s).

#### 4. Side and Rear Yards

Trees shall be planted adjacent to all structures on site where possible. Quantity to be equal to one (1) tree for each thirty (30) lineal feet of the combined length of rear and both side wall dimensions. Minimum tree size shall be 1-3/4" caliper.

All unpaved areas not utilized for parking and storage shall be landscaped utilizing ground cover, shrubs and tree materials, and/or dry landscape materials (inorganic) as indicated in the Suggested Plant Lists. No gravel will be accepted.

For buildings in the industrial zones, all side and rear yards not within the storage yard areas shall be landscaped as per standards listed above.

All maintenance for side and rear yards is to be the responsibility of the individual property owner(s) or tenant(s).

#### 5. Property Lines

Contiguous – The equivalent of one (1) tree per each thirty (30) lineal feet of property line. A minimum size of 1-3/4" caliper will be required (see Appendix G).

Non-Contiguous – The equivalent of two (2) trees per each thirty (30) lineal feet of property line. A minimum size of 1-3/4" caliper will be required (see Appendix G).

Shrubs and ground cover will also be required planting in both situations. The minimum shrub size is to be five (5) gallon (24" height x 18" width minimum) spaced at 48" o.c. (see Appendix G).

All property lines are to be landscaped except in Industrial zones where storage and manufacturing yards are adjacent to the property lines. In lieu of property line screen planting, provide a minimum 6'-0" height wall of fence around all storage and manufacturing yard areas.

The maintenance of all property line landscaping is to be the responsibility of the individual property owner(s) or tenant(s).

## 6. Arroyo Drainage Area

This area is flood plain land that, aside from landscaping and narrow concrete lining, is to remain undeveloped. It is the intent of this standard that natural land forms be used and that a natural looking succession of vegetation be implemented between the concrete channel and the adjacent/surrounding commercial/industrial development.

The planting along the drainage area shall be limited to grasses, shrubs and trees, and be planted in that respective order, going from concrete channel to transition edge (see Appendix F, Sketch 1). All plant material shall be **nursery grown** in containers and well rooted prior to planting.

The transition edge would be a smooth merger of drainage area planting and adjacent user land. It should undulate horizontally to reflect a natural edge condition that is complementary to both the park-like drainage area and built environments (see Appendix F, Sketch 2).

The transition area between drainage and commercial-industrial uses shall contain plant material that is relatively fire retardant and requires minimal irrigation or maintenance.

Although generally low maintenance, the drainage area and its buffer shall be maintained as part of the Business Park's common area. Owners and/or tenants are to regard these areas as an important and integral part of the total site landscape. Maintenance shall commence upon completion of the landscape and acceptance of its installation.

## 7. Screening

Areas utilized as parking, storage or loading will be screened, modulated, or interrupted from the view of the access street(s) or adjacent properties. This may be accomplished by employing one or all of the following techniques:

**Lineal Masses of Shrubs** – This method requires use of shrubs that will achieve a height of from four (4) to six (6) feet within three (3) years. Minimum size of five (5) gallons (24" height x 18" width) at 48" o.c. spacing.

**Lineal or Group Masses of Major Trees** – This method requires the use of trees that shall ultimately provide foliage that will screen parking, storage and loading areas from elevated areas within the site or from adjacent buildings.

## 8. Maintenance

All landscaping in this development shall be maintained in a neat and orderly fashion. Periodic inspections will be made as directed by the Journal Center Review Committee and reports submitted with regard to the condition of maintenance. If suggestions of improvement are made and which are in the realm of the Maintenance Standards, the work shall be corrected within seven (7) days of receipt of the report. The following are minimum maintenance standards:

- A. All planting areas are to be kept free of weeds, debris and sand build-up.
- B. Lawn and ground covers are to be kept trimmed and/or mowed regularly. Visual compatibility with "common areas" is desired.
- C. All plantings are to be kept in a healthy and growing condition. Fertilizations, cultivation and tree pruning are to be carried out as part of regular maintenance.
- D. Irrigation systems are to be kept in working condition. Adjustment and cleaning of systems should be a part of regular maintenance.
- E. Damage to plantings created by vandalism, automobile or acts of nature shall be corrected within thirty (30) days.
- F. All trees shall be trimmed and pruned when necessary to promote healthy growth and structure and minimize wind damage. Trees should be attended to no less than once each year. Under no circumstance shall trees be "topped". To encourage deep roots and healthy growth, all trees should be deep root fed at least once each year.

7. Loading Areas

Loading areas shall be screened from view or, at a minimum, have the view from the streets adjacent to said loading areas broken up by the use of landscaping and/or fencing materials.

On other than Entry Drives, street-side loading shall be allowed, provided the loading dock is set back a minimum of seventy (70) feet from the street right-of-way line, or one hundred ten (110) feet from the street centerline, whichever is greater. Said loading area must be screened in a manner as set forth above.

8. Storage Areas

No Exterior Storage will be allowed in the Support Commercial or the Office/Commercial/Research & Development Land Use Areas. For Industrial Land Uses, all outdoor storage shall be visually screened from access streets, freeways, and adjacent property. Said screening shall form a complete opaque screen up to a point eight (8) feet in vertical height, but need not be opaque above that point. Outdoor storage shall be meant to include all company owned and operated motor vehicles, with the exception of passenger vehicles.

No storage shall be permitted between a frontage street and the building line.

9. Refuse Collection Areas

All outdoor refuse collection areas shall be totally enclosed and visually screened from access streets, freeways, and adjacent property. Said screening shall form a complete opaque screen up to a point eight (8) feet in vertical height, but need not be opaque above that point.

No refuse collection areas shall be totally enclosed and visually screened from access streets, freeways, and adjacent property. Said screening shall form a complete opaque screen up to a point height (8) feet in vertical height, but need not be opaque above that point.

10. Off Street Parking

All parking will be off-street. The following uses shall provide, as a minimum, the number of parking spaces indicated for each use:

- A. Retail stores – one (1) space for every two hundred (200) square feet of gross floor area.
- B. Retail food take-out – one (1) space for every two hundred (200) square feet of gross floor area.
- C. Restaurants, taverns, lounges and other establishments for the sale and consumption on the premises of food and beverages – ten (10) minimum or one (1) for each fifty (50) square feet of gross floor area up to four thousand (4,000) square feet, plus one (1) for each eighty (80) square feet of gross floor area over four thousand (4,000) square feet, whichever is greater.
- D. Business offices, banks, financial institutions, savings and loan institutions – one (1) space for each three hundred (300) square feet of gross floor space.
- E. Manufacturing plants and kindred uses (within the minimum parking stalls required):
  - 1. Industrial uses of all types except a building used exclusively for warehouse purposes: one (1) for each three (3) employees of the largest shift or one (1) space per one thousand (1,000) square feet of net leasable area whichever requirement is greater.
  - 2. Wholesale establishment and warehouses not used exclusively for storage: one (1) for each one thousand (1,000) square feet of gross floor area for the first twenty thousand (20,000) square feet; one (1) for each two thousand (2,000) square feet of gross floor area for the second twenty thousand (20,000) square feet; one (1) for each four thousand (4,000) square feet of floor area of the building, less that area devoted to office or sales, plus one (1) for each three hundred (300) square feet of office or sales area.
  - 3. Warehouses, storage buildings or structures used exclusively for storage purposes: one (1) for each one thousand (1,000) square feet of gross floor area for the first twenty thousand (20,000) feet; one (1) for each four thousand (4,000) square feet of gross floor area for areas in excess of the initial forty thousand (40,000) square feet of floor area of the building.

- F. Tennis, handball and racketball facilities – two (2) for each court plus the spaces required for additional uses on the site.
- G. Optional provisions. The following may be provided at the option of the developer when applicable to commercial, office or industrial off-street parking uses.

1. Pool parking: parking facilities may be used jointly with parking facilities for other uses when operations are not normally conducted during the same hours, or when hours of peak use vary. Requests for the use of pool parking are subject to the approval of the City of Albuquerque Director of Planning and must meet the following conditions:

Sufficient evidence shall be presented to the director of planning demonstrating that there will exist no substantial conflict in the principal hours or periods of peak demand of the structures or uses for which the joint use is proposed.

The number of parking stalls which may be credited against the requirements for the structures or uses involved shall not exceed the number of parking stalls reasonably anticipated to be available during differing hours of operation.

Parking facilities designated for joint use should not be located further than two hundred fifty (250) feet from any structure or use served.

A written agreement shall be drawn to the satisfaction of the director of planning of the city attorney and executed by all parties concerned assuring the continued availability of the number of stalls designated for joint use at the period of time indicated.

2. Long-term parking: commercial and industrial facilities used for long-term parking may decrease stall size to the specifications set forth below (subsection H.3). "Long-term" parking facilities shall be considered as areas of half or all-day parking.

#### H. Minimum Design Requirements

1. 90 degree uncovered parking spaces shall measure nine (9) feet in width, eighteen (18) feet in depth and have a twenty-four (24) foot aisle.
2. 90 degree angle stalls designated for use by compact cars (maximum of 25% of parking requirement) may be reduced in size to a minimum of seven and one-half (7-1/2) feet in width, fifteen (15) feet in length and have a twenty-four (24) foot aisle.
3. Stalls designated for long-term (all day minimum) industrial and commercial parking may be reduced in width a minimum of eight and one-half (8-1/2) feet.

11. Sidewalks

Sidewalks will not be provided at all locations as called for in the City of Albuquerque Sidewalk Ordinance; however, pedestrian ways will be provided on each parcel to connect all parts of the development to the commercial facilities. When sidewalks are provided within public street right-of-way, the sidewalks will be required on one side of the street only.

12. Nuisances

No portion of the property shall be used in such a manner as to create a nuisance to adjacent sites, such as, but not limited to, vibration, sound, electromechanical disturbance and radiation, electromagnetic disturbance, radiation, air or water pollution, dust, emission of odorous, toxic or noxious matter.

13. Air Pollution Standards

All land uses designated with the Journal Center shall comply with the City of Albuquerque, Bernalillo County, State of New Mexico and all Federal level government policies and standards.

14. Proposed Rail Service

All future rail service needs determined by marketing and approval by the Journal Center Design Review Committee to any parcel within the Journal Center will automatically be given the needed easements across other properties to service those needs.

## **SECTION V –Support Commercial**

### **1. Purpose and Intent**

It is the intent of the retail commercial park to support the employees within the Journal Center with their retail commercial needs and not to compete with other local community retail commercial facilities:

### **2. Permitted Uses**

Retail commercial facilities and services, such as, but not limited to, the following:

- A. Restaurants, cafes and bars**
- B. Cafeteria**
- C. Liquor store**
- D. Market**
- E. Barber shop and beauty parlor**
- F. Book and stationery store**
- G. Blueprinting and photostatics**
- H. General shops**
- I. Camera shop**
- J. Delicatessan store**
- K. Florist**
- L. Shoe store or repair shop**
- M. Tobacco shop**
- N. Office equipment rental repair**
- O. Pharmacies**
- P. Laundry/Dry Cleaning**

## **SECTION VI – Office/Commercial/Research & Development**

### **1. Purpose and Intent**

It is the intent of Group 1, Professional and Business Office, and Group II, General Commercial, to add support to the retail commercial and industrial activities and engage in the sale of products and services to The Journal Center and surrounding communities. The intent of Group III, Research & Development, is to allow activities primarily engaged in research, provided that such activities are confined within a building or buildings that do not contribute excess noise, dust, smoke, vibration, odor, toxic or noxious matter to the surrounding environment nor contain a high hazard potential. Such activities may include, but shall not be limited to, research laboratories and facilities, developmental laboratories and facilities and compatible light manufacturing and assembly. All facilities are to be located within a building or buildings.

