

ADDITIONAL APPLICANT INFORMATION

Marrone, Carmen M.

From: Michelle Henrie [michelle@mhenrie.com]
Sent: Tuesday, January 10, 2012 4:16 PM
To: Marrone, Carmen M.; Lehner, Catalina L.
Cc: 'Ron Bohannon'
Subject: Maintenance Agreement / Walmart at North Andalusia at La Luz

Carmen, Catalina,

Attached is a proposed Maintenance Agreement. I used the Target template (attached) and modified the recitals a bit. I also made it binding (runs with the Property). And I defined "vacant or abandoned" as was done in the prior Lowe's agreement. Otherwise, it pretty much follows the Target model.
Michelle



Michelle Henrie | Attorney · LEED AP

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1/12/2012

MAINTENANCE AGREEMENT

This Maintenance Agreement ("Agreement") is entered into this ___ day of _____ 2012 by and between the CITY OF ALBUQUERQUE, a New Mexico municipal corporation ("City") and WAL-MART STORES EAST, LP, a Delaware Limited partnership ("Walmart"), who agree as follows:

Recitals

WHEREAS, Walmart is the owner of a large retail facility in the City of Albuquerque, Bernalillo County, as more particularly described on Exhibit A attached hereto and incorporated herein by reference ("Property");

WHEREAS, Walmart has procured a site development plan approval ("Site Development Plan") for the large retail facility from the City's Environmental Planning Commission ("EPC") and/or the Development Review Board ("DRB"); and

WHEREAS, under the Revised Ordinances of Albuquerque, New Mexico, 1994 § 14-16-3-2(D)(8) of the Zoning Code, Walmart is required to execute a maintenance agreement with the City to assure the large retail facility is maintained during periods of vacancy or abandonment.

Agreement

NOW THEREFORE, City and Walmart agree as follows:

A. During any period of vacancy or abandonment, Walmart will, at its cost and expense, maintain the Property in accordance with the following maintenance standards (collectively, "Maintenance Standards"). For purposes of this Agreement the terms "vacancy or abandonment shall" be defined to be the termination of all retail operations on the Property for a period of thirty (30) consecutive days except in the case of damage by fire or other casualty or remodeling, where repair or restoration of the damaged site improvements, or remodeling, is being pursued with reasonable commercial diligence.

- 1) Any landscaping on the Property will be watered, pruned and weeded;
- 2) Any parking areas on the Property will be kept substantially free of dirt and litter;
- 3) The building facades on the Property will be kept in good repair (i.e., replacing cracked windows and removing any graffiti); and

- 4) Any outdoor security lighting and irrigation systems on the Property will be kept in good working order.

B. If the City determines, in good faith exercising commercially reasonable judgment, that Walmart is not maintaining the Property in accordance with the Maintenance Standards, the City will send written notice of such breach to Walmart and Walmart will have thirty (30) days following receipt of City's written notice to cure the breach. All notices, demands and requests (collectively, the "notice") required or permitted to be given under this Agreement must be in writing and shall be deemed to have been given as of the date such notice is (i) delivered to the Party intended, (ii) delivered to the then designated address of the Party intended, (iii) rejected at the then designated address of the Party intended, provided such notice was sent prepaid, or (iv) sent by nationally recognized overnight courier with delivery instructions for "next business day" service, or by United States certified mail, return receipt requested, postage prepaid and addressed to the then designated address of the Party intended. The initial address of Walmart shall be:

Wal-Mart Stores East, LP
2001 S.E. 10th Street
Bentonville, Arkansas 72716
(attn: Shay Wright)

With a copy to:

Gust Rosenfeld P.L.C.
One East Washington Street, Suite 1600
Phoenix, Arizona 85004
(attn: Laura Sever Blanco)

Signed by City and Walmart effective as of the date set forth above.

(Separate Signature Pages Follow)

(City Signature Page)

CITY OF ALBUQUERQUE,
a municipal corporation

By: _____

Chief Administrative Officer

CITY'S ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
) ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this ____ day of _____ 2012
by _____, as Chief Administrative Officer of the City of
Albuquerque, a New Mexico municipal corporation, on behalf of said corporation.

Notary Public

My Commission Expires:

(Walmart Signature Page)

WAL-MART STORES EAST, LP is a Delaware limited partnership

By: _____

Its: _____

WALMART'S ACKNOWLEDGEMENT

STATE OF _____)
) ss
COUNTY OF _____)

This instrument was acknowledged before me on this ____ day of _____ 2012
by _____, as _____ of Wal-Mart
Stores East, LP, on behalf of said limited partnership.

Notary Public

My Commission Expires:

EXHIBIT A

January 10, 2012

Carmen Marrone, Current Planning Manager
Catalina Lehner, Senior Planner
Planning Department
600 2nd St. NW
Albuquerque, NM 87102

Re: North Andalucia at La Luz, Project #1003859 (Amendment to the North Andalucia at La Luz Site Development Plan for Subdivision and Site Development Plan for Building Permit- Large Retail Facility)

Dear Ms. Marrone and Ms. Lehner:

This firm represents the Applicant for the above-referenced project.

As you know, the City's Large Retail Facility Regulations (§ 14-16-3-2) were enacted in 2007. The poor economy—which has stalled real estate development, including commercial and retail development—followed in 2008.

We were curious. How many new Large Retail Facilities have been approved under the City's Large Retail Facility Regulations?

The results of our research are attached. We were able to find two (and only two) new Large Retail Facilities approved by the Environmental Planning Commission under the City's Large Retail Facility Regulations. Those projects are:


1. A Home Improvement Store (125,601 sf) and Retail Building (97,942 sf) at Unser Crossing, approved May 18, 2008 as Project # 1007204, 08EPC-40034, -40035, and -40039, and
2. A Lowe's Home Improvement Store (111,348 sf) at Hotel Circle, approved September 19, 2008 as Project #1007320, 08EPC-40071.

Project #1003859
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Enclosed are the approved site plans and the Official Notices of Decision. Can you please include this packet in the Record for North Andalusia at La Luz?

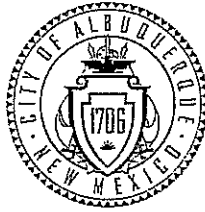
Yours sincerely,

MICHELLE HENRIE, LLC

A handwritten signature in black ink, appearing to be 'MH' followed by a long horizontal stroke.

Michelle Henrie, Attorney

cc. Ron Bohannon, Tierra West, LLC, Applicant's agent



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 16, 2008

OFFICIAL NOTIFICATION OF DECISION

FILE: Project# 1007204
08EPC-40034 SITE DEVELOPMENT -
SUBDIVISION
08EPC-40035 SITE DEVELOPMENT -
BUILDG PRMT
08EPC-40039 AMEND SECTOR
DEVELOPMENT PLAN MAP

Armstrong Development Properties
1500 N. Priest Drive, Suite 150E
Tempe, AZ 85281

LEGAL DESCRIPTION: for Tracts 1A, 1B, 2A, 2B, 3A, 3B, & 6, Barrett V.E. Subdivision and approval of Site Development Plans for the aforementioned tracts and Tracts 4-A-1, 4B, 5-B-1 & 5-B-2, Lands of WEFCO Partners, zoned SU-2/C-2, located on Central Avenue between Unser and 86TH ST SW, containing approx. 50 acres. (K-9 ,10/L-10) Anna DiMambro, Staff Planner

On May 15, 2008 the Environmental Planning Commission voted to recommend approval to the City Council Project 1007204/08EPC 40039, a request for a map amendment to the West Route 66 Sector Development Plan from "SU-1/C-2 (10 acres), O-1, and PRD 20 du/acre (7 acres)" to C-2, for Tracts 1A, 1B, 2A, 2B, 3A, 3B, and 6 V.E. Barrett Subdivision, based on the following Findings:

FINDINGS:

1. This is a request for a map amendment to the West Route 66 Sector Development Plan for Tracts 1A, 1B, 2A, 2B, 3A, 3B, and 6 V.E. Barrett Subdivision, an approximately 36 acre portion of a larger approximately 50 acre site located at the southwest corner of Central and Unser SW. The site is currently zoned SU-1/C-2 (10 acres), O-1, and PRD 20du/acre (7 acres) and is currently vacant. The applicant is proposing C-2 zoning for the entire site. Due to the acreage of the proposed zone change, this request will need to be approved by the City Council. The EPC is a recommending body in this case.

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2. The applicant has submitted concurrent requests for a site development plan for subdivision and a site development plan for building permit for the larger 50-acre site. Retail uses are proposed for the entire site, including a health club.
3. The subject site is located within the Established Urban Area as designated by the Comprehensive Plan and is also within the boundaries of the West side Strategic Plan and the West Route 66 Sector Development Plan. The site is a designated Community Activity Center, and Central and Unser are both Enhanced Transit Corridors in this area.
4. This request furthers the following Comprehensive Plan goals and policies:
 - a. This request will contribute to a full range of urban land uses (II.B.5a).
 - b. The subject site is an appropriate location for the proposed intensity (II.B.5d).
 - c. The proposed zoning will enable development of a vacant infill site that is contiguous to existing infrastructure. Site plan review due to the site's size will ensure the integrity of existing neighborhoods (II.B.5e).
 - d. Employment and services uses on this site will complement the surrounding residential areas. Site plan review will ensure minimization of adverse effects of noise, lighting, pollution, and traffic on residential environments (II.B.5i).
 - e. The proposed zoning will contribute to the efficient placement of services (Transportation and Transit goal).
 - f. The proposed zoning will add to the economic diversity of the West Side (Economic Development goal).
 - g. The proposed zoning will accommodate a wide range of occupational skills and salary levels (II.D.6a).
 - h. The proposed zoning will enable development of a shopping center that may attract both local and outside businesses (II.D.6b).
 - i. The proposed zoning will enable development of a shopping center that will create jobs and reduce the need to travel (II.D.6g).
5. This request partially furthers the following Comprehensive Plan policies:
 - a. The applicant is requesting to eliminate the requirement for higher density housing in this designated Activity Center. While residential development is appropriate and encouraged, it is not required (II.B.5h and II.B.7i).
 - b. The subject site is currently only partially commercially zoned (II.B.5j).
 - c. The proposed location for this shopping center will be convenient for nearby residents, but mixed use is not being proposed (II.B.7a).
 - d. Employment and services uses on this site will complement the surrounding residential areas. Site plan review will ensure minimization of adverse effects of noise, lighting, pollution, and traffic on residential environments (II.B.5i).
 - e. The proposed zoning will add to the economic diversity of the West Side (Economic Development goal).
 - f. The proposed zoning will accommodate a wide range of occupational skills and salary levels (II.D.6a).

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6. This request furthers the following goals, objectives, and policies of the West Side Strategic Plan:
 - a. The proposed zoning will allow West Side residents the opportunity to shop and play in the area where they live (Goal 10).
 - b. Land uses on the West Side are currently unbalanced with a need for commercial uses (Objective 1).
 - c. This zone change will promote job opportunities and business growth in an appropriate area (Objective 8).
 - d. The proposed zoning will allow for urban style services (Policy 3.40).
 - e. The proposed zoning will encourage employment growth (Policy 3.41).
 7. The applicant has adequately justified this request based upon R-270-1980:
 - a. The proposed C-2 zoning allows extensive review by city departments, agencies and residents, which minimizes any adverse effects of future development on public facilities, services and roadways and ensures that the design contributes positively to the neighborhood. This is consistent with the health, safety, morals, and general welfare of the city (A).
 - b. The Planning Department considers that the applicant has provided an acceptable justification for the change and has demonstrated that the requested zoning will not destabilize land use and zoning in the area because it is consistent with the zoning of many surrounding properties (B).
 - c. The applicant cited a preponderance of applicable goals and policies of the Comprehensive Plan and the West Side Strategic Plan that are furthered by this request (C).
 - d. The applicant has justified the change based on changed conditions and on the proposed use category being more advantageous to the community
 - i. An 80-acre Regional Shopping Center, which was approved as part of the Atrisco Business Park Master Plan, was a factor in limiting the amount of commercial development that could take place on the subject site. This regional mall was never developed in this area. 100% commercial zoning on the subject site is appropriate to fill the gap in commercial zoning that was left when the regional mall was developed further north (2).
 - ii. Overall, the applicant has cited a preponderance of policies that are furthered by this request (3).
 - e. C-2 zoning is an appropriate zoning category for a Community Activity Center and that most of the allowable uses are innocuous (E).
 - f. The applicant will be required to fund any associated infrastructure improvements (F).
 - g. Economic considerations are not the determining factor for the request (G).
 - h. While the location of the site is certainly a factor in this analysis, it is not the only justification for the proposed change (H).
 - i. This request will not constitute a spot zone or a strip zone (I and J).
 8. There is no known neighborhood or other opposition to this request. There is substantial support for this request from area residents and neighborhood associations.
-

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On May 15, 2008 the Environmental Planning Commission voted to approve Project 1007204/08EPC 40034, a site development plan for subdivision, for Tracts 1A, 1B, 2A, 2B, 3A, 3B, 4B, and 6 V.E. Barrett Subdivision and Tracts 4-A-1, 5-B-1, 5-B-2, Lands of WEFCO Partners, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for subdivision with design standards for Tracts 1A, 1B, 2A, 2B, 3A, 3B, 4B, and 6 V.E. Barrett Subdivision and Tracts 4-A-1, 5-B-1, 5-B-2, Lands of WEFCO Partners an approximately 50-acre vacant site located at the southwest corner of Central and Unser SW. The site is currently zoned C-2 and SU-1/C-2 (10 acres), O-1, and PRD 20du/acre (7 acres).
2. The applicant is proposing to re-plat the existing 11 tracts into 14 tracts and proposes design standards.
3. The applicant has a submitted concurrent request for a map amendment to the West Route 66 Sector Development Plan for an approximately 36- acre portion of the site so that the entire site will be zoned C-2. The applicant has also submitted a concurrent request for a site development plan for building permit. Retails uses are proposed for the entire site, including a health club.
4. The subject site is located within the Established Urban Area as designated by the Comprehensive Plan and is also within the boundaries of the West side Strategic Plan and the West Route 66 Sector Development Plan. The site is a designated Community Activity Center, and Central and Unser are both Enhanced Transit Corridors in this area.
5. This request partially furthers the following Comprehensive Plan goals and policies:
 - a. The applicant is proposing design standards that would regulate the use and design of these future pad sites. However, the site development plan for subdivision does not restrict the number of drive-thrus on the site. Restriction on the number of drive-thrus is crucial to maintain the integrity of the Activity Center and to protect the established residential neighborhoods from the traffic that will be drawn to and through the site thereby increasing vehicle/pedestrian conflicts (II.B.5k).
 - b. While staff agrees that the location is convenient for residents, the proposed site plan consists mostly of larger parcels (II.B.7a).
6. This request furthers the following West Side Strategic Plan policy:
 - a. This site is accessible by several major streets and is also served by 4 bus routes (Policy 1.14).

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7. Delegation of future phases of development to the DRB is not appropriate in this case because of the importance of the properties adjacent to Central and Unser.
8. The submittal meets the Zoning Code's Large Retail Facility (LRF) Regulations (Section 14-16-3-2 (D)) except for the block size specifics of subsection (3) Site Division. The subject site's dimensions result in irregular block sizes, which are appropriate because:
 - a. The proposed block sizes achieve the intent of the LRF Regulations;
 - b. The proposed design is appropriate for this location;
 - c. The narrow side of the site abuts the adjacent 86th Street that provides a primary access
 - d. The long side along Central Avenue has a major entrance that leads to a large, pedestrian-oriented entrance plaza for a group of buildings.
9. There is substantial support for this request from area residents and neighborhood associations.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Design Standards
 - a. Future phases of development may be delegated to the DRB after EPC review of the first pad site.
 - b. The applicant shall provide a note stating that all development on the site must comply with Zoning Code and West Route 66 Sector Development Plan Design Overlay Zone regulations and that where conflicts exist, the most restrictive shall apply.
 - c. All references to the SU-2 zone shall be removed from the Design Standards.
 - d. A clear statement shall be added to the Permitted Uses section stating that any C-2 conditional uses proposed for the site will require a Conditional Use Permit.
 - e. Streetscape: The applicant shall insert the statement that streetscape will also encourage nearby residents to walk rather than drive to Unser Crossing.
 - f. Parking:
 - i. The statement prohibiting on-street parking shall be removed.
 - ii. The statement regarding compliance with the big box ordinance shall be removed from the second bullet point.

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- iii. A standard shall be added stating that parking shall be placed on at least two sides of a building within a particular lot and, if possible, shall not dominate the building or street frontage. ←
 - iv. The statement regarding employee parking shall be removed.
 - v. A note shall be added stating that trees shall be provided in the parking areas per the requirements of the West Route 66 Sector Development Plan Design Overlay Zone.
 - g. Site Landscape:
 - i. The applicant shall state when the hardscape palette will be selected and by whom.
 - ii. The first bullet point shall not state specific zoning code section and shall additionally state that landscape plans shall also comply with the West Route 66 Sector Development Plan Design Overlay Zone.
 - h. Commons Area: This section shall be removed.
 - i. Service/Loading Areas: The wall height required for screening of service/loading shall be changed to 8' at the loading dock areas.
 - j. Building Articulation/Design: Design requirements shall be added to make the rears of buildings attractive to the same standard as the sides of buildings.
 - k. Portable Buildings: Temporary portable buildings shall also be prohibited.
 - l. Sustainability: The applicant shall add information regarding access to transit and safe and convenient pedestrian connections in order to facilitate multi-modal transportation.
 - m. Lighting: Maximum lighting height shall be 20' unless the Zoning Hearing Examiner approves a variance.
4. Signage Master Plan shall return to the EPC for review and approval:
- i. Off-premise signs shall be added to the list of prohibited signs. Temporary banner signs for special events may be allowed with an Administrative Amendment.
 - ii. The statement "signs will not be permitted to be installed or placed along the perimeter of the property" shall be removed.
 - iii. A note shall be added stating that all signage shall comply with regulations of the Zoning Code and the West Route 66 Sector Development Plan Design Overlay Zone unless the Zoning Hearing Examiner approves a variance.
 - iv. A note shall be added stating that signage facing residential areas shall not be illuminated.
5. Transit:
- i. The applicant shall include information regarding all of the bus routes that serve the subject site.
 - ii. The applicant shall coordinate with the Transit Department about possible participation in Transportation Demand Management (TDM) programs.
6. Drive-Up Service Windows: The total number of permitted drive-up service windows shall be limited to 4, with the number of adjacent drive-up service window uses limited to two. Drive-up window uses may include a bank, pharmacy and a maximum of two "quick-serve restaurants."

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7. Wireless Telecommunications Facilities: Any allowance for wireless telecommunications facilities shall require architectural integration.
8. The site development plan for subdivision shall be made to match the approved site development plan for building permit.
9. Final approval of the corresponding map amendment to the West Route 66 Sector Development Plan (08EPC 40039) by the City Council is required prior to final sign-off of the site development plan for subdivision at the DRB.
10. City Engineer Conditions:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. Comment continued on next page. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - c. Page 7, 10C and page 15, 18C, The width of the drive aisle between the landscape island and the parking area behind retail shops 7C and 7C2 shall be a maximum 35' to minimize the crossing distance for the pedestrian walkway by adding additional parking.
 - d. Provide adequate site distance at service drives along Bridge Boulevard adjacent to 6' screen wall.
 - e. According to the TIS, there are six uses with drive-thru windows. Therefore, the applicant should provide the entire site plan for the purpose of reviewing site circulation.
 - f. Site drives to be designed and located per the recommendations in the TIS.
 - g. Provide truck route and turning information on site plan. Service drives and loading areas to be designed accordingly.
 - h. Provide cross access to Tracts 7 and 8 (designated as not a part on site plan), to site drive aisles that provide connections with Unser and Bridge Boulevards. Provide applicable cross access agreements.
 - i. A concurrent platting action will be required at DRB.
 - j. Site plan shall comply and be designed per DPM Standards.
 - k. Dedication of right-of-way from the centerline of Unser Boulevard a limited access, principal arterial as designated on the Long Range Roadway System map.
 - l. Dedication of right-of-way from the centerline of Central Avenue a Principal arterial as designated on the Long Range Roadway System map.
 - m. Dedication of right-of-way from the centerline of Bridge Boulevard a Collector Street as designated on the Long Range Roadway System map.

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- n. Dedication of right-of-way from the centerline of 86th Street a Collector Street as designated on the Long Range Roadway System map.
 - o. Dedication of an additional 6 feet of right-of-way along Unser Boulevard, Central Avenue, Bridge Boulevard and 86th Street as required by the City Engineer to provide for on-street bicycle lanes.
 - p. Construction of the bicycle lanes along Unser Boulevard, Central Avenue, Bridge Boulevard and 86th Street adjacent to the subject property, as designated on Long Range Bikeways System map.
11. Final City Council approval of the accompanying sector development plan map amendment (08EPC-40039) is required prior to final DRB sign-off.
-

On May 15, 2008 the Environmental Planning Commission voted to approve Project 1007204/08EPC 08EPC 40035, a site development plan for building permit, for Tracts 1A, 1B, 2A, 2B, 3A, 3B, 4B, and 6 V.E. Barrett Subdivision and Tracts 4-A-1, 5-B-1, 5-B-2, Lands of WEFCO Partners, based on the following Findings and subject to the following Conditions:

FINDINGS:

- 1. This is a request for a site development plan for building permit for portions of Tracts 1A, 1B, 2A, 2B, 3A, 3B, 4B, and 6 V.E. Barrett Subdivision and Tracts 4-A-1, 5-B-1, 5-B-2, Lands of WEFCO Partners an overall approximately 50-acre vacant site located at the southwest corner of Central and Unser SW. The site is currently zoned C-2 and SU-1/C-2 (10 acres), O-1, and PRD 20du/acre (7 acres).
- 2. The applicant has a submitted concurrent request for a map amendment to the West Route 66 Sector Development Plan for an approximately 36- acre portion of the site so that the entire site will be zoned C-2. The applicant has also submitted a concurrent request for a site development plan for subdivision with design standards. Retails uses are proposed for the entire site, including a health club.
- 3. The subject site is located within the Established Urban Area as designated by the Comprehensive Plan and is also within the boundaries of the West side Strategic Plan and the West Route 66 Sector Development Plan. The site is a designated Community Activity Center, and Central and Unser are both Enhanced Transit Corridors in this area.

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4. This request partially furthers the following Comprehensive Plan goals and policies:
 - a. The concept of creating a shopping center to offer more retail options to west side residents is supported; however, the overall layout and design of the shopping center with its back towards the adjacent residential neighborhoods does little to promote an integrated community. The site layout is not conducive to walkability and places more of an emphasis on the personal vehicle (Goal for Developing and Established Urban Areas).
 - b. The proposed site layout could be improved to better respect existing neighborhood conditions, although the proposed uses are appropriate (II.B.5d).
 - c. This request would enable development of a vacant infill site that is contiguous to existing infrastructure. However, the proposed design of the site does not ensure the integrity of the existing neighborhood because the entire length of Bridge Boulevard, which is adjacent to residential neighborhoods, is devoted to building rears and loading docks (II.B.5e).
 - d. The employment and services uses in the retail center would complement the surrounding residential areas. Currently, there are few retail options on the west side. However, the design of the site may create adverse effects of noise, lighting, pollution, and traffic on the adjacent residential environment (II.B.5i).
 - e. This development will buffer adjacent residential areas from the noise on Central Avenue, but the proposed location of the truck loading docks will create additional noise (II.B.5k).
 - f. The site's location is convenient for commercial services, but mixed uses are not proposed, and the site design does not encourage walking (II.B.7a).
 - g. The proposed commercial uses may somewhat encourage walking from one shop to another adjacent shop, although the overall site design does not encourage walking. Pedestrian linkages are provided between uses within the site and to surrounding neighborhood. Buildings are not designed to support public transit and pedestrian activity, although the architecture is appropriate. Landscaping, street furniture, and textured paving are proposed (II.C.9d).
 - h. While the proposal may contribute to the efficient placement of services and sufficient roadway capacity will be ensured through required improvements at the applicant's cost, the proposal does not encourage walking, bicycling, or the use of transit. The applicant is proposing to provide transit shelters, but these could be incorporated into the site plan in a more meaningful way (Transportation and Transit Goal).
 - i. Adequate parking screening is provided, and no high water use plants are proposed for the landscape strips. Proposed signage, however, is excessive, and building facades are mostly separated from the roadway corridor by parking areas. Sidewalks are proposed adjacent to the surrounding roadway corridors that will facilitate safe and convenient walking around the perimeter of the site (II.C.9e).
 - j. The proposal does not show a majority of building entrances from the street and shows the majority of buildings set back from the street at distances far greater than what this policy calls for, with parking areas separating the buildings from the street. The applicant has used a 15% parking reduction based upon transit access as allowed by the Zoning Code and the design standards project a floor area ratio of 1.0 at build-out. This policy calls for building entrances to be on the street for the convenience of transit riders and to make the use of transit more appealing to vehicle drivers (II.D.4a).

- k. Pedestrian and bicycle paths have been incorporated into the project, but the layout of the buildings could be improved to reduce pedestrian/vehicle conflicts and walking distances (II.D.4g).
 - l. Four transit routes service this site, and safe access to transit and transfer capability is provided for in this site plan, although the site plan fails to meaningfully integrate transit into the development (II.D.4p).
5. This request furthers the following West Side Strategic Plan goals and policies:
- a. This site is accessible by several major streets and is also served by 4 bus routes. It is accessible by pedestrians and bicyclists, although this access may not be ideal (Policy 1.14).
6. This request partially furthers the following West Side Strategic Plan goals and policies:
- a. Although some of the smaller shops are clustered in some areas of the site plan, many of the proposed structures have the appearance of a strip mall (Policy 1.3).
 - b. Pedestrian and bicycle access is provided to key activity areas. However, the parking lots are not carefully designed to facilitate this access (Policy 1.5).
 - c. The proposal shows buildings of different scales, and the smaller building clusters encourage pedestrian access. However, the three main building structures are too large to be considered pedestrian scale, and parking is located solely in front of the larger buildings. No on-street parking is proposed (Policy 1.12).
 - d. While the applicant is proposing aesthetically pleasing landscaping for Bridge and Central and is also proposing commercial services that will contribute to the social enhancement of Bridge and Central, the entire length of Bridge adjacent to the subject site is dedicated to building rears with large loading dock areas (Policy 3.45).
7. The submittal meets the Zoning Code's Large Retail Facility (LRF) Regulations (Section 14-16-3-2 (D)) except for the block size specifics of subsection (3) Site Division. The subject site's dimensions result in irregular block sizes, which are appropriate because:
- a. The proposed block sizes achieve the intent of the LRF Regulations;
 - b. The proposed design is appropriate for this location;
 - c. The narrow side of the site abuts the adjacent 86th Street that provides a primary access
 - d. The long side along Central Avenue has a major entrance that leads to a large, pedestrian-oriented entrance plaza for a group of buildings.
8. There is substantial support for this request from area residents and neighborhood associations.

CONDITIONS :

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Parking:
 - a. The motorcycle spaces shall be located in an area that is visible from the entrance of the building on the site.
 - b. A detail drawing of the proposed motorcycle signage shall be provided.
 - c. Add a column to the parking calculations chart totaling the number of required parking spaces for each building group to match the groupings in the "Parking Provided" column. If the minimum parking required for the site cannot be met, then the applicant shall request a variance from the Zoning Hearing Examiner.
 - d. Adjust building square footages in the parking calculation chart to match those shown on the site plan.
 - e. The row of disabled parking spaces south of Retail 1 shall be located closer to the entrance of Retail 1 or Retail 7B.
 - f. Some of the disabled parking spaces adjacent to Retail 5 shall be located near Retail 4.
 - g. Parking shall be located on at least 2 sides of each building.
4. Site Plan:
 - a. Note 1 shall be revised to remove the statement "if a truck bay is located within 300 feet of a residential structure."
 - b. Future phases of development may be delegated to the DRB after EPC review of the first pad site.
 - c. Pedestrian walkways through the parking lots shall align with building entrances where possible.
 - d. Additional cart storage areas shall be provided throughout the site where necessary, and parking calculations shall be revised accordingly.
 - e. Pervious paving shall be used in plaza areas, along building facades, and along pedestrian walkways.

5. Transit:
 - a. All adjacent bus stops (including those on opposite sides of the street) shall be shown on the site plan.
 - b. Direct connections shall be provided to each adjacent bus stop.
 - c. A transit feasibility plan shall be provided as per West Side Strategic Plan Policy 1.2 and in coordination with the Transit Department.
 - d. A new stop on Central Avenue just east of the westernmost driveway will provide access to the site via the #54 and the #66. A new stop on Unser north of the Unser driveway will provide access via the #54. These shall be shown on the site plan and incorporated into the site design as approved by the Transit Department.
 - e. The applicant shall install bus shelters and associated trash cans and benches at both stops, as reflected in the Site Plan for Subdivision's section M (Transit Facilities), and as approved by the transit department.
 - f. If posted speed limits adjacent to the site on Central will remain over 45 mph, then the applicant install a bus bay for the new stop on Central Avenue, if required by the Transit Department.
6. Maximum lighting height shall be 20' unless the Zoning Hearing Examiner approves a variance.
7. Landscaping:
 - a. Parking lot tree planters shall be placed such that not more than 15 side-by-side parking spaces shall be allowed between planters. For the purpose of calculating parking spaces, cart storage spaces and motorcycle spaces shall be included.
 - b. The locations of trees, lighting, and signage shall be coordinated to prevent future conflict.
 - c. Move street trees along Bridge and along 86th behind sidewalk per street tree ordinance. Move sidewalk farther away from street creating planting area 6' wide or greater providing sufficient rooting area and place trees there for greater pedestrian safety, walkability, and environmental benefits. Same for sidewalk placement along Central and Unser.
 - d. A street tree plan shall be provided for the entire lengths of Central and Unser.
 - e. Street trees along Central shall be species that will reach a height of 25 feet or less at maturity. (PNM comment).
 - f. The note "Landscape to be determined by future tenant" shall be removed.
8. Walls and Fences:
 - a. The wall height required for screening of service/loading shall be changed to 8' at the loading dock areas.
 - b. Detail drawings of the proposed screen wall shall be provided, including information regarding materials and colors that match the building architecture.
9. Plaza areas:
 - a. The square footage of each plaza space shall be indicated on the site plan.