### **2. Permitted Uses**

#### **A. Group I – Professional and Business Offices such as but not limited to, the following:**

##### **1. Professional Offices**

- Accountants
- Attorneys
- Doctors
- Dentists
- Optometrists
- Chiropractors
- Engineers
- Architects
- Surveyors
- Planners
- Landscape Architects

##### **2. Business Offices**

- Advertising Agencies
- Banks
- Savings & Loan Associations
- Economic Consultants
- Employment Agencies
- Escrow Offices
- Notary Public
- Insurance Agencies

**Laboratories**

- a. Dental
- b. Medical
- c. X-Ray
- d. Biochemical
- e. Film, wholesale only
- f. Optometrical

**Stock Brokers**

**Studios for Interior Decorators, Photographers, Artists and Draftsmen**

**Telephone Answering Services**

**Tourist Information and Travel Agencies**

**Trade Schools**

**Private Schools**

**Children's Day Care Centers**

**Rest Homes**

**Training Centers**

**Radio or Television Studios**

**B. Group II**

**General Commercial and Services such as, but not limited to, the following:**

**1. General Service, subject to use permit:**

- a. Hotels and Motels
- b. Service Stations

**2. Hobby, Arts and Crafts, including:**

- a. Sporting Goods Stores
- b. Camera Stores
- c. Art Galleries
- d. Craft Stores
- e. Pet Stores
- f. Bicycle Stores

**3. Book and Office Supply Stores, including:**

- a. Book Stores
- b. Office Supply Stores

4. Retail Stores and Professional Service Establishments, including:
  - a. Medical Supplies and Services
  - b. Pharmacies
  - c. Specialty Foods
  - d. Fabric Shops
  - e. Jewelry Stores
  - f. Barbers & Hair Stylists
  - g. Clothing Stores
  - h. Liquor Stores
  - i. Tourist Information & Travel Agencies
  
5. Home and Office Furnishings, including:
  - a. Home Furniture Stores
  - b. Office Furniture Stores
  - c. Interior Decorators
  - d. Home Appliances
  - e. Antique Shops
  
6. Athletic Clubs, including:
  - a. Spas
  - b. Health Clubs
  - c. Recreation Facilities
  
7. Home Improvement Stores, including:
  - a. Hardware Stores
  - b. Paint Stores
  - c. Wallcovering Stores
  
8. Retail Nurseries

**C. Group III**

**Research & Development activities and compatible light manufacturing and assembly such as, but not limited to, the following:**

**1. Research**

- a. Biochemical**
- b. Chemical**
- c. Film and Photography**
- d. Metallurgy**
- e. Pharmaceutical**
- f. X-Ray**
- g. Radar, Infrared and Ultraviolet Equipment and Systems**
- h. Scientific and Mechanical Instruments**
- i. Testing Equipment**

## **SECTION VII – Industrial Class I**

### **1. Purpose and Intent**

It is the intent of the Industrial Class I facilities to provide industries engaged primarily in research and/or testing and industries engaged in compatible light manufacturing and assembly. Support facilities may be located outside of a building provided it can be demonstrated that it is in the interest of safety or health of employees and that screening requirements have been observed.

### **2. Permitted Uses**

Uses primarily engaged in research activities including research laboratories, developmental laboratories and compatible light manufacturing such as, but not limited to, the following:

#### **A. Research**

- Biochemical
- Chemical
- Film and Photography
- Medical and Dental
- Metallurgy
- Pharmaceutical
- X-Ray

#### **B. Manufacture, Research Assembly, Testing and Repair**

- Newspaper Facilities and Production
- Electronic Equipment
- Coils, Tubes and Semiconductors
- Communication, Navigation, Guidance and Control Equipment
- Data Processing Equipment
- Glass Edging and Silvering Equipment
- Graphics and Art Equipment
- Metering Equipment
- Radio and Television Equipment
- Photographic Equipment
- Radar, Infrared and Ultraviolet Equipment
- Optical Devices and Equipment
- Filing and Labeling Machinery

## **SECTION VIII – Industrial Class II**

### **1. Purpose and Intent**

It is the intent of Group I, manufacturing and assembly, to provide general manufacturing activities and assembly provided that: such activities are confined within a building or buildings or enclosed within yards with appropriate screening; do not contribute excessive noise, dust, smoke, vibration, odor, toxic or noxious matter to the surrounding environment, nor contain a high hazard potential due to the nature of the products, materials or processes involved.

The intent of Group II, warehouse and storage, is to provide storage or warehousing of products and engage in distribution of said products.

### **2. Permitted Uses**

Group I – Manufacturing and Assembly such as, but not limited to, the following:

#### **A. Manufacture and/or Assembly of the following or similar products:**

- Aircraft and Related Components
- Clocks and Watches
- Coffins
- Ceramic Products
- Electrical Appliances
- Farm Equipment
- Heating and Ventilating Equipment
- Linoleum
- Machinery and Machine Tools
- Musical Instruments
- Neon Signs
- Novelties
- Oil Well Valves and Repairs
- Optical Goods
- Refrigeration
- Springs
- Stencils
- Toys
- Trailers
- Trucks

B. The manufacturing of products or products made from the following or similar materials:

Aluminum  
Bags, except burlap or sacks  
Batteries  
Boxes, paper  
Brass  
Cans  
Copper  
Glass  
Grinding Wheels  
Iron  
Linoleum  
Matches  
Mattresses  
Paper  
Steel  
Tin  
Tools  
Wool  
Yarn

C. The manufacturing, compounding, processing or treatment of the following or similar items:

Acids, non-corrosive  
Candles  
Cigarettes and Cigars  
Detergents  
Disinfectants  
Dye  
Food Products  
Lubricating Oil  
Pharmaceutical Products  
Plastics  
Toiletries  
Vitamin Products  
Waxes and Polishes

D. Woodworking Shops such as (provided that, if a planer, router, sticker or moulder is maintained, all doors and windows in the outside walls of the room in which said machinery is located shall be kept closed while said machinery is in use):

Box  
Furniture  
Wood Products

- E. To allow the location of general manufacturing activities and assembly service industry and activities related to contractor and construction industry.
- F. Service industries or those industries providing a service as opposed to the manufacture of a specific product, such as the repair and maintenance of appliances or component parts, tooling, printers, testing shops, small machine shops, shops engaged in the repair, maintenance and servicing of items excluding automobile repair, providing that such industries are not the point of customer delivery or collection.

Group II – Warehouse and storage such as, but not limited to, the following:

- A. General storage of products involved in distribution
- B. Contractor and construction industries relating to building industry, such as general contractors, electrical contractors, plumbing contractors
- C. Storage and freight services
- D. Moving and storage services
- E. Pick up and delivery services
- F. Wrapping and packaging services

## APPENDIX A

### Suggested Plant List

1. Primary and Secondary Street Trees  
(see Section II, Development Plan)

2-1/2" Min. Caliper

London Plane Tree

Arizona Sycamore

Shademaster Honeylocust

Golden Raintree

Bradford Pear

2. Predominant Parking Lot Trees  
(see Master Plan, Section II)

2-1/2" Min. Caliper

Desert Willow

Modesto Ash

Honeylocust

Sycamore-Leaf Maple

Bradford Pear

3. Accent Trees 2-1/2" Min. Caliper  
Deciduous

Japanese Pagoda

Western Catalpa

Purple Leaf Plum

Bradford Pear

Canada Red Cherry

Flowering Crab

Japanese Maple

Malus-in-Variety

Conifers

5'-0" to 7'-0"

Deodar Cedar

Japanese Black Pine

Austrian Pine

Scotch Pine

Leland False Cypress

Blue Spruce

4. Screen Trees 1-3/4" Min. Caliper  
(See Landscape Master Plan – Section II)

Cottonwoods-variety should be *Populus Acuminata* (narrowleaf cottonwood) to maintain continuity with existing landscape. Also, variety *Robusta*-excellent windbreak.

Hollywood Juniper

Leland False Cypress

Arizona Cypress

Desert Willow

5. Trees for Arroyo Drainage Area  
(See Landscape Master Plan – Section II)

1-1/2" Min. Caliper

Desert Willow

Cottonwoods-variety should be *Populus Acuminata* (narrowleaf cottonwood) to maintain continuity with existing landscape. Also, variety *Robusta*-excellent windbreak.

Globe Willow

Salt Cedar

Pink Flowering Locust

6. Introduced Shrubs

5 Gal. Minimum

Althea

Barberries

Cotoneasters

Silverberry

Cistena Plum

Junipers

Nandina

Frasers Photinia

Scottish Broom

Mohonia

Pyracantha

Spirea

Golden Bamboo

Autumn Olive

7. Introduced Ground Covers

As Available

Japanese Spurge

English Ivy

Junipers

Hall's Japanese Honeysuckle

Cinquefoil

Turf Grass

Vinca (major and minor)

Strawberry

Santolina

8. Pasture Grass

As Available from Seed

(limited use as approved basis)