- b. Plaza calculations shall be revised to reflect regulations of the large retail facilities regulations (a collection of smaller buildings linked by common walls shall be considered one building). Plaza space for each building shall be located adjacent to or near the associated building.
- c. A minimum of 50% of the required public space shall be provided in the form of aggregate space as required by the Zoning Code's Large Retail Facility Regulations.

10. Grading, Drainage, and Utility Plan

- a. The detention pond shall be shallow to prevent the need for defensive security fencing, if technically feasible, yet has the capacity to manage storm waters in a 100-year event.
- b. The retaining wall symbol shall be removed from the legend unless there is actually a retaining wall on the site.
- c. A detail drawing for the detention pond shall be provided. This ponding area shall be rotated 90 degrees and relocated parallel along the adjacent drive aisle and to be bisected by the proposed pedestrian walkway and as presented at the hearing.

11. Architecture:

- a. Elevations shall state color names, shall correctly label each building, and shall use cardinal directions to label each façade.
- b. The statement on the Lowe's elevations regarding the "representation of design intent" shall be removed.
- c. Colors and materials of service doors shall be indicated. High quality materials and treatments shall be used to enhance the aesthetic qualities of these doors.
- d. Similar treatments shall be used on rear elevations as are used on side elevations to meet the intent of Zoning Code §14-16-3-18.
- e. Outdoor seating and plaza space shall be provided as required by large retail facility regulations (§14-16-3-2) and Zoning Code §14-16-3-18.
- f. Retail buildings 7C and 7C2 shall have windows facing the pedestrian plaza on their east and west facades, respectfully.

12. Signage Master Plan shall return to the EPC for review and approval:

- a. All signage shall comply with the Signage Master Plan as approved by the EPC as part of the associated site development plan for subdivision (08EPC 40034).
- b. Vehicular and pedestrian wayfinding sign program shall be included.
- c. Allocation of signage for all tenants shall be described.

13. Maintenance Agreement:

- a. The applicant shall sign a maintenance agreement with the City that is deemed appropriate by the Planning Director. (§14-16-3-2)
- b. The applicant shall add a note on the site development plan for building permit referencing the maintenance agreement.

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MAY 15, 2008

PROJECT #1007204

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14. Solid Waste:
 - a. The site plan shall comply and be designed in accordance with Solid Waste Management requirements.
 - b. Detail drawings shall be provided of the proposed double refuse enclosure.
15. Final approval of the corresponding map amendment to the West Route 66 Sector Development Plan (08EPC 40039) by the City Council is required prior to final sign-off of the site development plan for building permit at the DRB.
16. The applicant must request a Water/Sewer Availability statement. The Utility Plan shall be approved by the Water Utility Authority prior to DRB sign-off.
17. PNM conditions: Access to the development along Central Avenue (driveways, curb cuts) needs to avoid the existing PNM structures. If any of the PNM structures are required to be located due to this project, the developer must pay for the cost of relocation. Any changes or realignment of the existing overhead or underground distribution lines will be at the customer's expense.
18. City Engineer Conditions:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. Comment continued on next page. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - c. Page 7, 10C and page 15, 18C, The width of the drive aisle between the landscape island and the parking area behind retail shops 7C and 7C2 shall be a maximum 35' to minimize the crossing distance for the pedestrian walkway by adding additional parking.
 - d. Provide adequate site distance at service drives along Bridge Boulevard adjacent to 6' screen wall.
 - e. According to the TIS, there are six uses with drive-thru windows. Therefore, the applicant should provide the entire site plan for the purpose of reviewing site circulation.
 - f. Site drives to be designed and located per the recommendations in the TIS.
 - g. Provide truck route and turning information on site plan. Service drives and loading areas to be designed accordingly.
 - h. Provide cross access to Tracts 7 and 8 (designated as not a part on site plan), to site drive aisles that provide connections with Unser and Bridge Boulevards. Provide applicable cross access agreements.
 - i. A concurrent platting action will be required at DRB.
 - j. Site plan shall comply and be designed per DPM Standards.

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MAY 15, 2008
PROJECT #1007204
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- k. Dedication of right-of-way from the centerline of Unser Boulevard a limited access, principal arterial as designated on the Long Range Roadway System map.
- l. Dedication of right-of-way from the centerline of Central Avenue a Principal arterial as designated on the Long Range Roadway System map.
- m. Dedication of right-of-way from the centerline of Bridge Boulevard a Collector Street as designated on the Long Range Roadway System map.
- n. Dedication of right-of-way from the centerline of 86th Street a Collector Street as designated on the Long Range Roadway System map.
- o. Dedication of an additional 6 feet of right-of-way along Unser Boulevard, Central Avenue, Bridge Boulevard and 86th Street as required by the City Engineer to provide for on-street bicycle lanes.
- p. Construction of the bicycle lanes along Unser Boulevard, Central Avenue, Bridge Boulevard and 86th Street adjacent to the subject property, as designated on Long Range Bikeways System map.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MAY 30, 2008 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

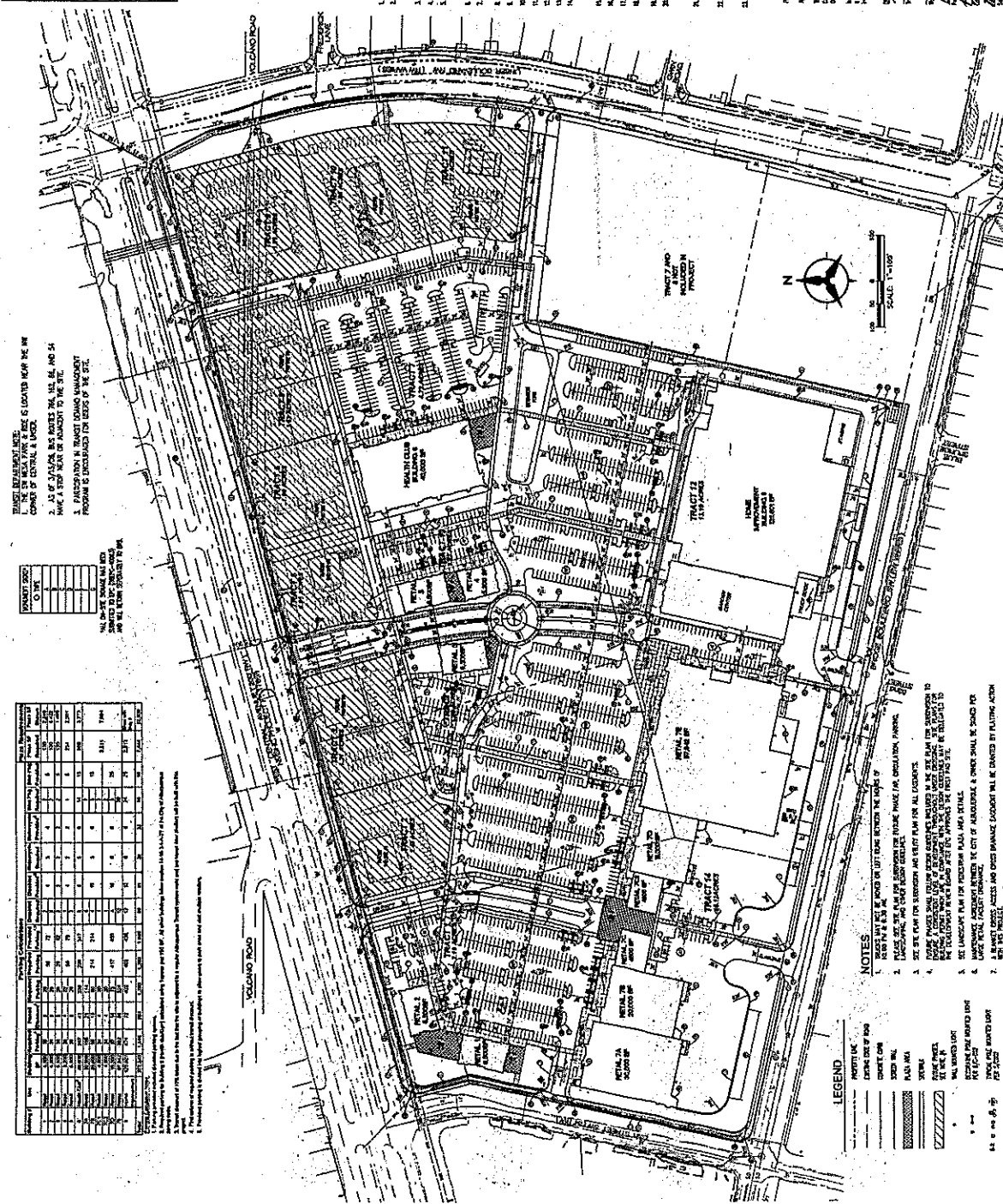
Richard Dineen
Planning Director

RD/AD/ac






























cc: Darren Sowell Architects, 4700 Lincoln Rd. NE, Suite 111, Albuquerque, NM 87109
Miguel Maestas, Avalon NA, 9400 Harbor Rd. NW, Albuquerque, NM 87121
Kelly Chappelle, Avalon NA, 9135 Santa Catalina Ave. NW, Albuquerque, NM 87121
M Max Garcia, Los Volcanes NA, 6619 Honeylocust Ave. NW, Albuquerque, NM 87121
Benny Sandoval, Los Volcanes NA, 6516 Honeylocust Ave. NW, Albuquerque, NM 87121
Tony Chavez, Skyview West NA, 305 Claire Ln. SW, Albuquerque, NM 87121
Beatrice Purcella, Skyview West NA, 201 Claire Ln. SW, Albuquerque, NM 87121
Norman Mason, Stinson, Tower NA, 7427 Via Tranquilo SW, Albuquerque, NM 87121
Victor Wyant, Stinson Tower NA, 612 Cottontail SW, Albuquerque, NM 87121
Andres Anaya, Sunrise HOA, 209 Galataneau NW, Albuquerque, NM 87121
Darlene Norris, Sunrise HOA, 319 Galantaneu NW, Albuquerque, NM 87121
Matthew Archuleta, Westgate Heights NA, 1628 Summerfield SW, Albuquerque, NM 87121
Libby McIntosh, Westgate Heights NA, 1316 Ladrones Ct. SW, Albuquerque, NM 87121
Van Barber, Westside Merchants Assoc., 5201 Central NW, Albuquerque, NM 87105
Miguel Maestas, Westside Merchants Assoc., 6013 Sunset Gardens SW, Albuquerque, NM 87121
Dan Serrano, 3305 Ronda De Lechugas NW, Albuquerque, NM 87120
Becky Davis, 500 Leeward Dr. NW, Albuquerque, NM 87121
Jerry Gallegos, 417 65th St. SW, Albuquerque, NM 87121
Louis Tafoya, 6411 Avalon Rd. NW, Albuquerque, NM 87105
Dr. Joe Valles, 5020 Grande Vista Ct. NW, Albuquerque, NM 87121
Senator Linda M. Lopez, 9132 Suncrest SW, Albuquerque, NM 87121
Susan Unser, 7625 Central NW, Albuquerque, NM 87121
Bernard Dooley, 7611, Via Sereno, Albuquerque, NM 87121
Klarissa Pena, 6525 Sunset Gardens SW, Albuquerque, NM 87121

TRINITY RETIREMENT HOME:

1. THE NEW MESA PARK & RIDE IS LOCATED NEAR THE NW CORNER OF CENTRAL & UNDER
2. AS OF 3/15/04 BUS ROUTES 764, 832, 84, AND 54 HAVE A STOP NEAR OR ADJACENT TO THE SITE.
3. PARTICIPATION IN TRINITY YOUNG MANHOOD PROGRAM IS DISCOURAGED FOR USERS OF THE SITE.

[illegible][illegible]

LEGEND

	PROPERTY LINE
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File: 2024-00000 - E-File by JUSC-00

User Crossing
 DRB Submittal
 Site Plan for Building Permit
 Central Avenue and Unser Boulevard
 Albuquerque, New Mexico 87121

Rev. 1 June 24, 2008
Rev. 2 July 8, 2008

100 Number
 Drawn By
 Checked
 Issue Date June 17, 2008

**SITE PLAN
FOR BUILDING
PERMIT**

6-001

00 20 00

- Q KEYED NOTES**
1. CHECK ONE
a. ☐ YES b. ☐ NO
2. ☐ YES c. ☐ NO
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167. ☐ YES fl. ☐ NO
- 168.

PROJECT NUMBER: 1007204

Application Number: OR 118-7376

This plan is submitted with the specific Disposition Plan approved by the Environmental Planning Commission (EPC), dated April 15, 2008, and the Findings and Conditions to the

Final Publication of Decision or Waiver

on blackberry 100 requested by the () in 2007. This is a set of approved 100 plan with

and will be required for any condition with Public Right-of-Way in the construction of public

[illegible]

SHEET INDEX

[illegible]

Q KEYED NOTES

- [illegible]

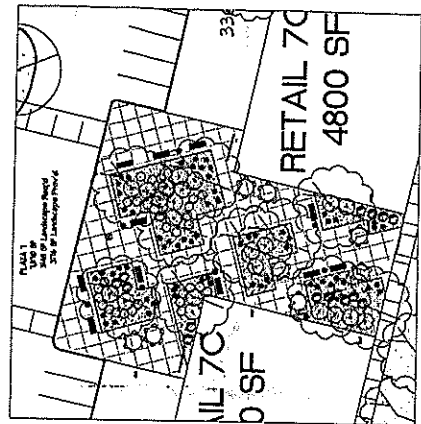
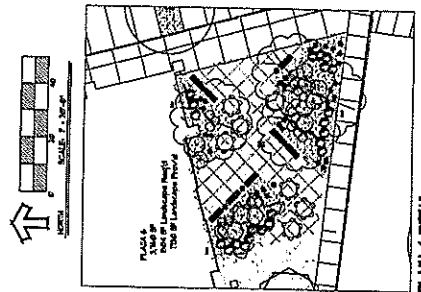
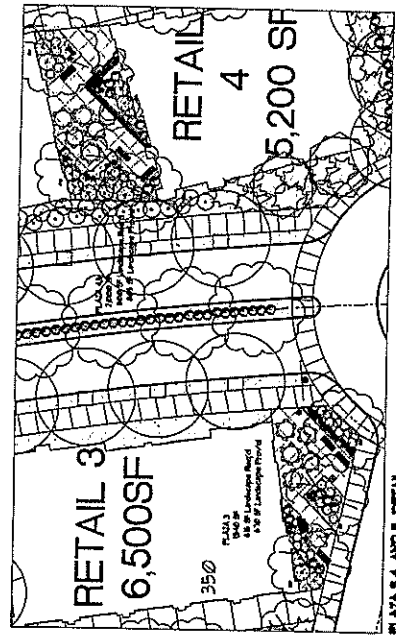
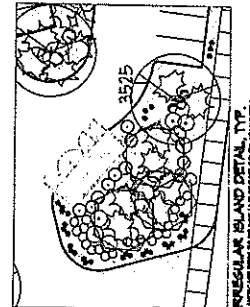
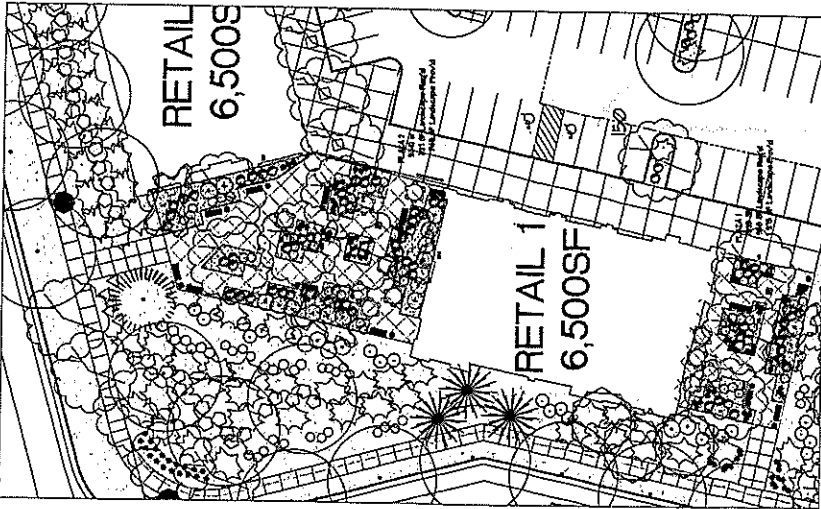


DISA
Darren Sowell
A R C H I T E C T
4700 Jacobs N.E., Suite 111
Arlington, N.J. 07009
Phone (562) 343-4200
Fax (562) 343-4201

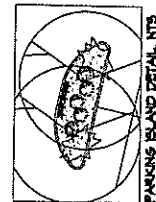
Robinson & Robinson
 1000 Lakeside Drive, Suite 1000
 San Francisco, CA 94109
 Tel: 415.774.1000
 Fax: 415.774.1001
 Email: info@robinsonandrobison.com



ARMSTRONG
DEVELOPMENT



PLAZA 4 DETAIL
LANDSCAPE DETAIL TO BE SHOWN AROUND CORNER AT INTERSECTION.



NOT TO SCALE
FOR INFORMATION ONLY
DO NOT CONSTRUCT
WITHOUT PERMIT



LANDSCAPE PLAN
LS-102

DATE: 10/15/2019
DRAWN BY: J. L. SOWELL
CHECKED BY: J. L. SOWELL
DATE: 10/15/2019

Unser Crossing
Central Avenue and Unser Boulevard
Albuquerque, New Mexico 87121

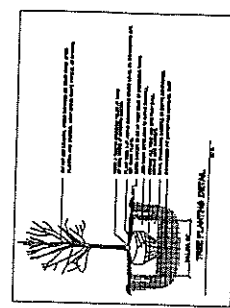
ARMSTRONG
DEVELOPMENT

ARMITAGE ASSOCIATES, LLC
ARCHITECTS

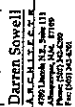
DISIA
Darren Sowell
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2083-2084
2085-2086
2087-2088
2089-2090
2091-2092
2093-2094
2095-2096
2097-2098
2099-2100

PLANT	QUANTITY	PLANT	QUANTITY
1. 10' PINE	10	11. 10' PINE	10
2. 10' PINE	10	12. 10' PINE	10
3. 10' PINE	10	13. 10' PINE	10
4. 10' PINE	10	14. 10' PINE	10
5. 10' PINE	10	15. 10' PINE	10
6. 10' PINE	10	16. 10' PINE	10
7. 10' PINE	10	17. 10' PINE	10
8. 10' PINE	10	18. 10' PINE	10
9. 10' PINE	10	19. 10' PINE	10
10. 10' PINE	10	20. 10' PINE	10

SITE FURNITURE
BENCH TYPICAL
TABLE TYPICAL
TRASH CAN TYPICAL
KIOSK TYPICAL



TYP. TREE PLANTING DETAIL



Bohannon & Finegan

Mitchell Associates, LLC

800-855-5555
1000 N. Main St.
St. Paul, MN 55102



User Crossing
 DRB Submittal
 Site Plan for Building Permit
 Central Avenue and Unser Boulevard
 Albuquerque, New Mexico 87121

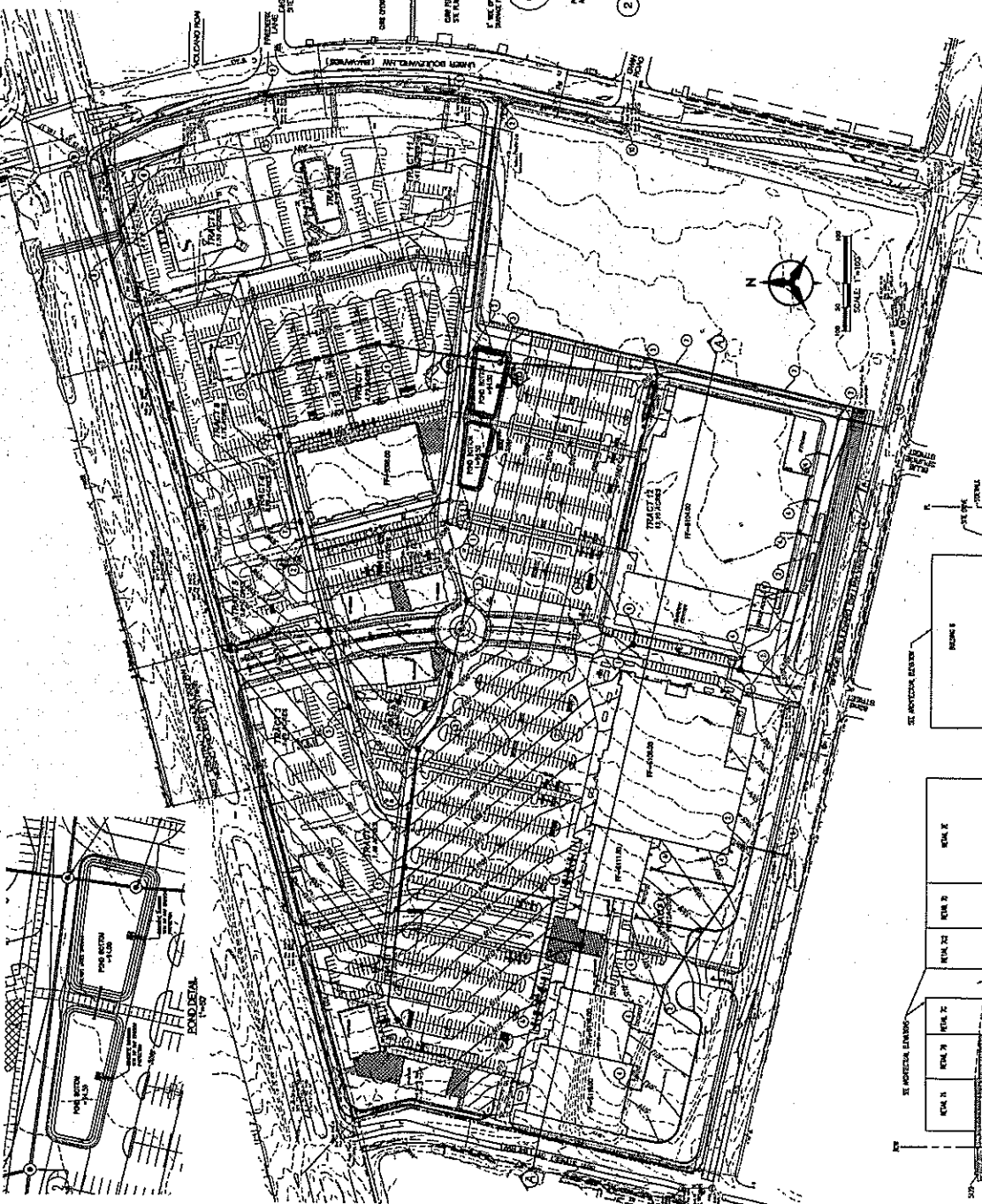
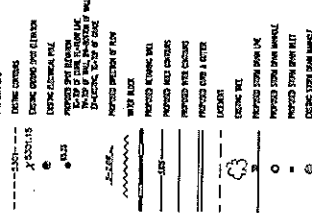
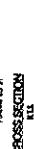
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 Charles _____
 Review Date Jan. 17, 2000
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C-101

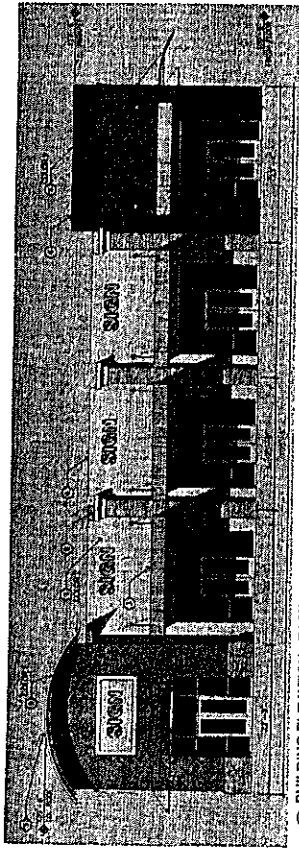
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KEYED NOTES

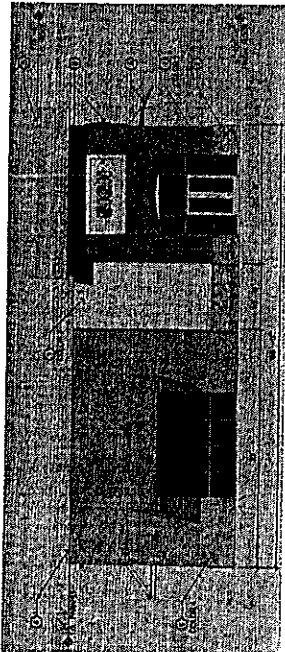
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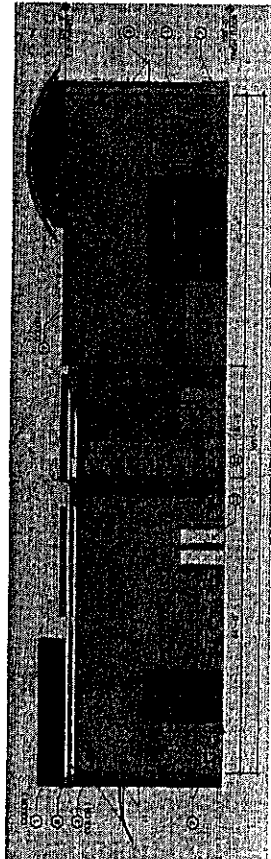
! Accurate! and! accurate! performance!



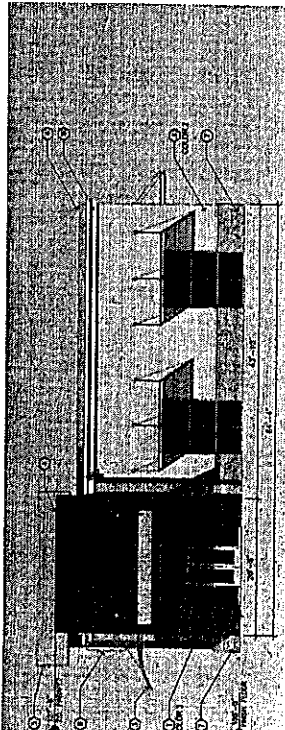
1 BUILDING ELEVATION - EAST



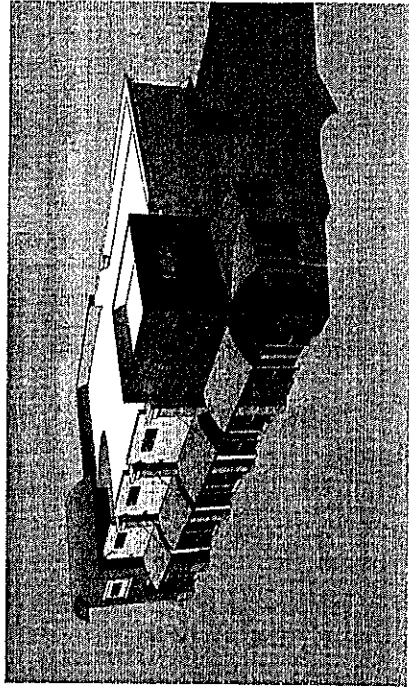
2 BUILDING ELEVATION - SOUTH



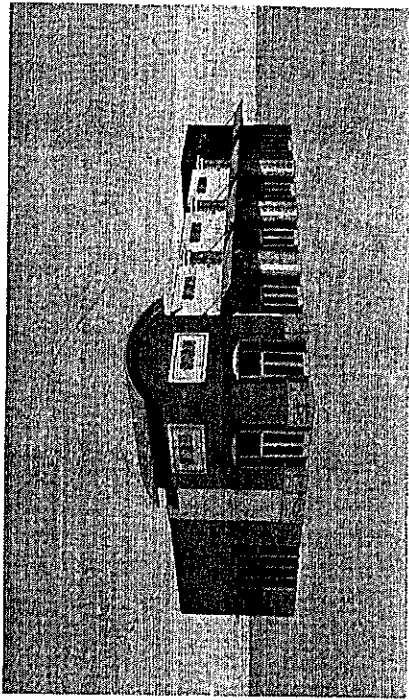
3 BUILDING ELEVATION - WEST



4 BUILDING ELEVATION - NORTH



5 BIRDSEYE VIEW - NORTH EAST



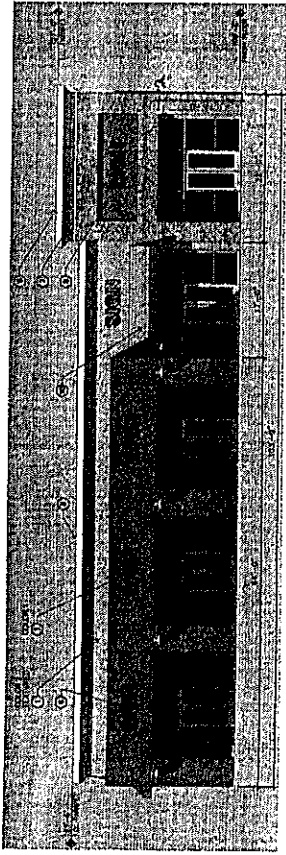
6 EYE LEVEL VIEW - SOUTH EAST

STUCCO COLORS

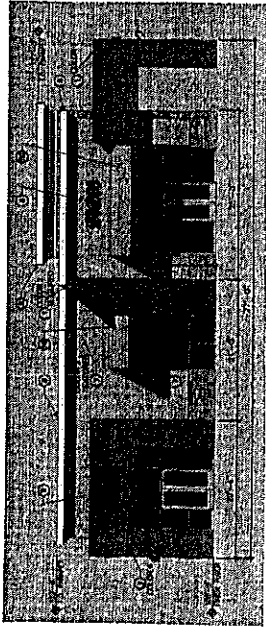
ALL COLORS ARE AS MANUFACTURED BY THE BEST AVAILABLE
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ELEVATION NOTES