Alkali Sacatone

Buffalo Grass

Gramas

Galleta

Indian Ricegrass

Sand Dropseed

Western Wheatgrass

10. Vines

1 Gallon Minimum

Boston Ivy

Silver Lace Vine

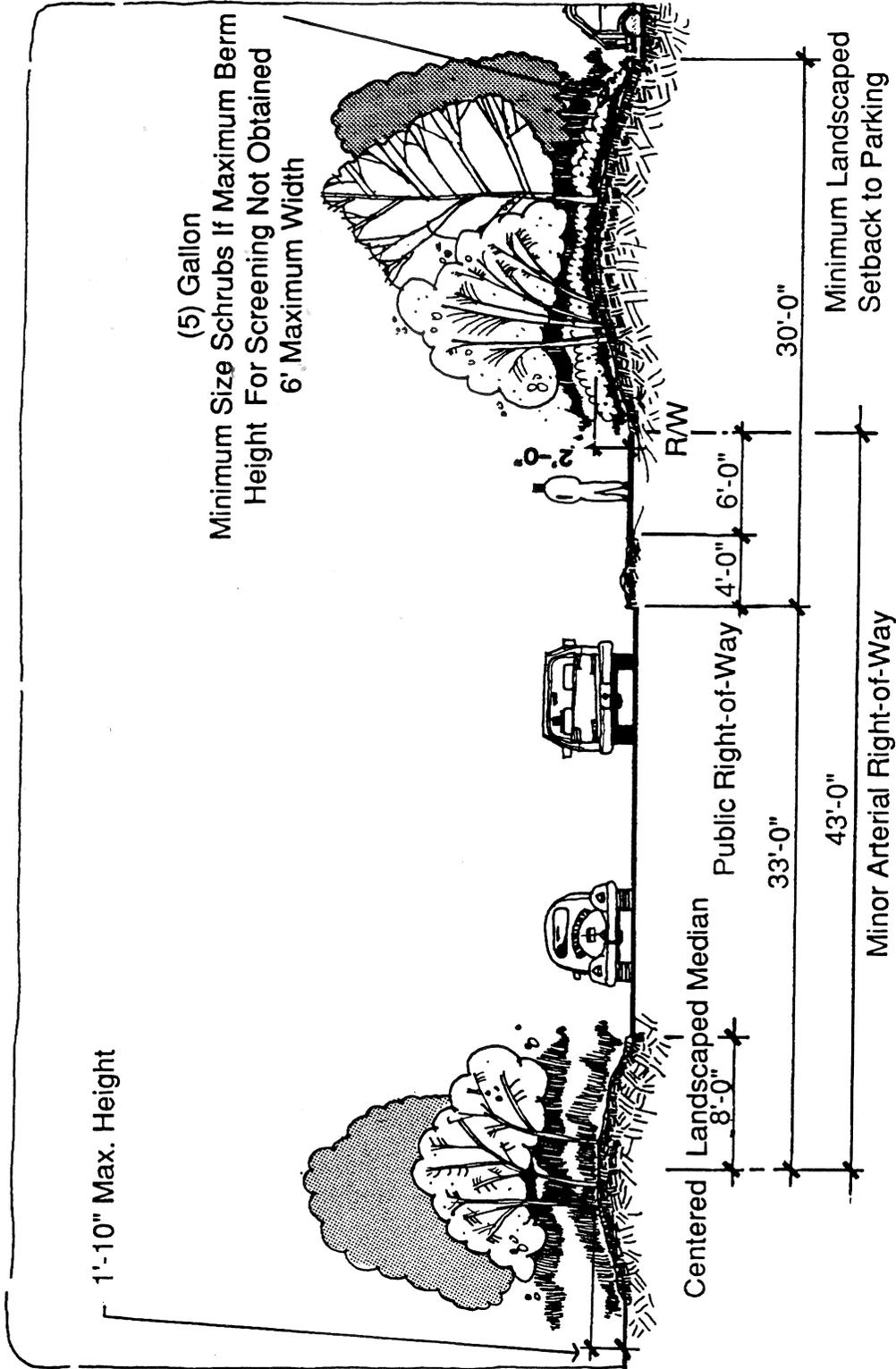
Virginia Creeper

English Ivy

Wisteria

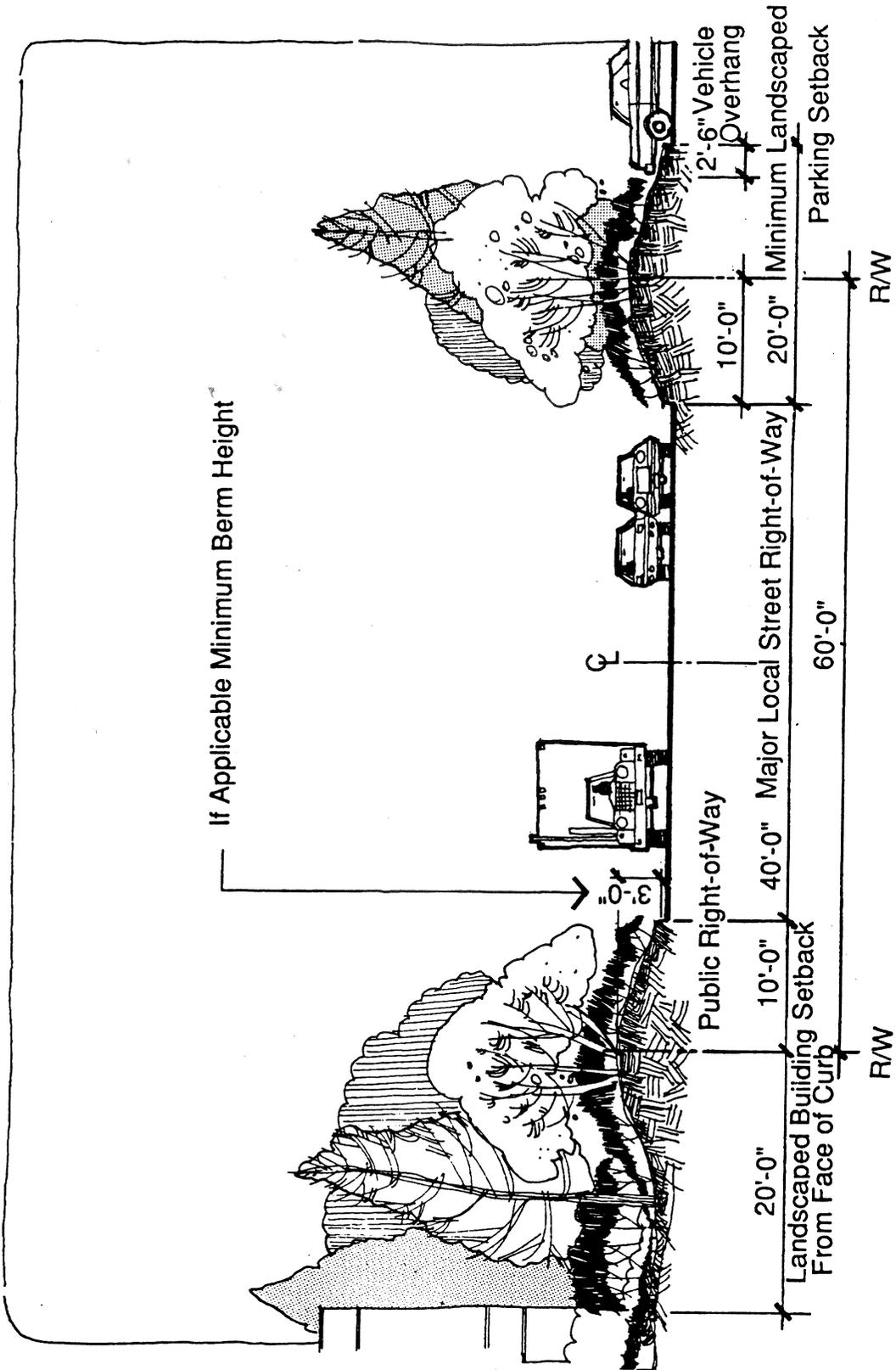
Honeysuckle



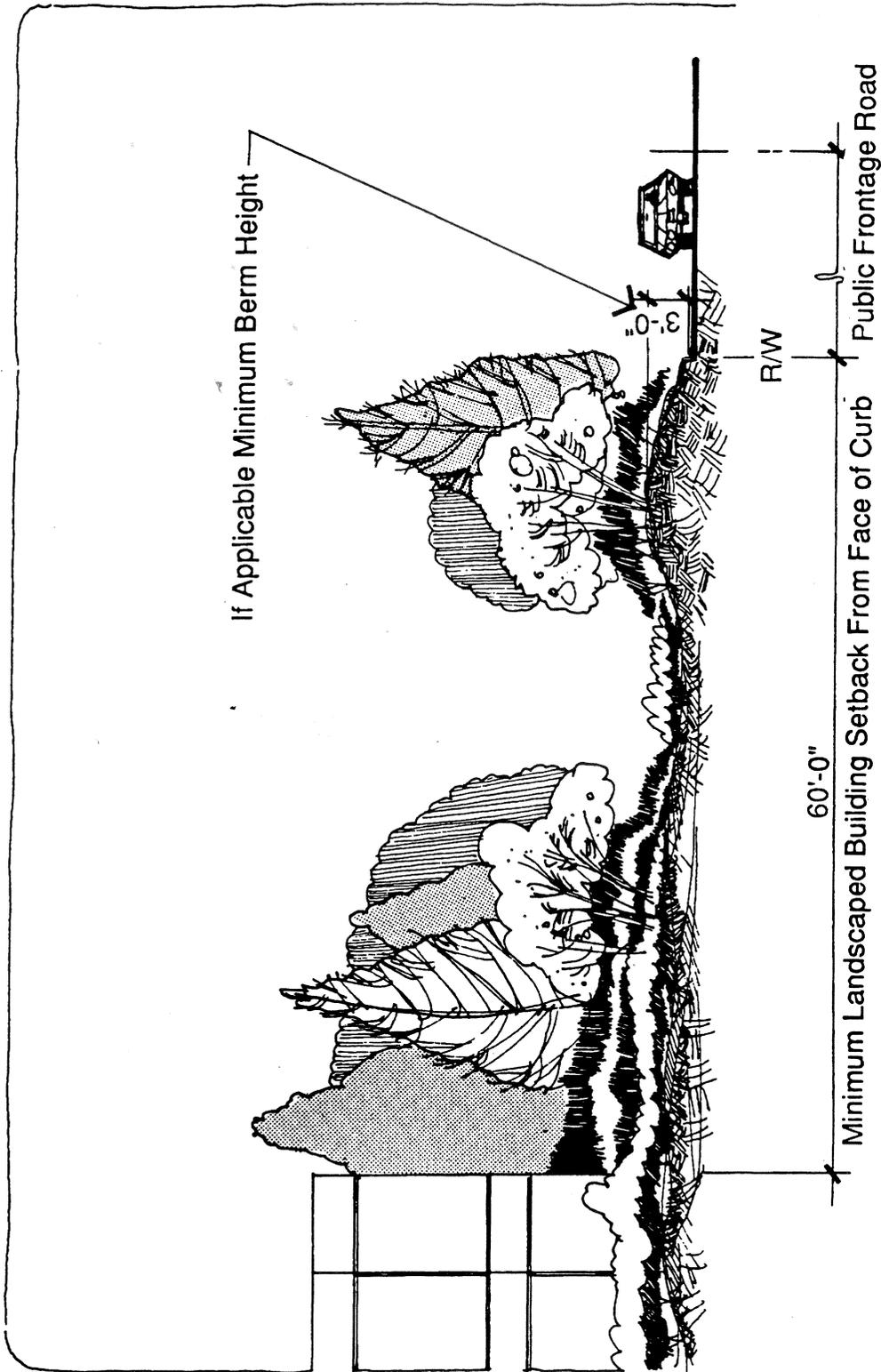


**Proposed Minor Arterial Streets**  
**86 Foot Right-of-Way**  
**parking lot setback sketch 2**

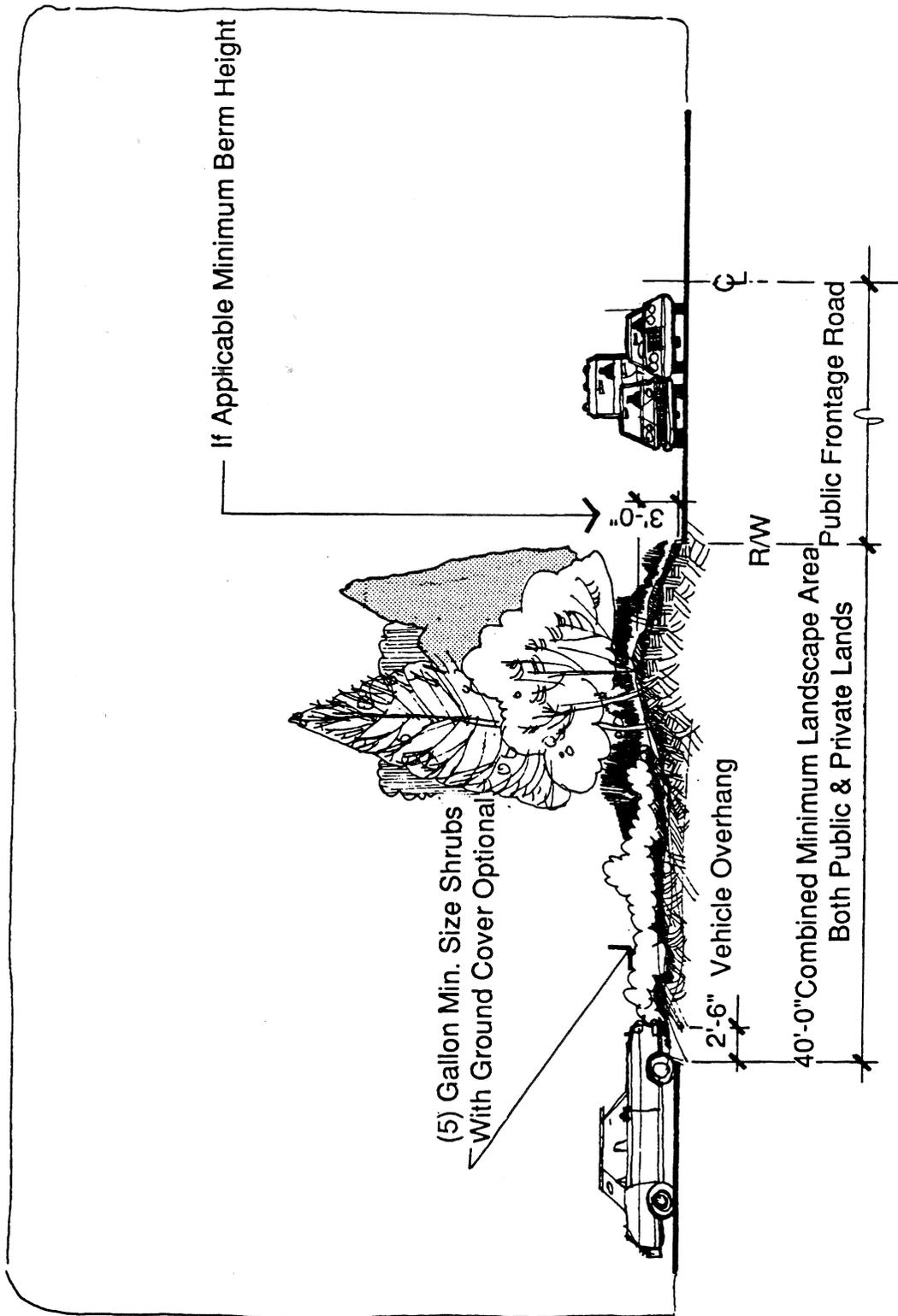