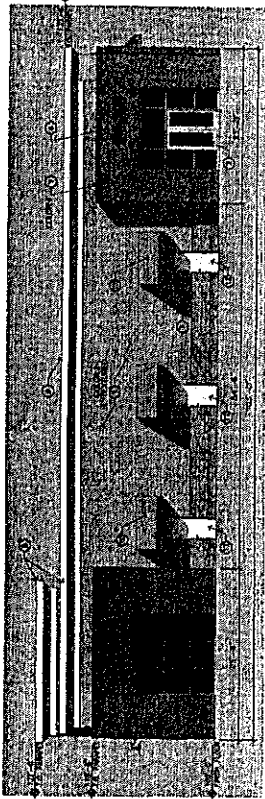
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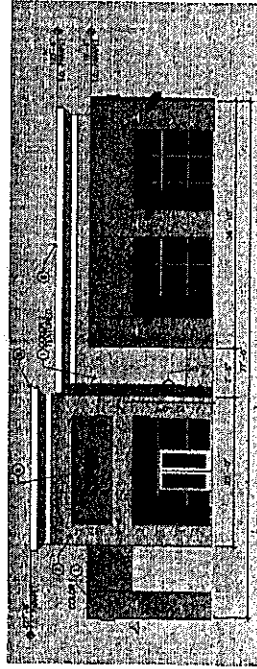
1 BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



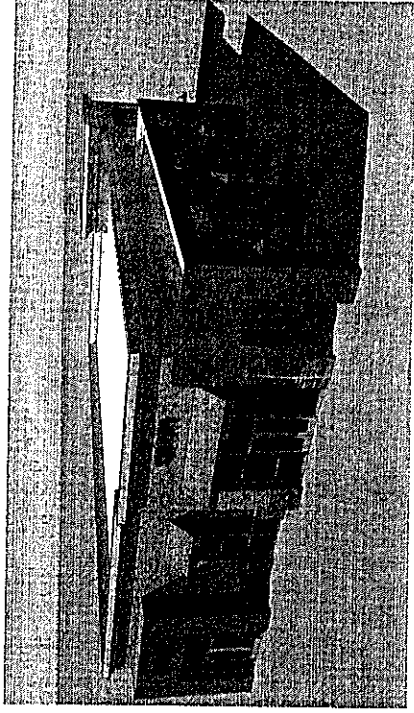
2 BUILDING ELEVATION - WEST
1/8" = 1'-0"



3 BUILDING ELEVATION - NORTH
1/8" = 1'-0"



4 BUILDING ELEVATION - EAST
1/8" = 1'-0"



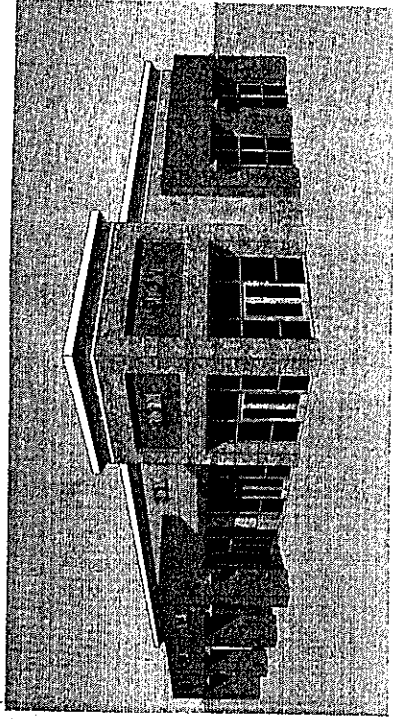
5 BIRDSEYE VIEW - SOUTH WEST

STUCCO COLORS

- ALL COLORS ARE AS MANUFACTURED BY S. B. WHITE & CO.
- COLOR 1 - TAN (BROWN ROSS, Light Tan)
- COLOR 2 - RED (BROWN, Light Tan)
- COLOR 3 - CROWN (BROWN, Light Tan)
- COLOR 4 - 1/4" CROWN (BROWN, Light Tan)
- COLOR 5 - 1/4" HART (Light Tan)

ELEVATION NOTES

1. STUCCO FINISH
2. GLASS WINDOWS ALUMINUM FRAMEWORK TYPICAL
3. METAL PANELS, PAINT 6 IN. 1/2" STAIN STEEL
4. METAL CORNER PANELS, 6 IN. 1/2" STAIN STEEL
5. METAL ROOF, 1/2" STAIN STEEL
6. STAIN STEEL CORNER PANELS, 6 IN. 1/2" STAIN STEEL
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100. STAIN STEEL CORNER PANELS, 6 IN. 1/2" STAIN STEEL



6 EYE LEVEL VIEW - SOUTH EAST

DISIA
Darren Sowell
ARCHITECTS
1902 Lincoln Ave., Suite 121
Albuquerque, NM 87102
Phone: (505) 243-1211
Fax: (505) 243-1211

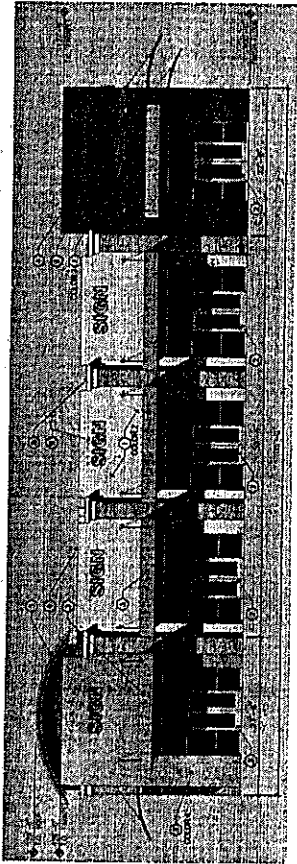
Bohannon & Heston
PREPARED BY: BOHANNON & HESTON
Mitchell Associates, LLC
1902 Lincoln Ave., Suite 121
Albuquerque, NM 87102
Phone: (505) 243-1211
Fax: (505) 243-1211

ARMSTRONG
DEVELOPMENT
CONSTRUCTION

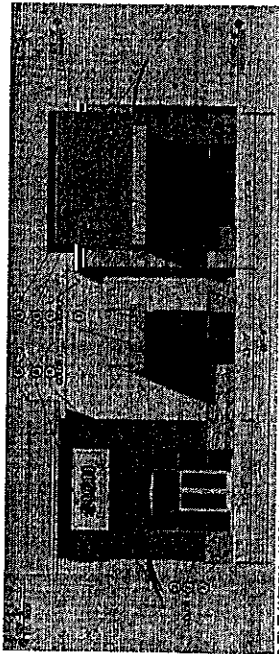
Unser Crossing
Central Avenue and Unser Boulevard
Site Plan for Building Permit
Albuquerque, New Mexico 87121

Revised: June 15, 2008
Job Number: 08-001
Project Name: Unser Crossing
Drawing Title: ELEVATIONS
Drawing Scale: 1/8" = 1'-0"

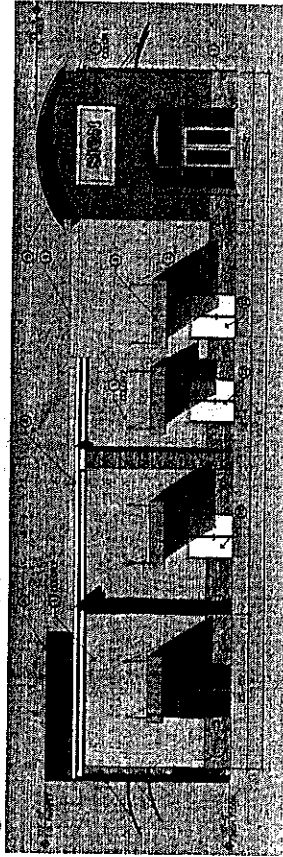
A-102
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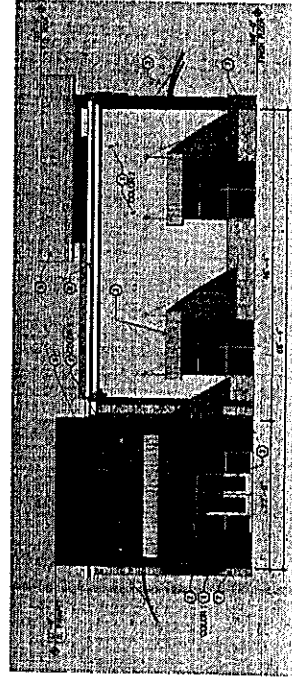
1 BUILDING ELEVATION - WEST



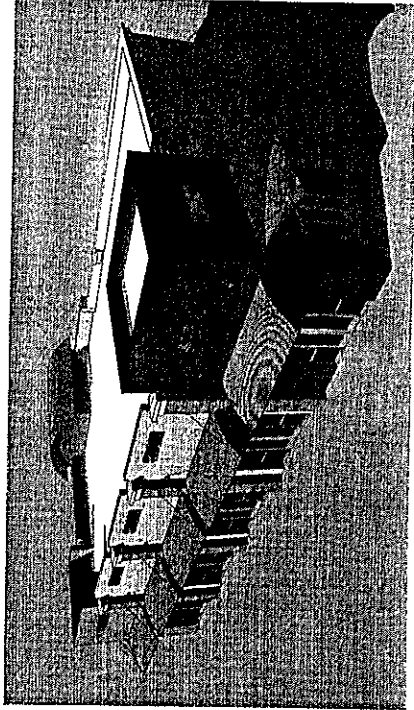
2 BUILDING ELEVATION - NORTH



3 BUILDING ELEVATION - EAST



4 BUILDING ELEVATION - SOUTH



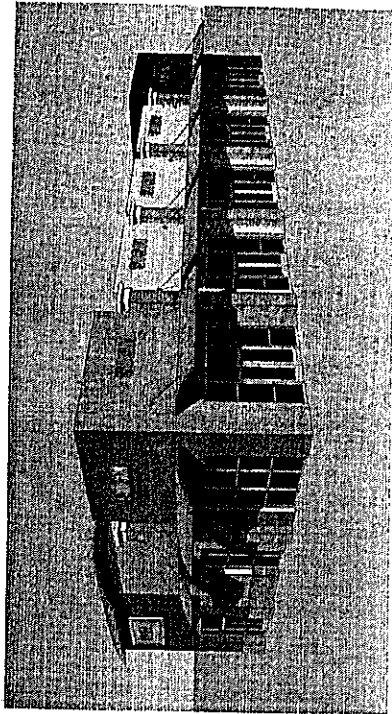
5 BIRDEYE VIEW - SOUTHWEST

STUCCO COLORS

ALL COLORS ARE AS MANUFACTURED BY E. JAY KORTUS
 COLOR 1 - 800 WHITE (Light Grey)
 COLOR 2 - 800 WHITE (Light Grey)
 COLOR 3 - 800 WHITE (Light Grey)
 COLOR 4 - 800 WHITE (Light Grey)
 COLOR 5 - 800 WHITE (Light Grey)

ELEVATION NOTES

1. STUCCO FINISH
2. CLEAN, ANTI-STATIC STUCCO FINISH
3. METAL CORNICE, 1/2" x 1/2" x 1/2" x 1/2"
4. METAL CORNICE, 1/2" x 1/2" x 1/2" x 1/2"
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6 EYE LEVEL VIEW - NORTHWEST

Unser Crossing
 Site Plan for Building Permit
 Central Avenue and Unser Boulevard
 Albuquerque, New Mexico 87121

Architect	Darren Sowell Architects
Engineer	Armstrong Development
Surveyor	Surveyors & Engineers
Builder	Builder
Inspector	Inspector
Permit	Permit
Notes	Notes
Revisions	Revisions
Drawn By	Drawn By
Check By	Check By
Issue Date	Issue Date
Project No.	Project No.
Sheet No.	Sheet No.
Scale	Scale

RETAIL BUILDING 3
 ELEVATIONS

A-103
 20' 10' 00"



Darren Sowell
 ARCHITECTS
 1000 Central Avenue, N.E.
 Albuquerque, NM 87102
 Phone: (505) 243-2200
 Fax: (505) 243-2201

ARMSTRONG
 DEVELOPMENT
 PROJECTS, INC.

Mitchell Associates, LLC
 1000 Central Avenue, N.E.
 Albuquerque, NM 87102
 Phone: (505) 243-2200
 Fax: (505) 243-2201





ALL COLORS ARE AS MANUFACTURED BY EL REY MORTAL

COLOR 1 - BAY BENDER BLOCK (light brown)

COLOR 2 - BAY CASH (light tan)

COLOR 3 - GORDON COLOR TO MATCH

COLOR 4 - BAY CASH TO MATCH

COLOR 5 - BAY CASH TO MATCH

COLOR 6 - BAY CASH TO MATCH

COLOR 7 - BAY CASH TO MATCH

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COLOR 100 - BAY CASH TO MATCH

- ① **SHALL PAPER**
- ② **GLASS ANCHORS ALUMINUM SCREWDRIVER, TYPICAL**
- ③ **HEAVY PAPER, 1/4" X 1/4" TO 3/4" LONG**
- ④ **HEAVY PAPER, 1/4" X 1/4" TO 3/4" LONG**
- ⑤ **HEAVY PAPER, 1/4" X 1/4" TO 3/4" LONG**
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Bidset: June 17, 2008

Title:

Project:

Location:

Drawn By:

Checked:

Date: April 3, 2009

**RETAIL BUILDING 4
ELEVATIONS**

Scale:

User Crossing
 Site Plan for Building Permit
 Central Avenue and Unser Boulevard
 Albuquerque, New Mexico 87121

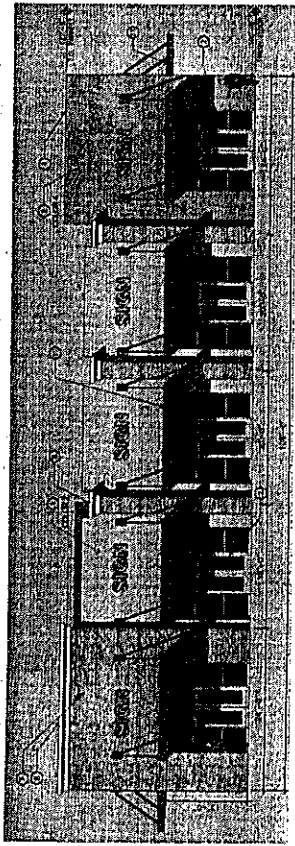
DARTSON
DARTSON SOWELL
ARCHITECTS
4200 Lincoln N.W., Suite 111
Atlanta, GA 30305
Phone: (404) 342-4208
Fax: (404) 342-4291

Bohannon & Wiston

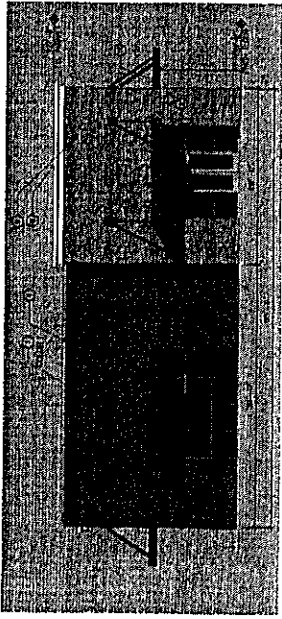
Mitchell Associates, LLC
Construction Services
6000 Old E. 9th St.
Albuquerque, NM 87112
Phone: 505-885-8844
Email: info@maassoc.com



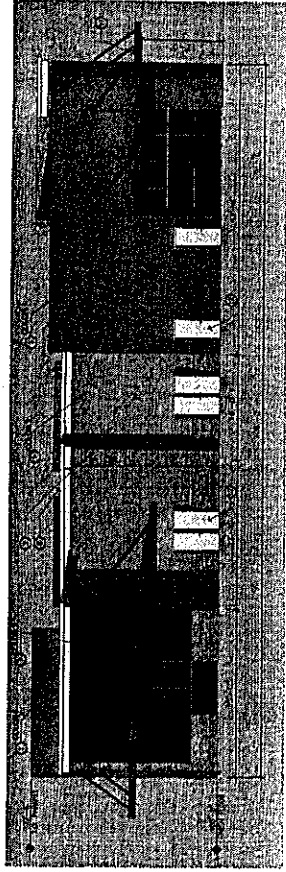
ARMSTRONG
DEVELOPMENT,
INC.