APPENDIX C



**Proposed Major Local Streets**  
**60 Foot Right-of-Way**

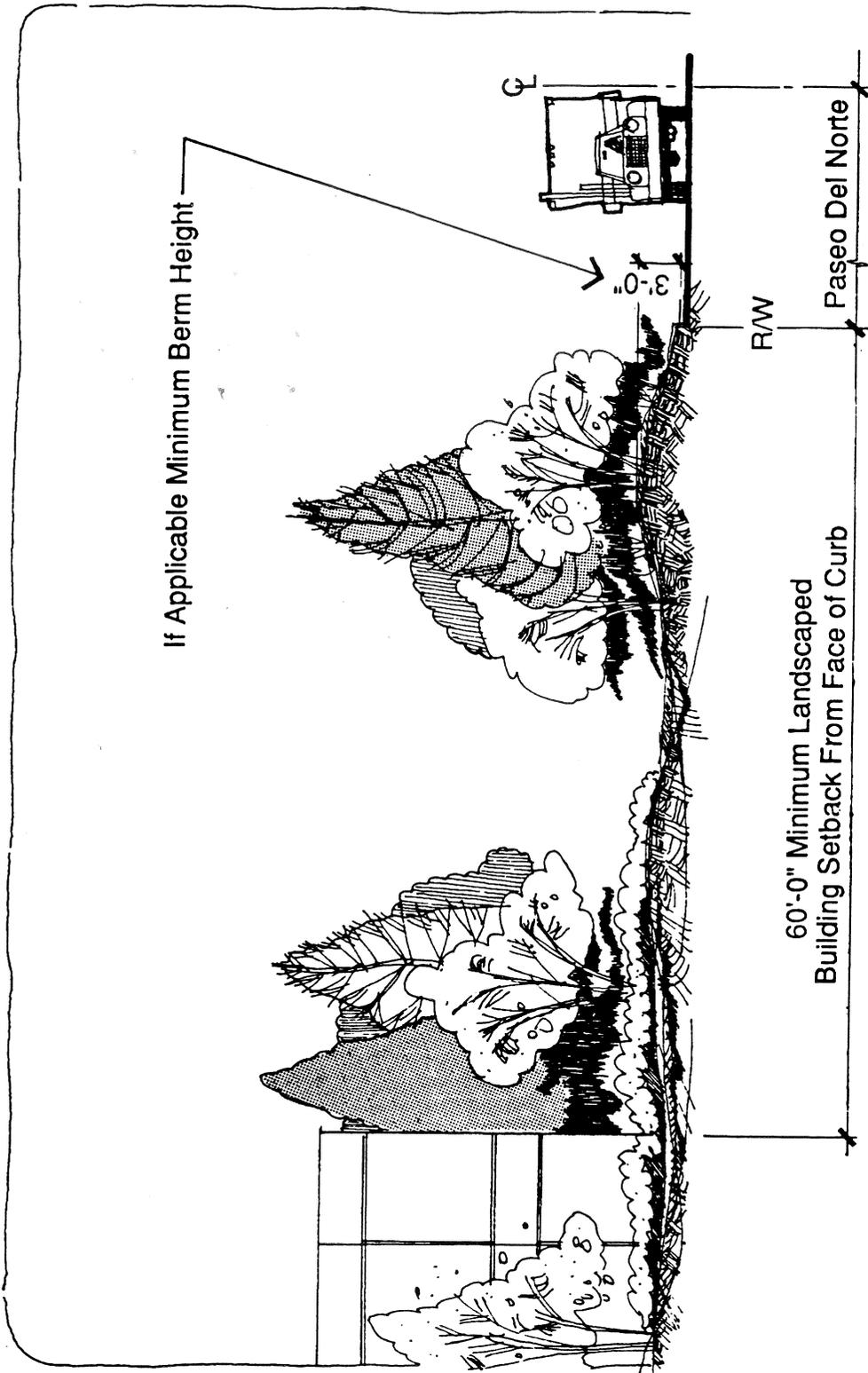


**Existing Freeway Frontage Road  
building setback sketch 1**



**Existing Freeway Frontage Road**  
parking lot setback sketch 2

APPENDIX E



If Applicable Minimum Berm Height

60'-0" Minimum Landscaped  
Building Setback From Face of Curb

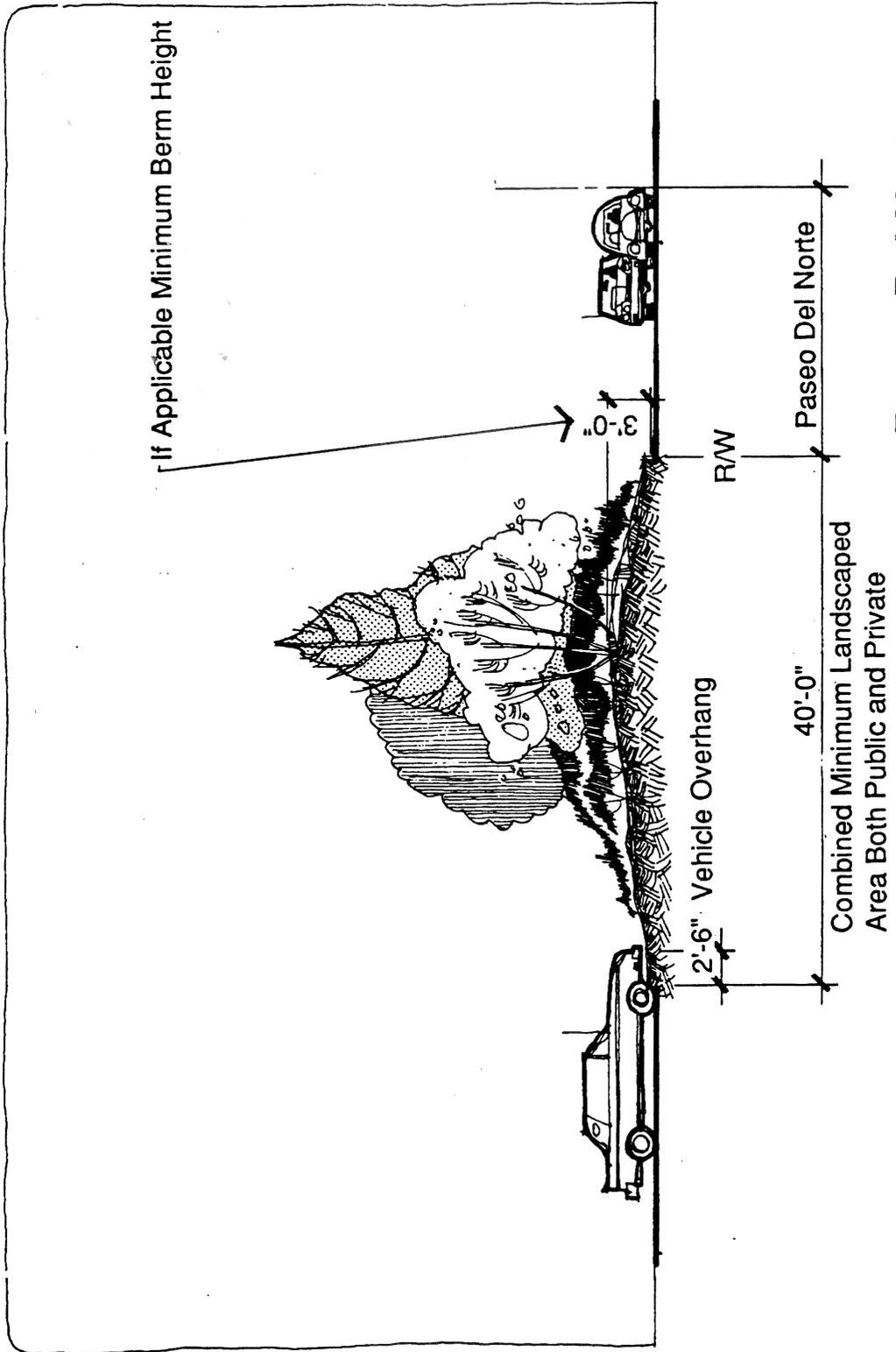
R/W

Paseo Del Norte

3'-0"