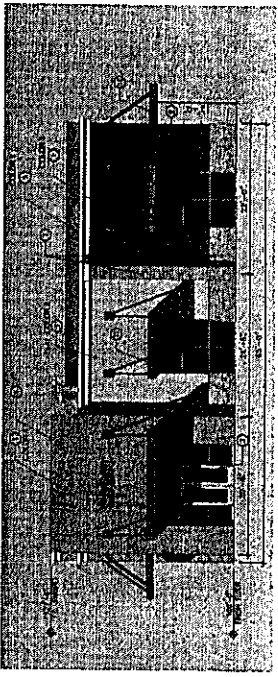
1 BUILDING ELEVATION - EAST



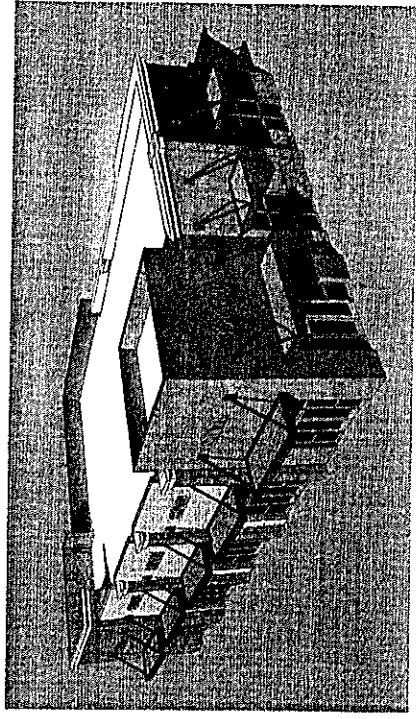
2 BUILDING ELEVATION - SOUTH



3 BUILDING ELEVATION - WEST



4 BUILDING ELEVATION - NORTH



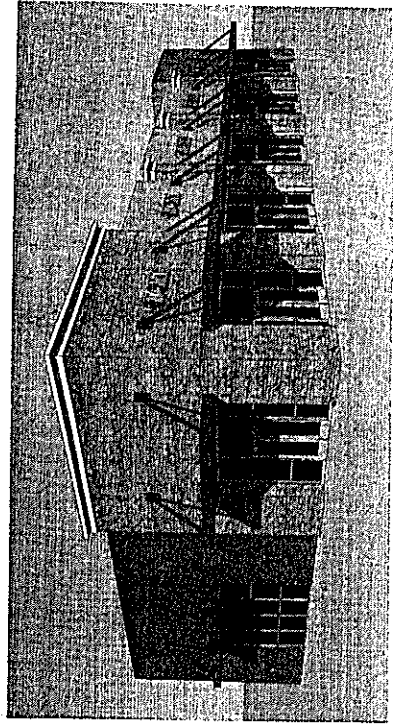
5 BIRDSEYE VIEW - NORTHWEST

STUCCO COLORS

- ALL COLORS ARE TO BE MATCHED TO THE FOLLOWING
- COLOR 1 - 100% WHITE (Light Gray)
- COLOR 2 - 100% WHITE (Light Gray)
- COLOR 3 - 100% WHITE (Light Gray)
- COLOR 4 - 100% WHITE (Light Gray)
- COLOR 5 - 100% WHITE (Light Gray)
- COLOR 6 - 100% WHITE (Light Gray)
- COLOR 7 - 100% WHITE (Light Gray)
- COLOR 8 - 100% WHITE (Light Gray)
- COLOR 9 - 100% WHITE (Light Gray)
- COLOR 10 - 100% WHITE (Light Gray)

ELEVATION NOTES

- 1. STUCCO FINISH
- 2. CLAY FINISHED ALUMINUM SIDING, TYPICAL
- 3. METAL FINISH, PAINT FIN. King Stone Gray
- 4. METAL FINISH, PAINT FIN. King Stone Gray
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- 100. METAL FINISH, PAINT FIN. King Stone Gray



6 EYE LEVEL VIEW - SOUTHWEST

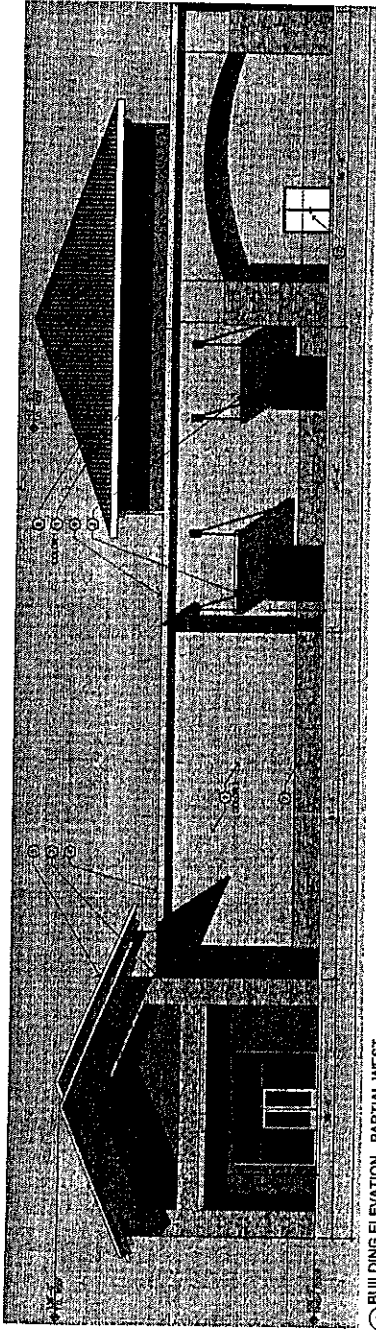
DAVIDSON
DAVIDSON ARCHITECTS
1000 LEXINGTON AVENUE, SUITE 1100
NEW YORK, NY 10017
PHONE: (212) 512-1200
FAX: (212) 512-1201

Mitchell Associates, LLC
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Unser Crossing
Site Plan for Building Permit
Central Avenue and Unser Boulevard
Albuquerque, New Mexico 87121

RETAIL BUILDING 5
ELEVATIONS
Scale: 1/8" = 1'-0"
Date: April 17, 2008
Drawn By: [Name]
Checked By: [Name]
Project No.: 0804-03-2008



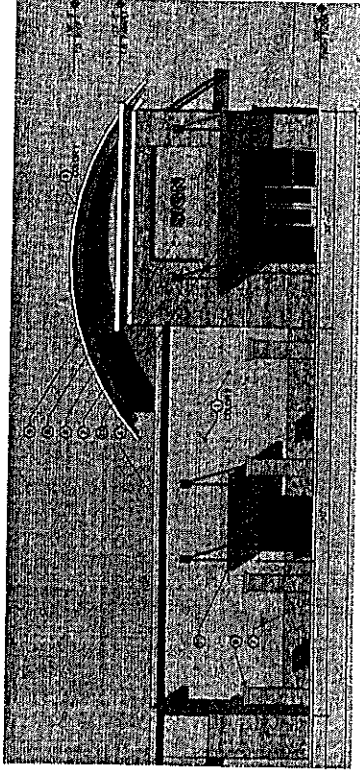
1 BUILDING ELEVATION - PARTIAL WEST
18' x 12'

STUCCO COLORS

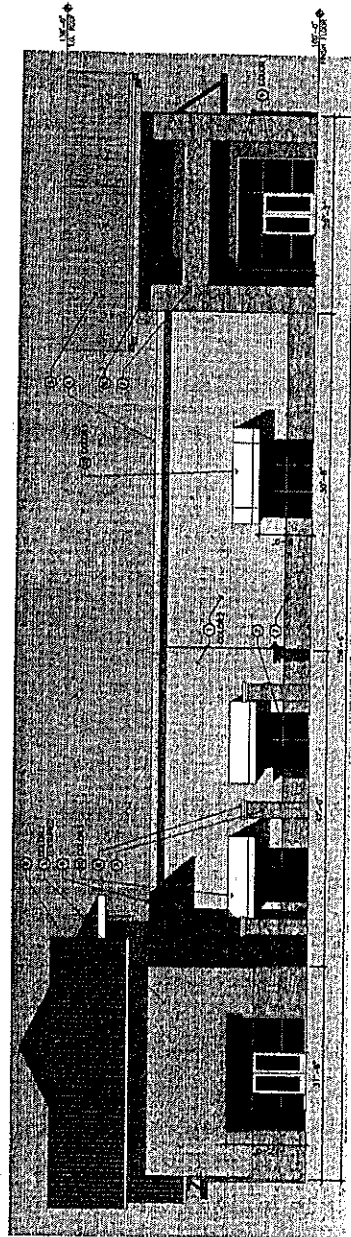
ALL COLORS ARE AS MANUFACTURED BY ELIOTT CORP.
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ELEVATION NOTES

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2 BUILDING ELEVATION - PARTIAL WEST
18' x 12'



3 BUILDING ELEVATION - NORTH
18' x 12'

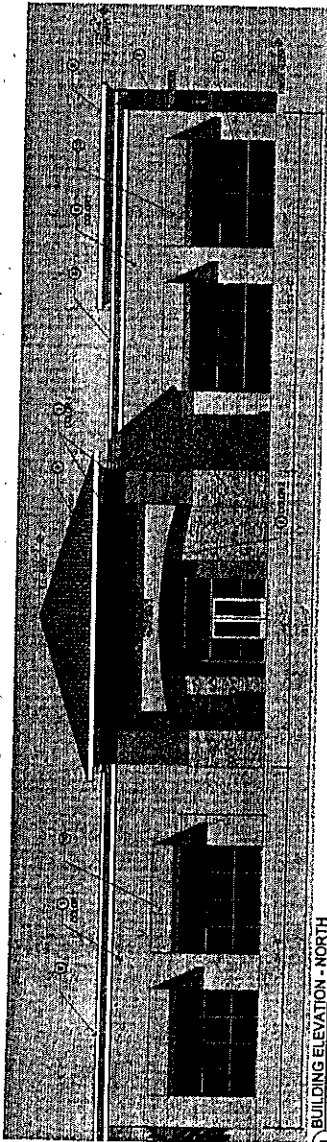
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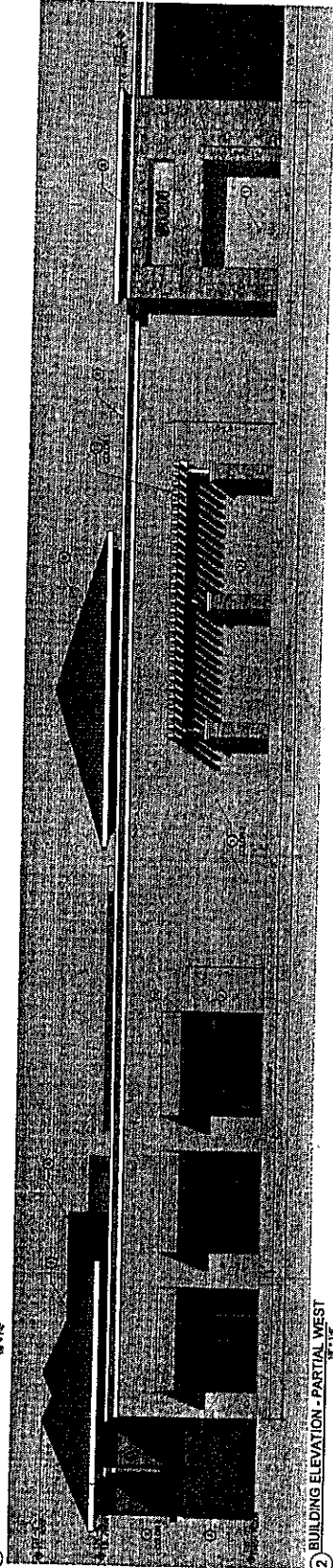
ARMSTRONG
DEVELOPMENT
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FAX: (414) 761-1001

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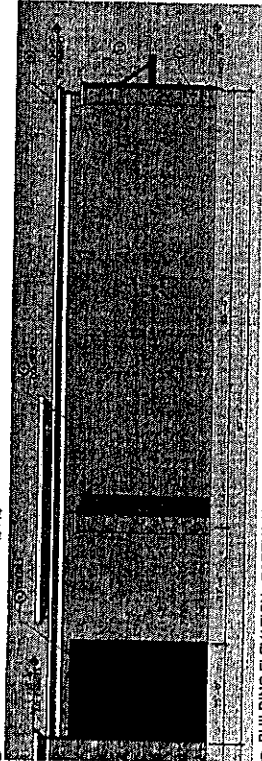
Revised: June 17, 2008
Scale: 1/8" = 1'-0"
Sheet: A-106B
Title: RETAIL BUILDING 6 ELEVATIONS
Author: J. Bohannon
Checked: J. Bohannon
Date: June 17, 2008
Project: 08-001



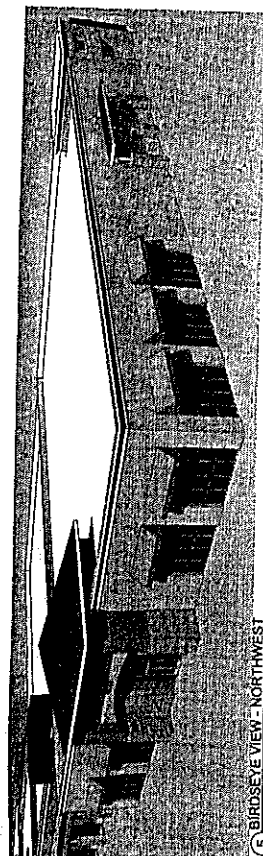
1 BUILDING ELEVATION - NORTH



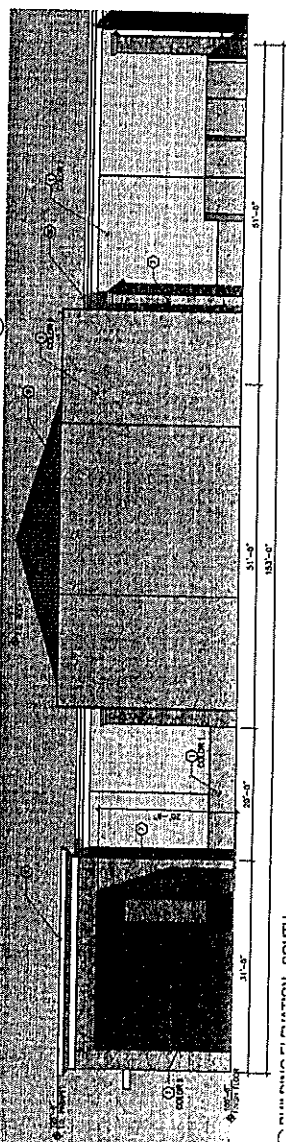
2 BUILDING ELEVATION - PARTIAL WEST



3 BUILDING ELEVATION - PARTIAL WEST



5 BIRDSEYE VIEW - NORTHWEST



6 BUILDING ELEVATION - PARTIAL WEST

STUCCO COLORS

ALL COLORS ARE TO BE MATCHED BY THE ARTIST
 COLOR 1 - WHITE (EXTERIOR WALLS)
 COLOR 2 - LIGHT GRAY (EXTERIOR WALLS)
 COLOR 3 - LIGHT GRAY (EXTERIOR WALLS)
 COLOR 4 - LIGHT GRAY (EXTERIOR WALLS)
 COLOR 5 - LIGHT GRAY (EXTERIOR WALLS)

ELEVATION NOTES

1. STUCCO FINISH
2. CLEAR ANODIZED ALUMINUM EXTERIOR WALLS
3. METAL ROOFING, 24" GAUGE GALV. STEEL
4. METAL ROOFING, 24" GAUGE GALV. STEEL
5. METAL ROOFING, 24" GAUGE GALV. STEEL
6. METAL ROOFING, 24" GAUGE GALV. STEEL
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8. METAL ROOFING, 24" GAUGE GALV. STEEL
9. METAL ROOFING, 24" GAUGE GALV. STEEL
10. METAL ROOFING, 24" GAUGE GALV. STEEL



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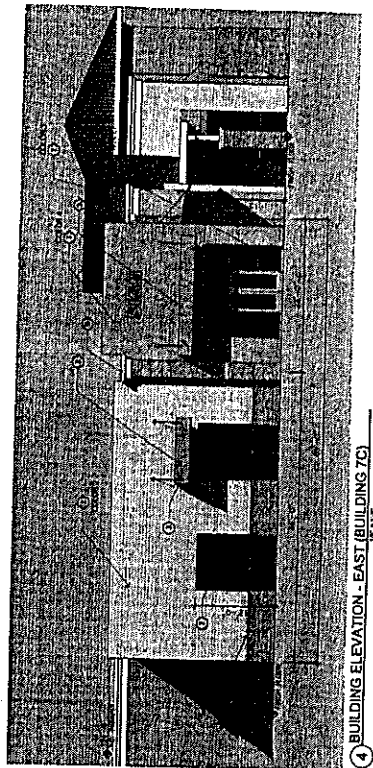
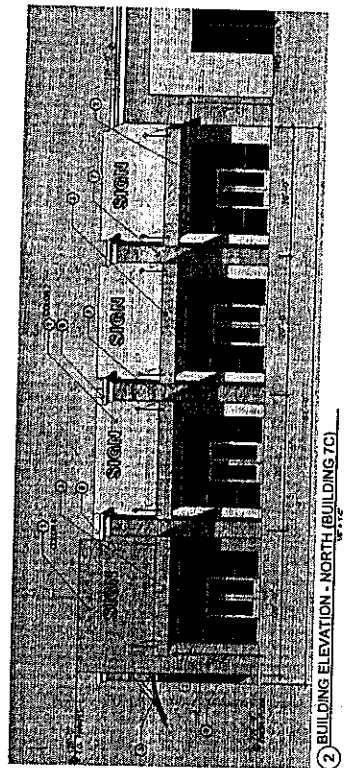
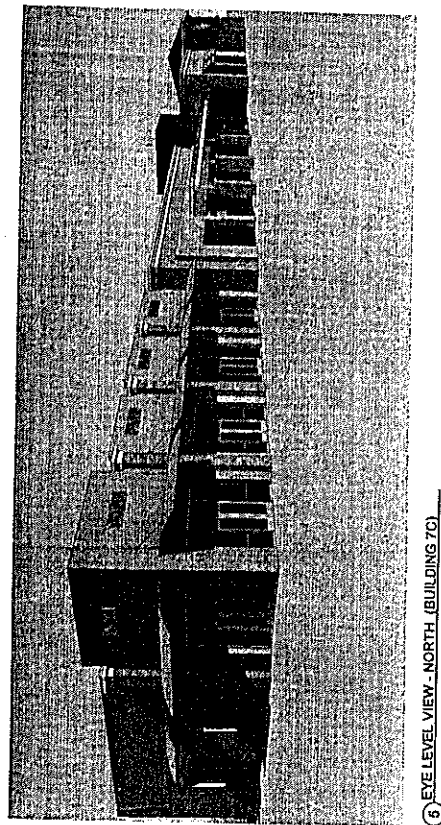
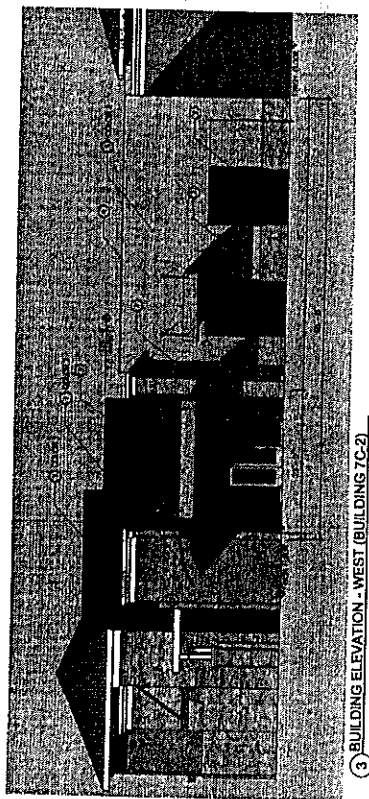
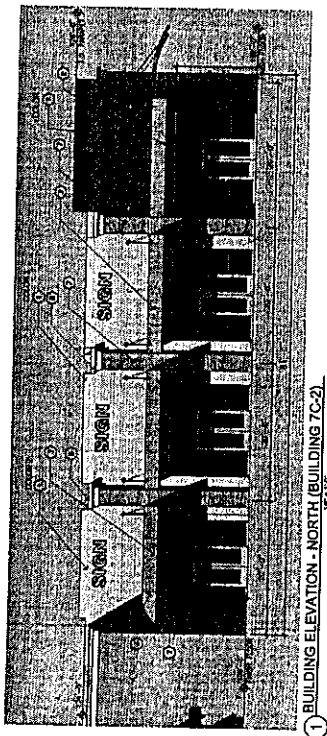


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A-107A
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STUCCO COLORS

- COLOR 1 - 100% WHITE
 COLOR 2 - 100% BLACK
 COLOR 3 - 100% RED
 COLOR 4 - 100% GREEN
 COLOR 5 - 100% BLUE
 COLOR 6 - 100% YELLOW
 COLOR 7 - 100% CYAN
 COLOR 8 - 100% MAGENTA
 COLOR 9 - 100% BROWN
 COLOR 10 - 100% GREY
 COLOR 11 - 100% PINK
 COLOR 12 - 100% PURPLE
 COLOR 13 - 100% ORANGE
 COLOR 14 - 100% LIME GREEN
 COLOR 15 - 100% VIOLET
 COLOR 16 - 100% TEAL
 COLOR 17 - 100% SLATE BLUE
 COLOR 18 - 100% GOLD
 COLOR 19 - 100% SILVER
 COLOR 20 - 100% COPPER
 COLOR 21 - 100% IRIDIUM
 COLOR 22 - 100% PLATINUM
 COLOR 23 - 100% RUBY
 COLOR 24 - 100% EMERALD
 COLOR 25 - 100% DIAMOND
 COLOR 26 - 100% SAPHIRE
 COLOR 27 - 100% TOPAZ
 COLOR 28 - 100% GEMSTONE
 COLOR 29 - 100% JEWELRY
 COLOR 30 - 100% LUXURY
 COLOR 31 - 100% ELEGANCE
 COLOR 32 - 100% FINEST
 COLOR 33 - 100% QUALITY
 COLOR 34 - 100% EXCELLENCE
 COLOR 35 - 100% PERFECTION
 COLOR 36 - 100% BEAUTY
 COLOR 37 - 100% GLAMOUR
 COLOR 38 - 100% CHARM
 COLOR 39 - 100% ELEGANT
 COLOR 40 - 100% FINE
 COLOR 41 - 100% LUXE
 COLOR 42 - 100% HIGH END
 COLOR 43 - 100% PREMIUM
 COLOR 44 - 100% ELITE
 COLOR 45 - 100% EXCLUSIVE
 COLOR 46 - 100% LIMITED EDITION
 COLOR 47 - 100% COLLECTIBLE
 COLOR 48 - 100% INVESTMENT
 COLOR 49 - 100% RARE
 COLOR 50 - 100% UNIQUE
 COLOR 51 - 100% ONE OF A KIND
 COLOR 52 - 100% CUSTOM MADE
 COLOR 53 - 100% HAND CRAFTED
 COLOR 54 - 100% ARTISAN
 COLOR 55 - 100% DESIGNER
 COLOR 56 - 100% FASHION
 COLOR 57 - 100% TRENDY
 COLOR 58 - 100% MODERN
 COLOR 59 - 100% CONTEMPORARY
 COLOR 60 - 100% MINIMALIST
 COLOR 61 - 100% SCANDINAVIAN
 COLOR 62 - 100% JAPANESE
 COLOR 63 - 100% KOREAN
 COLOR 64 - 100% CHINESE
 COLOR 65 - 100% INDIAN
 COLOR 66 - 100% AFRICAN
 COLOR 67 - 100% LATIN AMERICAN
 COLOR 68 - 100% MEXICAN
 COLOR 69 - 100% BRAZILIAN
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 COLOR 71 - 100% PERUVIAN
 COLOR 72 - 100% ECUADORIAN
 COLOR 73 - 100% VENEZUELAN
 COLOR 74 - 100% COLOMBIAN
 COLOR 75 - 100% CUBAN
 COLOR 76 - 100% DOMINICAN
 COLOR 77 - 100% PUERTO RICAN
 COLOR 78 - 100% HAITIAN
 COLOR 79 - 100% JAMAICAN
 COLOR 80 - 100% TRINIDADIAN
 COLOR 81 - 100% TOBAGIAN
 COLOR 82 - 100% BARBADOSE
 COLOR 83 - 100% GUYANESE
 COLOR 84 - 100% SURINAMESE
 COLOR 85 - 100% FRENCH GUIANESE
 COLOR 86 - 100% DUTCH GUYANESE
 COLOR 87 - 100% BRITISH GUYANESE
 COLOR 88 - 100% FRENCH POLYNESIAN
 COLOR 89 - 100% DUTCH POLYNESIAN
 COLOR 90 - 100% BRITISH POLYNESIAN
 COLOR 91 - 100% FRENCH CAYMAN
 COLOR 92 - 100% DUTCH CAYMAN
 COLOR 93 - 100% BRITISH CAYMAN
 COLOR 94 - 100% FRENCH JERSEY
 COLOR 95 - 100% DUTCH JERSEY
 COLOR 96 - 100% BRITISH JERSEY
 COLOR 97 - 100% FRENCH GUERNSEY
 COLOR 98 - 100% DUTCH GUERNSEY
 COLOR 99 - 100% BRITISH GUERNSEY
 COLOR 100 - 100% FRENCH MANCHESTER

ELEVATION NOTES

- ① STITCHED TIE
- ② CLEAN INTERIOR SURFACE, DISINTEGRATE, TYPICAL
- ③ METAL ANVIL, PUNCTURE SURFACE, SHARP
- ④ METAL CORNER, PUNCTURE SURFACE, SHARP
- ⑤ METAL CORNER, PUNCTURE SURFACE, SHARP
- ⑥ METAL CORNER, PUNCTURE SURFACE, SHARP
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- ㊿ METAL CORNER, PUNCTURE SURFACE, SHARP

5 EYE LEVEL VIEW - NORTH (BUILDING 7C)

A-107C

101

DISA

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E-Page 764

ARMSTRONG
DEVELOPMENT

User Crossing
 Site Plan for Building Permit
 Central Avenue and Unser Boulevard
 Albuquerque, New Mexico 87121

100

**DETAIL BUILDING 7
ELEVATIONS**

 $\frac{1}{2}$

ALL COLORS ARE MANUFACTURED BY THE ARTIST

COLOR 1 - 60% RIVER ROCK (light brown)

COLOR 2 - 80% CASH (light tan)

COLOR 3 - DESIGN COLOR NO MATCH
DESIGN YELLOWING 80% FLAM BROWN

COLOR 4 - 90% CACTUS FLOWER (light terra cotta)

COLOR 5 - 90% HEST (light grey)

1. STAGS FRONT
2. CLAW ARMED AROUND SCREWDRIVER, PIVOTAL
3. STAGS FRONT, PIVOTAL
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93. STAGS FRONT, PIVOTAL
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99. STAGS FRONT, PIVOTAL
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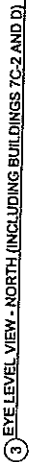
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Phone: (505) 343-4000
Fax: (505) 343-4387