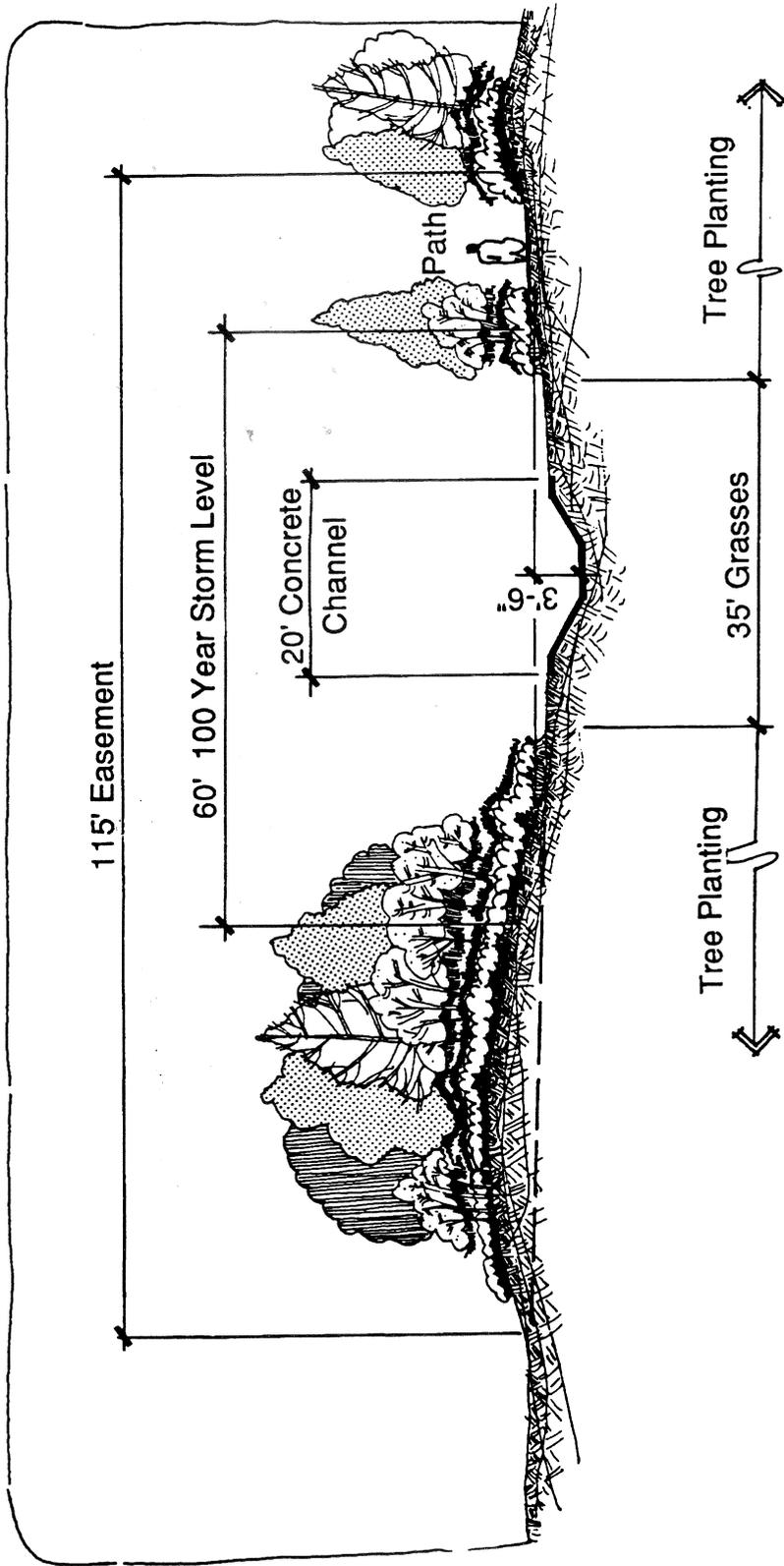
3'-0"

**Paseo Del Norte**  
building setback sketch 1



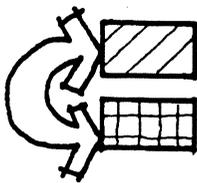
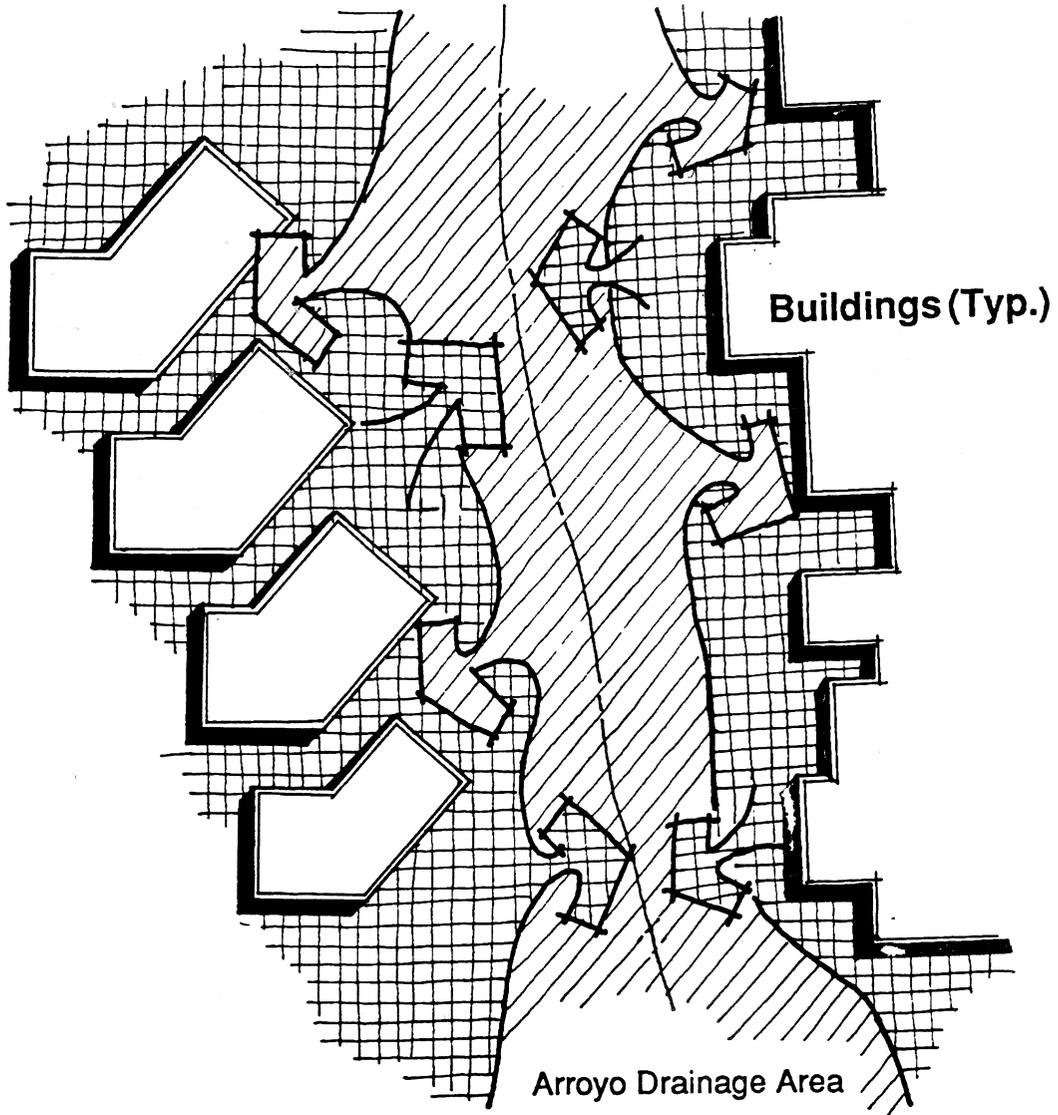
**Paseo Del Norte**  
parking lot setback sketch 2

APPENDIX F



Arroyo Drainage  
Area Section  
sketch 1

APPENDIX F (Continued)



Mixed Native

Introduced Vegetation

To Create a Smooth Merger Along The Arroyo

**Drainage Area Concept  
sketch 2**

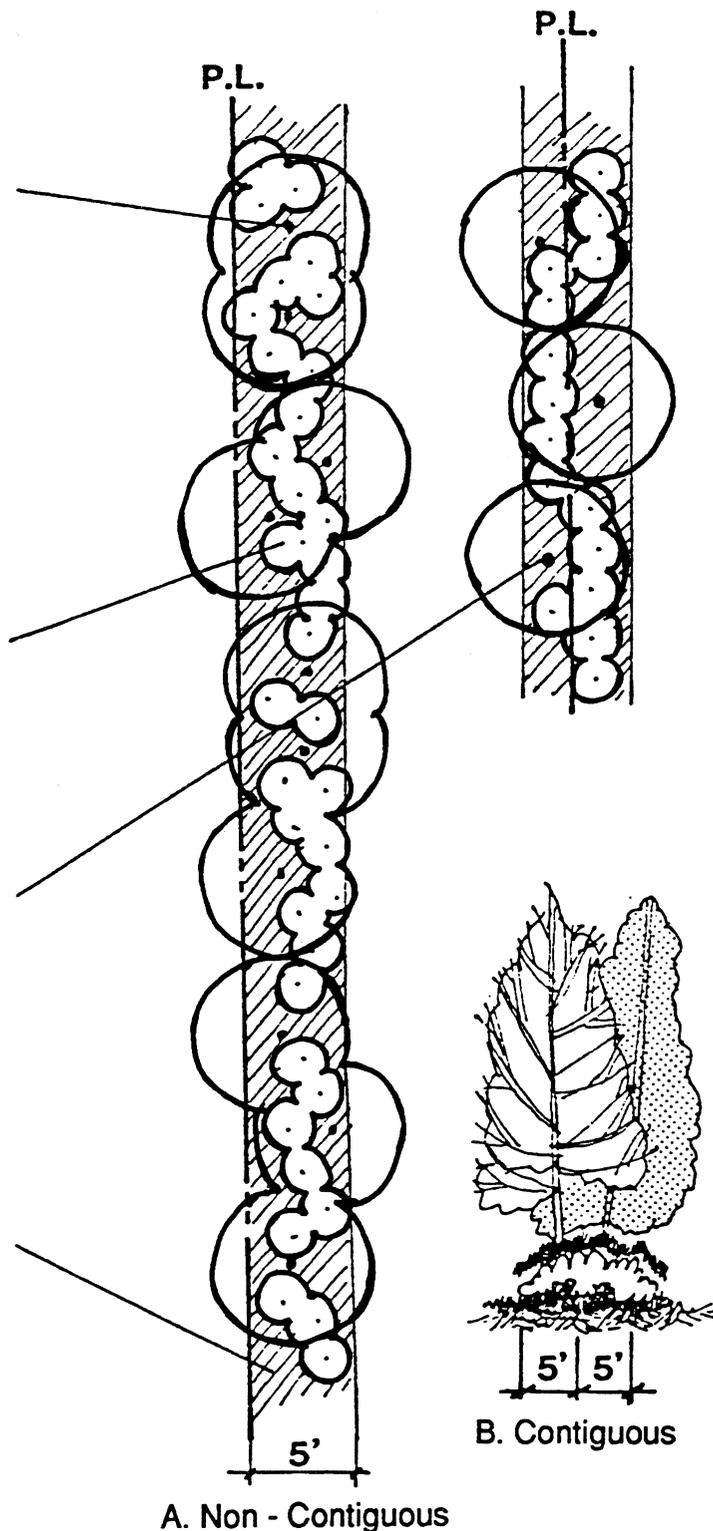
APPENDIX G

Randomly Staggered  
Trees (2) 1 3/4"  
Caliper Minimum Per 30'  
Minimum Property Line  
15' O.C. Minimum Spacing  
30' O.C. Maximum Spacing

Shrubs at 48" O.C.  
(See Shrub Listing)

Alternately Staggered Trees  
(1) 1 3/4" Caliper Minimum  
Per 30' Minimum

Ground Cover (Typ.)  
(See Shrub List)



Property Line  
Landscape Requirements

# Project Standards



## **JOURNAL CENTER STANDARDS**

JOURNAL CENTER, a Planned Business Industrial Park Development, and a project of Journal Center Corporation, has a planning concept designed to integrate commercial office uses with light industrial uses within a "Park" atmosphere. A major emphasis is placed upon open space, landscaped areas, architectural unity and an integrated use of signage.

Planning of structures within Journal Center shall conform to the Project Development Plan and Standards latest revision; Sign Standards; Landscape Standards; as well as all other applicable Building Codes and Regulations of the City of Albuquerque.

It is the intent to create a business community within a campus-like atmosphere integrating architecture and nature.

### **Architectural Review Committee**

The Architectural Review Committee has been assigned the sole responsibility for review and approval of all plans and specifications for initial construction or alteration of existing improvements, including landscaping.

The Architectural Review Committee is also responsible for making sure that all properties within Journal Center are continually maintained.

Approval must be obtained prior to the initiation of any type of site preparation or construction. The Architectural Review Committee will expedite written approval, and in the case of disapproval, will make every reasonable effort to assist in suggesting the adjustments necessary to bring plans and specification into compliance with established criteria and covenants.

The Architectural Review Committee will also inspect work in progress and make sure that plans are being implemented as approved, including timely completion.

Any type of original improvement or later changes or additions which alter the initial improvement must have prior approval by The Architectural Review Committee.

Every application presented to The Architectural Review Committee is given a careful, professional review, with special consideration for the individual site requirements and preferences of the applicant.

Approval of plans and specifications is based on many factors. One of the most important elements to be considered is whether the site dimensions are adequate to accommodate proposed improvements and required parking and screening.

Another consideration is to determine if the external design will be harmonious with neighboring structures, sites, and land uses.

Finished grades and elevations must also be compatible with neighboring sites particularly with regard to drainage and views.

Any matter requiring review and approval by The Architectural Review Committee, including original construction or alterations and additions, should be submitted directly to The Architectural Review Committee.

No buildings or improvements shall be constructed, erected, placed, altered, contained or permitted on any building site until the Site Plans, architectural renderings, sample materials, and all other Plans and Specifications have been approved by The Architectural Review Committee.

## **Minimum Setback Lines (See Appendix A)**

The standards for building setbacks shall be as provided in the Development Plan and Standards. All building setbacks shall be measured from the face of the curb.

### **A. Front Yard Setback**

1. Arterial street, 86' right of way  
Minimum building setback of forty (40) feet from the face of the street curb line.
2. Local street, 60' right of way  
Minimum building setback of thirty (30) feet from the face of the street curb line.
3. Freeway Frontage Road  
Minimum building setback of sixty (60) feet from the street property line. The setback area will be a combination of public and private lands.
4. Paseo del Norte  
Minimum building setback of sixty (60) feet from the street property line. The setback area will be a combination of public and private lands. Public lands will be landscaped and maintained by Owner/Lessee.

### **B. Side Yard Setback**

1. Ten (10) feet, except that cantilevered roofs and sunscreens may project three (3) feet into the setback area. In the case of a corner lot, the front yard setbacks will apply, except that cantilevered roofs and sunscreens may project six (6) feet into the setback area. Interior lot lines for a corner lot shall be considered side lot lines. Signs allowed by this ordinance may be placed in street-side, side yard setback areas.

### **C. Rear Yard Setback**

1. Ten (10) feet, except that cantilevered roofs and sunscreens may project three (3) feet into the setback area.

### **D. Parking Lot Setbacks**

1. Arterial Street, Eighty-Six (86) Foot Right of Way  
Minimum parking setback of thirty (30) feet from the face of the street curb line.
2. Local Street, Sixty (60) Foot Right of Way  
Minimum parking setback of twenty (20) feet from the face of the street curb line.
3. Freeway Frontage Road  
Minimum parking setback of forty (40) feet from the street property line.
4. Paseo del Norte  
Minimum parking setback of forty (40) feet from the street property line. (See Appendix E).

## **Building Heights (See Appendix B)**

A variety of building height limitations has been established because of the different land uses allowed. (See the Development Plan and Standards)

## **FIRST STAGE**

1. BASIC COVENANTS/STANDARDS
2. SCHEMATIC SITE PLAN SHOWING
  - a. Location of Building
  - b. Egress and Ingress
  - c. Signage (Building and Site)
  - d. Parking and Circulation
  - e. Landscape

## **SECOND STAGE**

1. DESIGN DEVELOPMENT PLANS
  - a. Exact Location of Building
  - b. Service Areas (Trash, Loading Docks, Etc.)
  - c. Utility Locations
  - d. Exact Egress and Ingress
  - e. Signage
  - f. Parking and Circulation
  - g. Landscape
  - h. Building Elevations
  - i. Building Materials
  - j. Building Colors
  - k. Pedestrian Circulation on Site
  - l. Mechanical Screening

## **FINAL APPROVAL**

## **APPLYING FOR COMMITTEE APPROVAL**

Any matter requiring review and approval by The Architectural Review Committee, including original construction or alterations and additions, should be submitted directly to the Committee. Three (3) complete copies of all plans and specifications or related data should be provided to:

JOURNAL CENTER CORPORATION  
7777 Jefferson St. NE  
P.O. Drawer J  
Albuquerque, New Mexico 87103

**JOURNAL CENTER**  
**Design Review and Plan Submittal Information**

**Table of Contents**

- 1.0 Design Review and Plan Submittal**
  - 1.1 Design Review Procedure
  
- 2.0 Design Review Requirements**
  - 2.1 Site Planning
  - 2.2 Building Plan Submissions
  - 2.3 Landscape Plans
  - 2.4 Signing Submissions
  - 2.5 Additional Approvals
  
- 3.0 Design Review Approval**

## 1.0 DESIGN REVIEW AND PLAN SUBMITTAL INFORMATION

In order to insure every development within Journal Center that the Development Plan and Standards are observed and maintained, the practice of design review has been established by Journal Center Corporation. This review is intended to coordinate the design and construction of the buildings, landscaping and signage.

### 1.1 Design Review Procedure

- a. The Plan submittal as outlined below should be sent to:

Journal Center Corporation  
P.O. Drawer J  
Albuquerque, New Mexico 87103

or deliver to our office location:

Journal Center Corporation  
7777 Jefferson St. NE  
Albuquerque, New Mexico 87109

- b. Submit required drawings at stages and in quantities as outlined in the following text.

1. Site planning
2. Building plans
3. Landscape plans
4. Sign plans
5. Other requirements

## 2.0 DESIGN REVIEW REQUIREMENTS

### 2.1 Site Planning

Submit three (3) sets of complete site plans indicating location of the following items:

- a. Setbacks
- b. Building location
- c. Parking areas
- d. Parking spaces provided
- e. Building area
- f. Sign locations (Building and Site)
- g. Driveways
- h. Landscape areas
- i. Satellite Dish
- j. Any other pertinent information

### 2.2 Building Plan Submissions

- a. Submit three (3) sets of preliminary drawings.
- b. Submit three (3) sets of architectural working drawings.
- c. All architectural drawings are to be prepared and signed by a licensed architect.
- d. All submissions shall include, but not be limited to, the following:

1. Plot Plan
  - a. Setbacks

- b. Landscape areas
  - c. Parking areas
  - d. Number of parking spaces
  - e. Driveways
  - f. Building location
  - g. Sign locations (Building and Site)
  - h. Any other information pertinent to the development
2. Floor Plans
    - a. Areas
    - b. Decks and plazas
    - c. Typical floor plans
    - d. Roof plan (showing location of all equipment)
3. Elevations and Sections
    - a. Heights
    - b. Materials
    - c. Colors
    - d. Finishes
    - e. Sign locations and sizes

### 2.3 Landscape Plans

- a. Submit complete landscape drawings concurrent with working drawing submission. Submit three (3) sets of drawings.
- b. All landscape plans to be prepared and signed by a licensed landscape architect, or under the direction of and signed by a licensed architect.
- c. Plans shall include, but not limited to, the following:
  1. Trees
    - a. Property line trees
    - b. Setback trees
    - c. Street trees
    - d. Parking lot trees
    - e. Accent trees
  2. Ground Cover
  3. Shrubs
  4. Walkways
  5. Plazas or decks
  6. Walks, trellises, fences
  7. Slope stabilization
  8. Land - berming and mounding
  9. Grading
  10. Material Lists
    - a. Size
    - b. Quantity
    - c. Specifications

### 2.4 Signing Submissions

For temporary and permanent signing, submit ~~three~~ (3) copies each of the following:

1. Graphic layout
2. Size
3. Location
4. Construction/details and materials
5. Color

## **2.5 Additional Approvals**

Other site improvements as directed by Journal Center Corporation, or the Planning Department of the City of Albuquerque.

## **3.0 APPROVAL**

A letter of Design Review Approval from Journal Center Corporation must be obtained prior to submitting for building permits.

## **Exterior Illumination (See Appendix B)**

Light standard heights for parking areas should not exceed 35'.

The pattern of light pooling from each fixture should be carefully considered to avoid glare or light throw intrusion into adjacent properties.

Exterior sides of any building fronting streets should be landscape lighted to enhance the identity of the building and the appealing ambiance of the total community.

All illumination plans, whether for decoration or safety and security measures, must be approved by The Architectural Review Committee.

## **Sign Standards**

All signs must have the written advance approval of The Architectural Review Committee before installation.

Temporary construction and/or leasing signs must also have prior written Architectural Review Committee approval and must be promptly removed when construction or leasing is complete.

All signs should be designed to reflect the tasteful, established image of the "Park". For this reason, no brashly colored, moving or flashing signs will be approved.

Signs should identify only the name and business of the occupant of those offering the premises for sale or lease.

Signs should be comparable in size and shape to signs on other buildings in the area and should not detract from adjacent property above the roof lines.

## **Screening (See Appendix C)**

Areas utilized as parking, storage and loading will be screened, modulated, or interrupted from the view of the access street(s) or adjacent properties.

Loading areas shall be screened from view, or, at a minimum, have the view from streets adjacent to said loading areas broken up by the use of landscaping and/or fencing materials. Other than entry drives, streetside loading will be allowed only if the loading dock is at least seventy (70) feet from the street right of way, whichever is greater, and screened as required in accordance with the Development Plan and Standards.

## **Mechanical Equipment**

Mechanical Equipment, whether on roof areas or on grade, shall be fully screened. Screen shall be compatible with materials and design of the building.

## **Satellite Dish**

Satellite dishes, whether on roof areas or on grade, shall be fully screened. When units are on Grade A combinations of opaque walls and landscaping will be used.

## **Storage Areas (See Appendix D)**

No exterior storage will be allowed in the support Commercial or the Office/Commercial/Research

& Development Land Use Areas. For Industrial Land Uses, all outdoor storage shall be visually screened from access streets, freeways, and adjacent property. Said screening shall form a complete opaque screen up to a point eight (8) feet in vertical height, but not be opaque above that point. Outdoor storage shall be meant to include all company owned and operated motor vehicles, with the exception of passenger vehicles.

No storage shall be permitted between a frontage street and the building lines.

### **Refuse Collection Areas**

All outdoor refuse collection areas shall be totally enclosed and visually screened from access streets, freeways, and adjacent property. Said screening shall form a complete opaque screen up to a point eight (8) feet in vertical height, but need not be opaque above that point.

No refuse collection area shall be permitted between a frontage street and the building line.

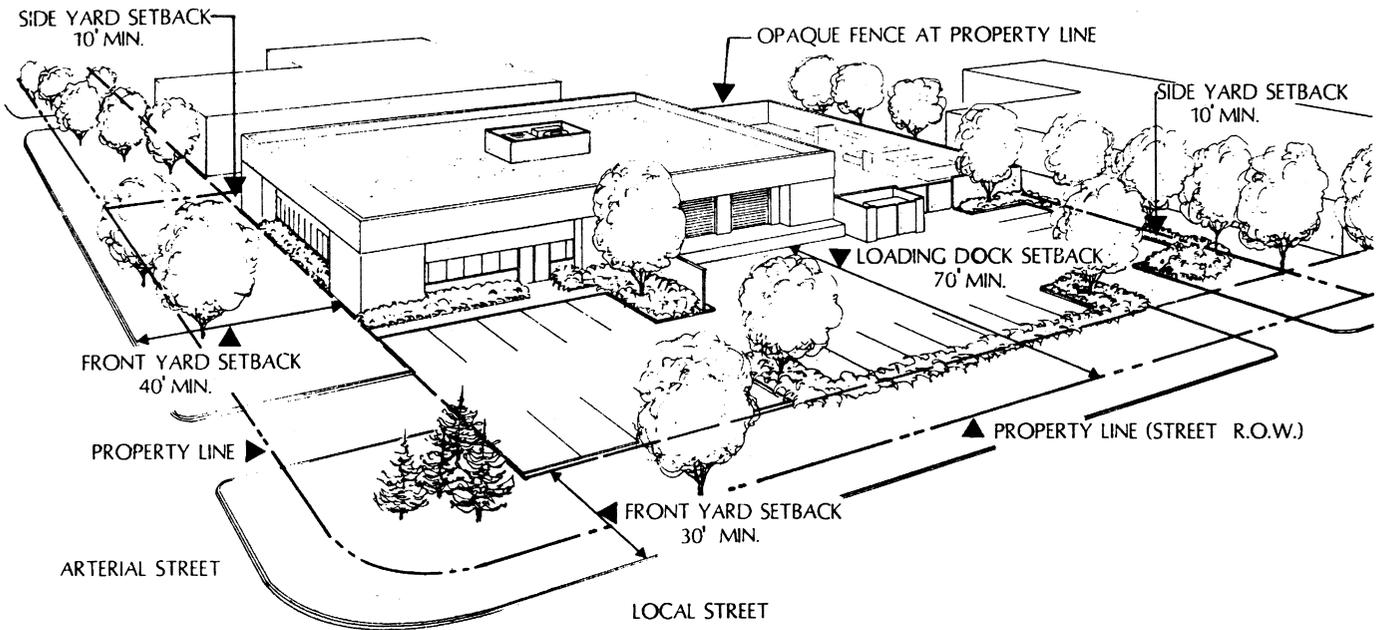
### **Site Drainage**

An engineer's report comparing the historical and developed conditions and recommending adequate methods of detention and drainage shall be submitted by each Owner to The Architectural Review Committee for approval as part of the Plans and Specifications for any Building. If required, detention shall be accomplished by providing ponding areas for storage of storm water on rooftops, in parking areas, in landscaped areas, in graded drainage swales, and by such other methods, including Storm Drainage Easements, as may be approved by The Architectural Review Committee.

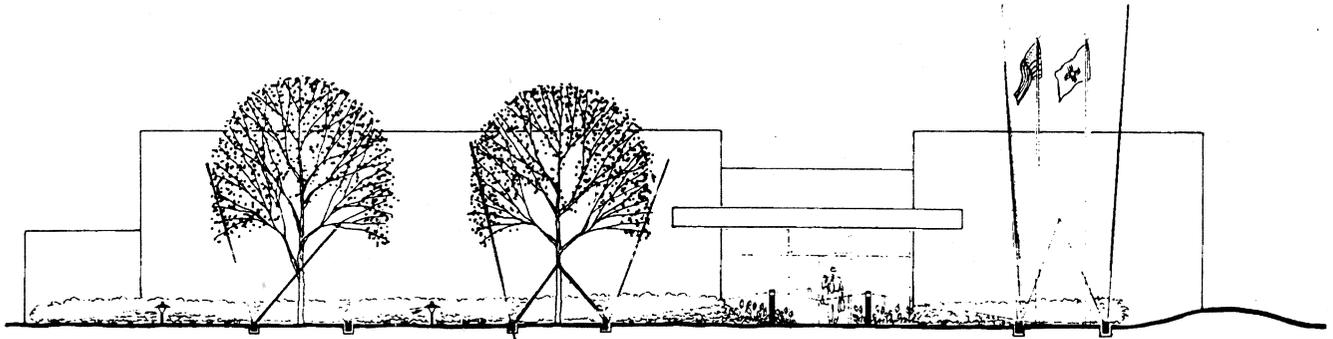
### **Landscaping (See Appendix E)**

All Building Sites shall be landscaped and irrigated only in accordance with a plan submitted to and approved in writing as part of the Plans and Specifications by The Architectural Review Committee prior to any development of the Building Site. Such landscaping plan shall include and provide:

1. Drawings and specifications with respect to lawns, shrubs, decorative plantings, trees and plants in the size, type and location.
2. All landscaping shall be undertaken and completed in accordance with such approved plan and said plan may not be altered, amended or revised without submitting the revised landscaping plan for prior approval by The Architectural Review Committee.



**Appendix A**  
**Minimum Setback Lines**

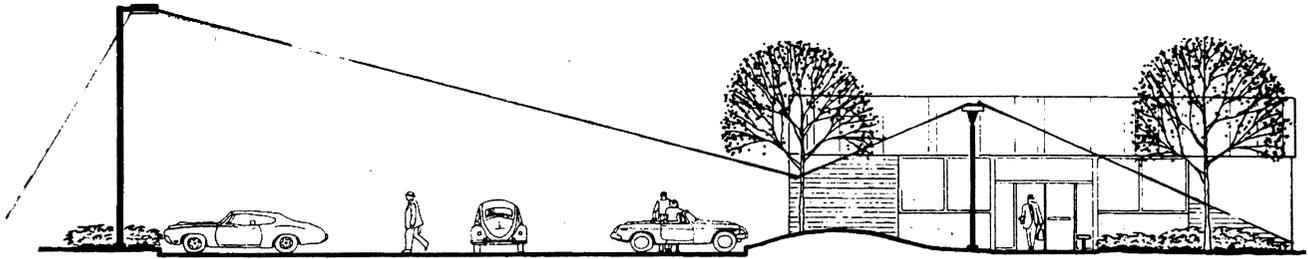


SPREAD LIGHTING FIXTURES  
TO ACCENT LANDSCAPE

UPLIGHTING FIXTURES TO  
HIGHLIGHT TREES AND WALLS

BOLLARD LIGHT FIXTURES  
FOR WALLS

UPLIGHTING FIXTURES  
TO FEATURE FLAGS

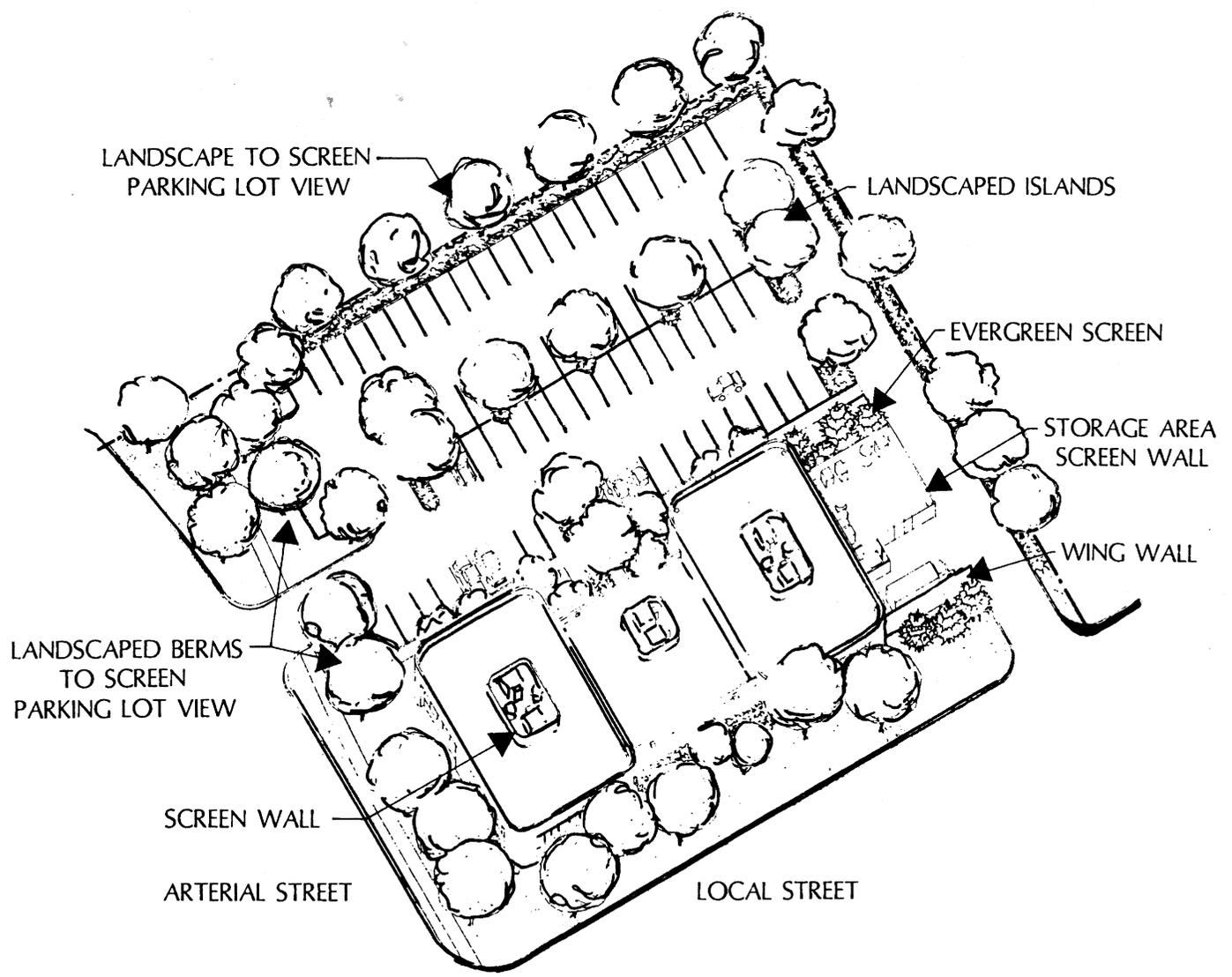
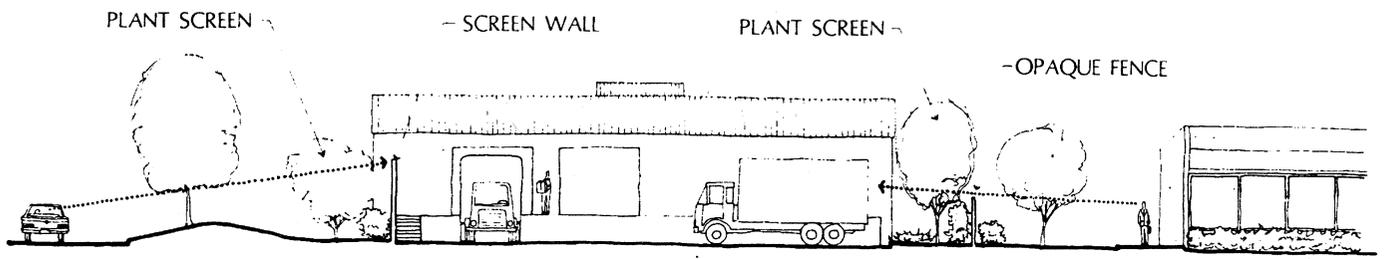


25' TO 35' LIGHTING FIXTURES FOR  
PARKING LOTS AND ROADWAYS

8' TO 15' LIGHTING FIXTURES FOR  
WALKWAYS AND ENTRY PLAZAS

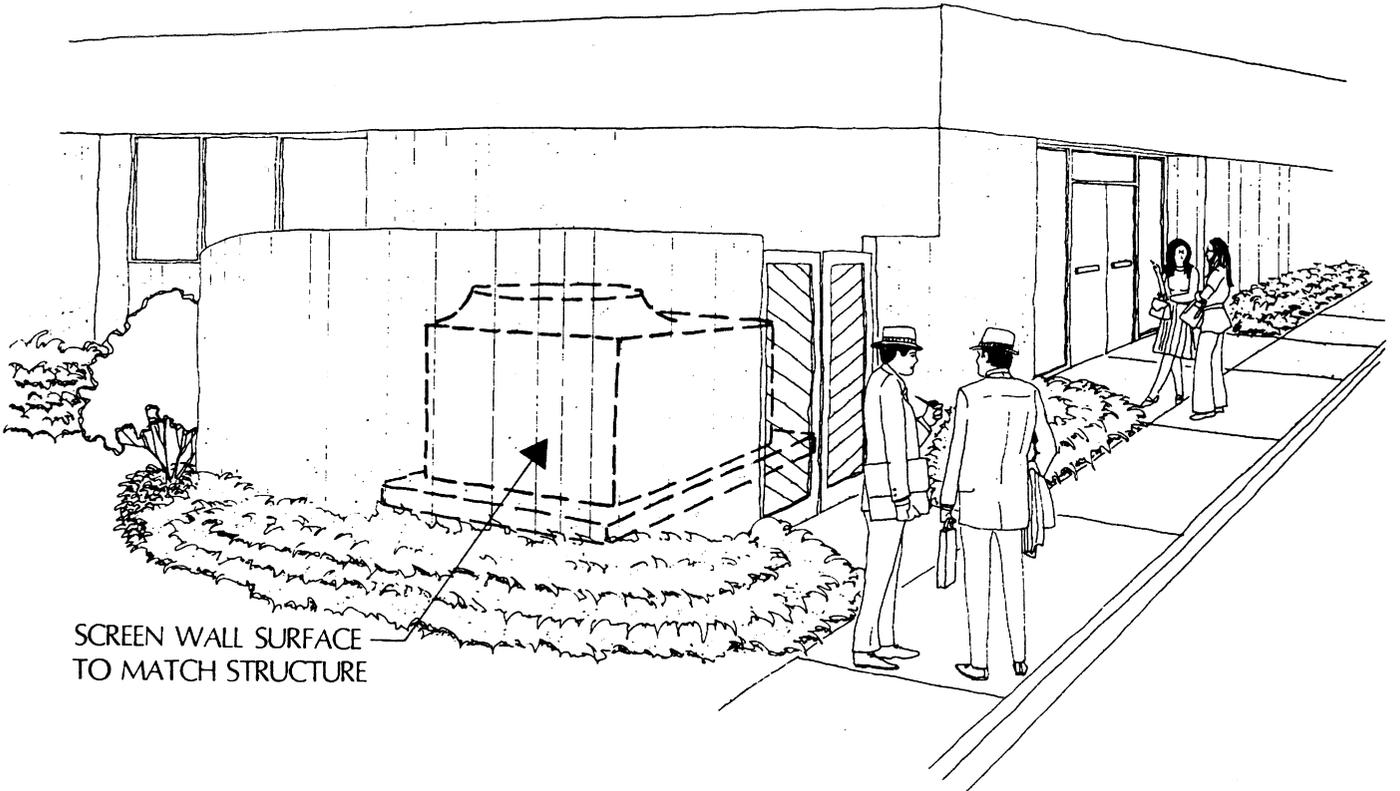
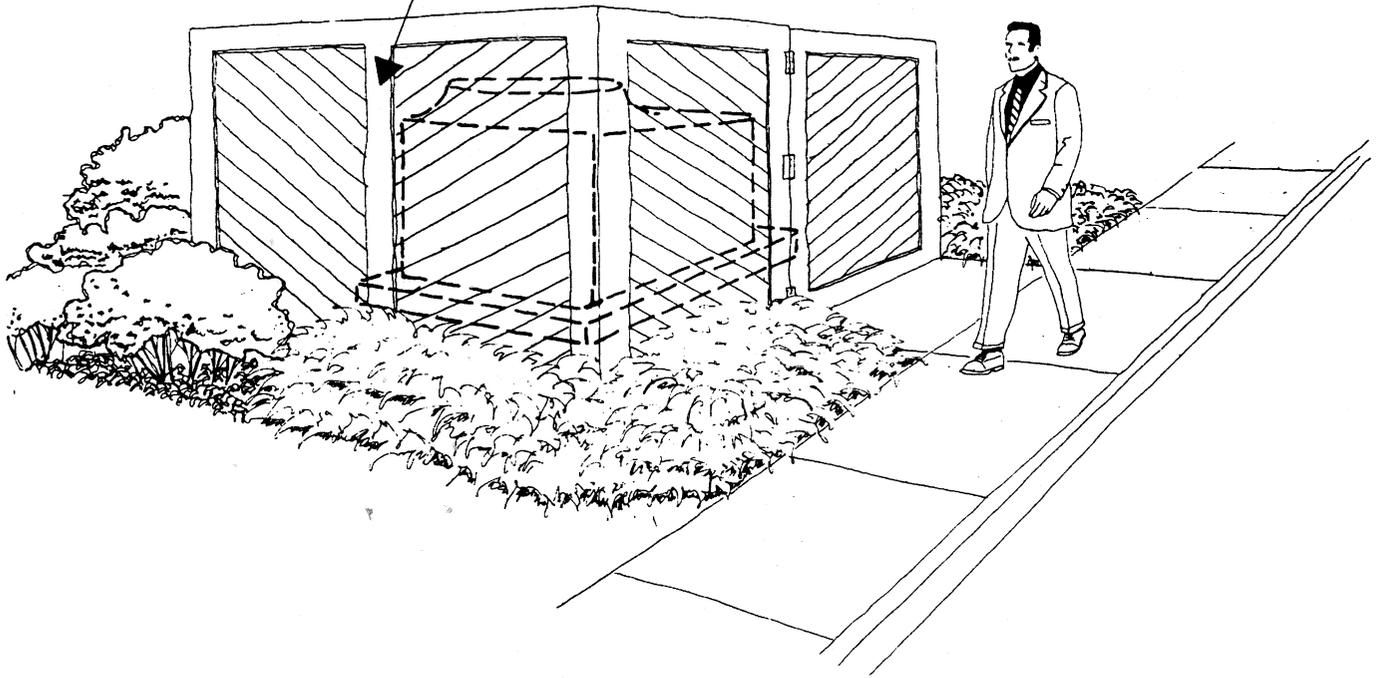
## Appendix B

### Exterior Illumination



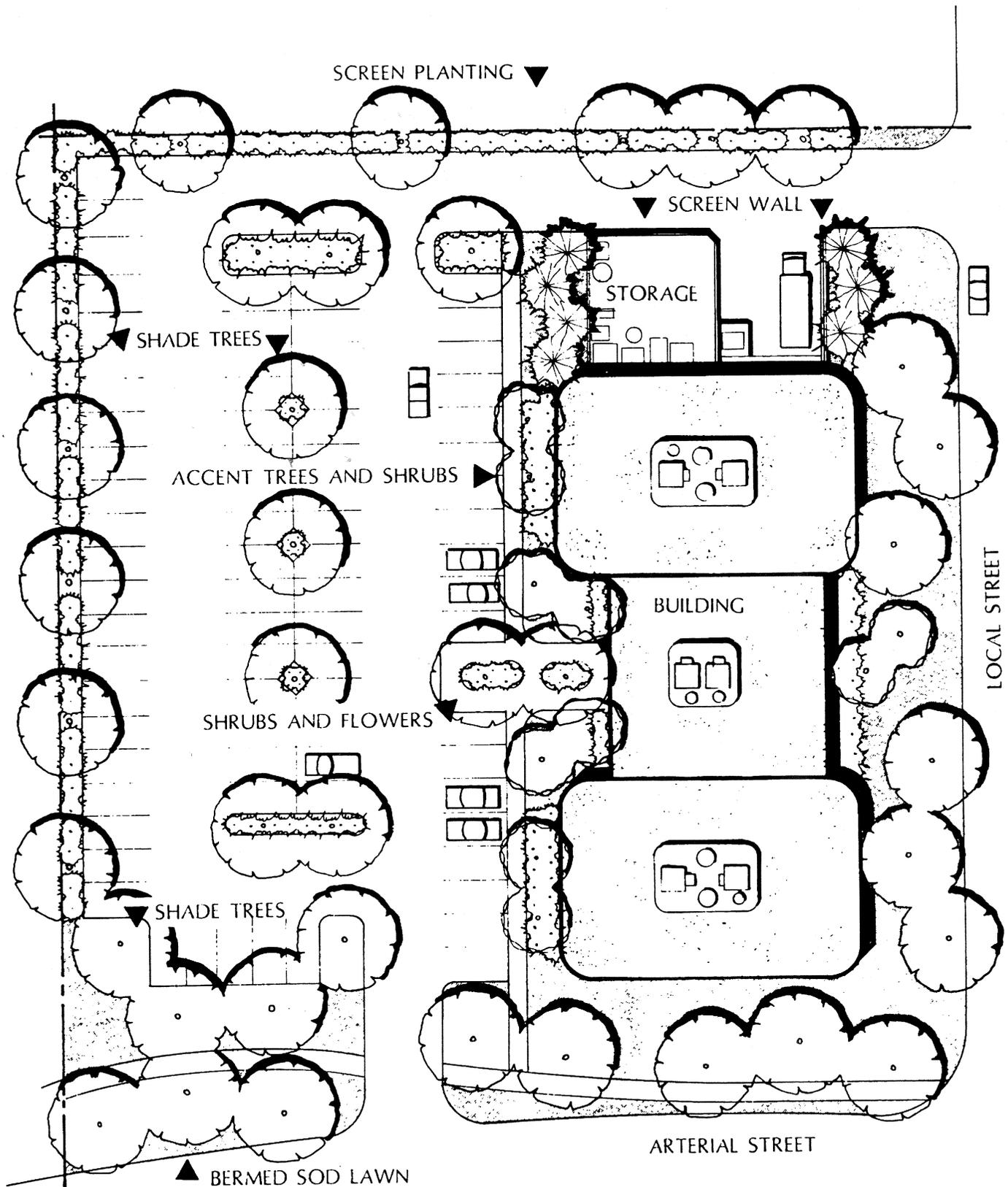
**Appendix C**  
Screening

FREESTANDING MECHANICAL EQUIPMENT SCREEN



SCREEN WALL SURFACE  
TO MATCH STRUCTURE

**Appendix D**  
**Storage Area**



LANDSCAPE PLAN