Performance objectives: • Self-motivated • Goal-oriented

RECEIVED

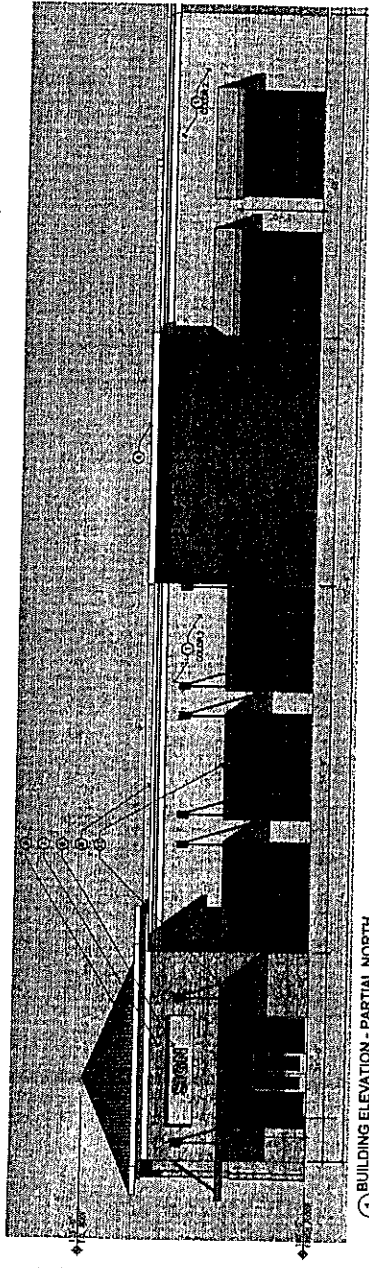
ARMSTRONG
DEVELOPMENT
P.O. BOX 877112, ARLV

Under Crossing
Site Plan for Building Permit
Central Avenue and Unser Boulevard
Albuquerque, New Mexico 87121

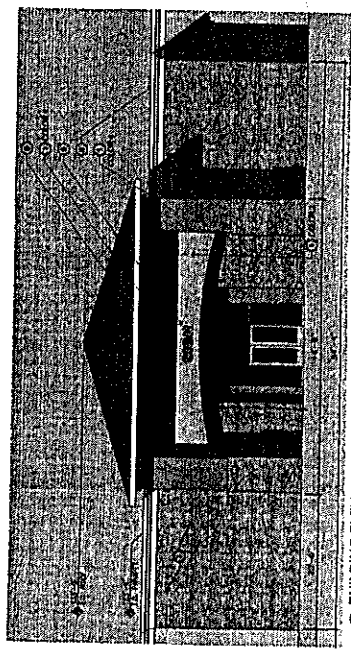


Revised: June 17, 2008
 Job Number
 Drawn By
 Checked
 Issue Date April 3, 2008
 RETAIL BUILDING 7
 ELEVATIONS
 Scale

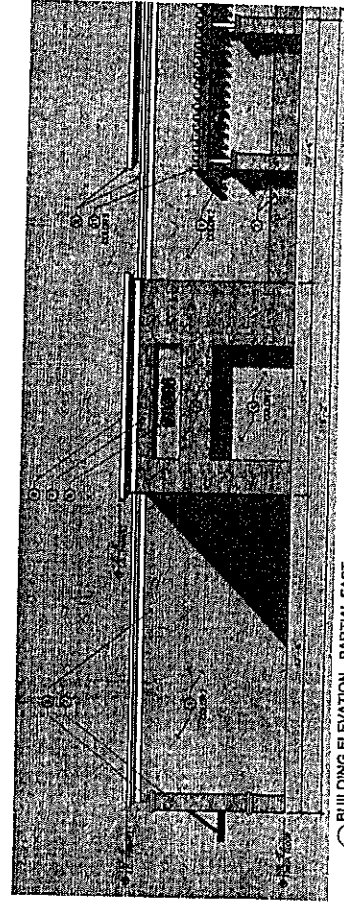
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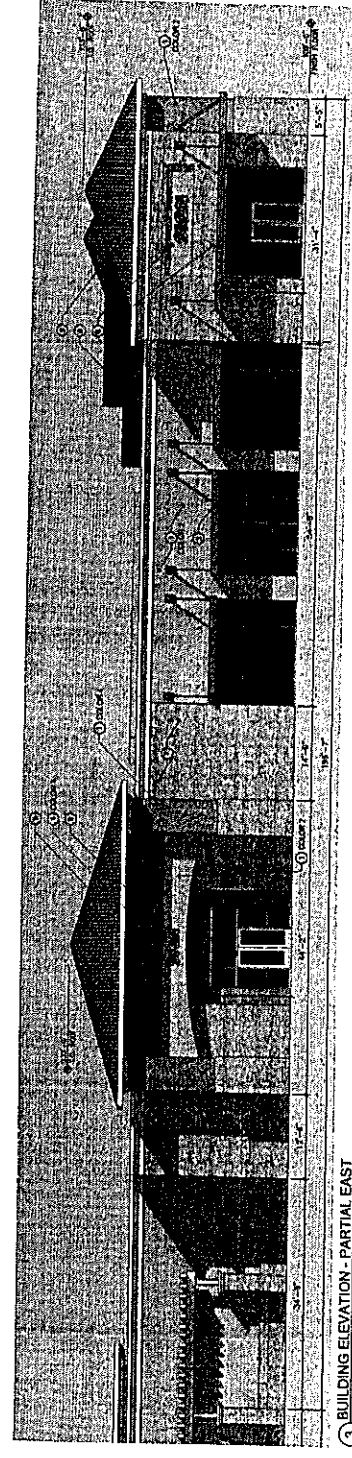
① BUILDING ELEVATION - PARTIAL NORTH
1/8" = 1'-0"



② BUILDING ELEVATION - PARTIAL NORTH
1/8" = 1'-0"



④ BUILDING ELEVATION - PARTIAL EAST
1/8" = 1'-0"



③ BUILDING ELEVATION - PARTIAL EAST
1/8" = 1'-0"

ELEVATION NOTES

SEE PLAN FOR LOCATED NOTES

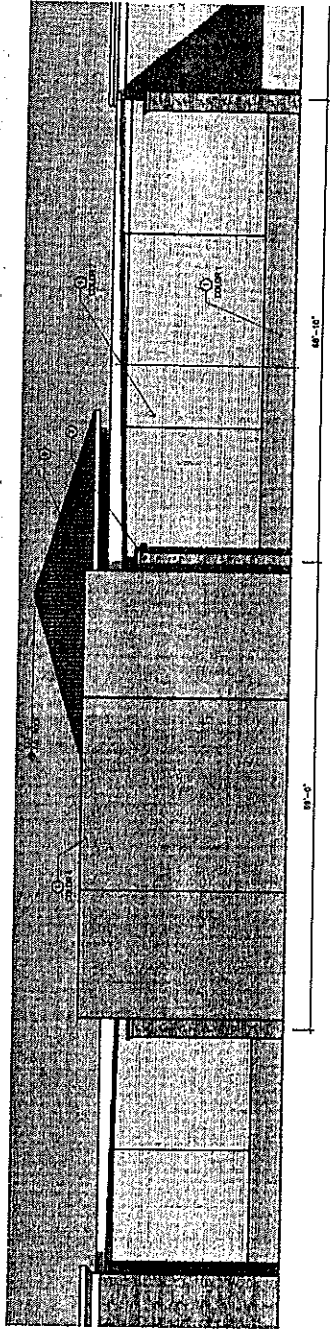
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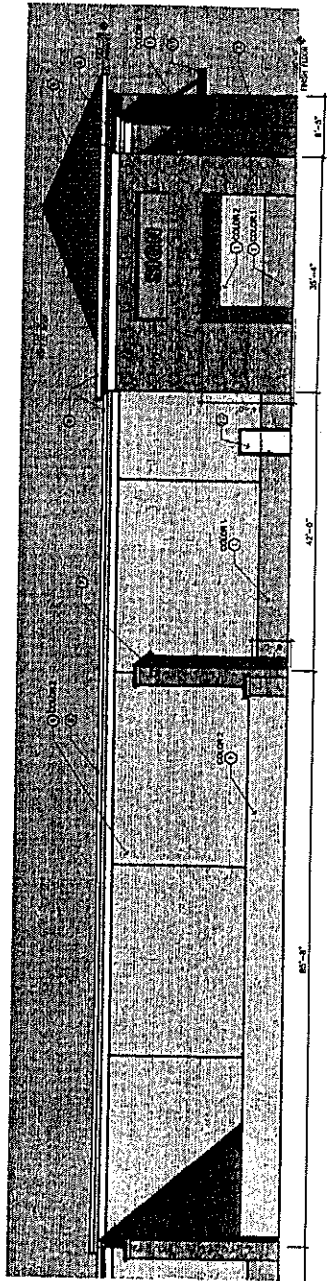
ARMSTRONG
DEVELOPMENT
PROPERTY, INC.

Unser Crossing
Site Plan for Building Permit
Central Avenue and Unser Boulevard
Albuquerque, New Mexico 87121

Revised: June 17, 2008
Drawn By: [blank]
Checked By: [blank]
Scale: 1/8" = 1'-0"
Date: April 3, 2008
RETAL BUILDING 7
ELEVATIONS
A-107E-1
08 07 08



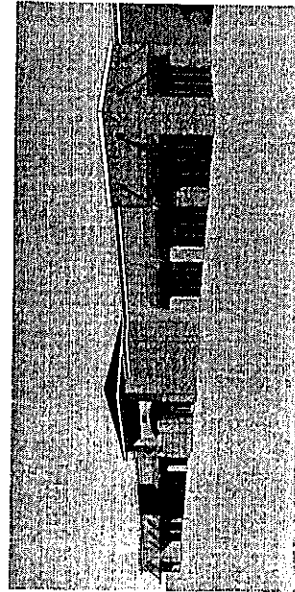
① BUILDING ELEVATION - PARTIAL SOUTH
81'-0" 68'-10"



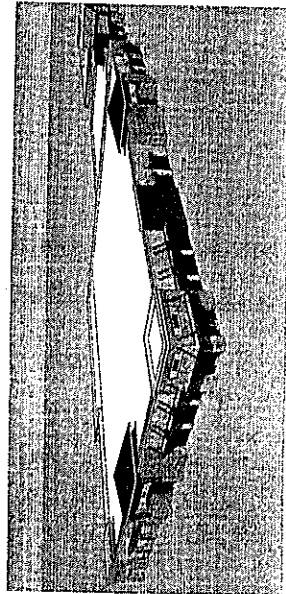
② BUILDING ELEVATION - PARTIAL SOUTH
81'-0" 35'-0"

ELEVATION NOTES

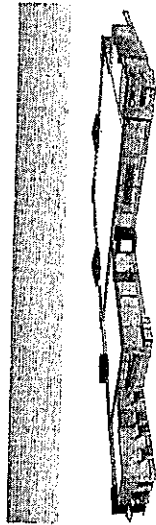
SEE SHEET A-107E-1 FOR ELEVATION NOTES



③ EYE LEVEL VIEW - NORTH
81'-0" 35'-0"



④ BIRDSEYE VIEW - NORTH
81'-0" 35'-0"



⑤ BIRDSEYE VIEW - SOUTH
81'-0" 35'-0"

Revised:	June 12, 2024
Drawn By:	
Check By:	
Project No.:	
Client:	
Location:	
Scale:	

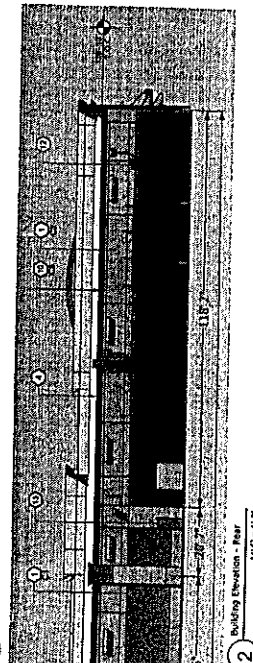
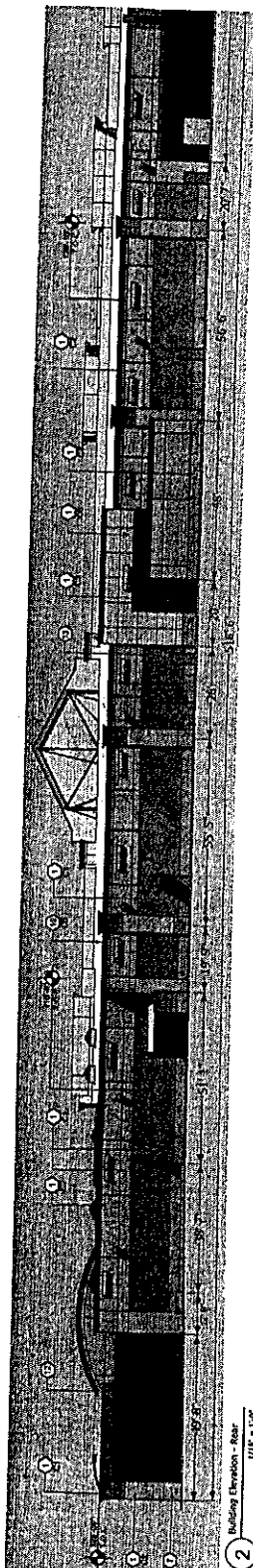
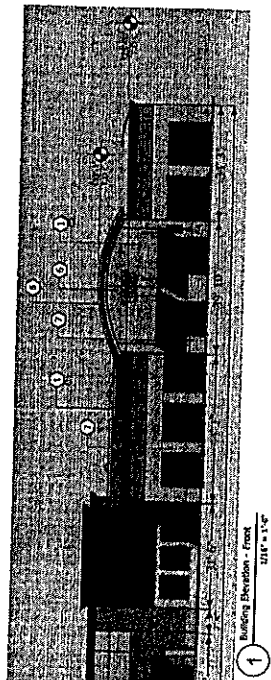
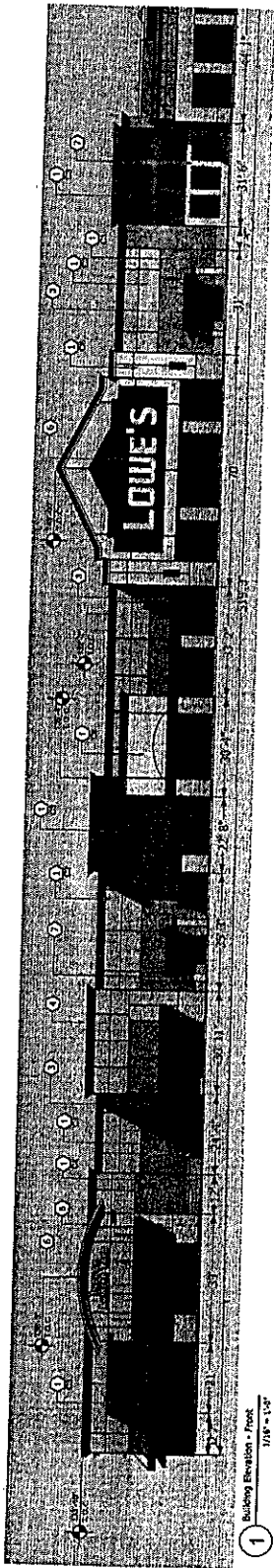
A-107E-2
02 OF 02

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Unser Crossing
Site Plan for Building Permit
Central Avenue and Unser Boulevard
Albuquerque, New Mexico 87121



B | R | R



STUCCO COLORS

- ALL COLORS ARE AS MANUFACTURED BY ELIAT AERIAL
- C1 - 1945 RIVER ROCK (LIGHT BROWN)
 - C2 - 487 OLA (LIGHT TAN)
 - C3 - CUSTOM COLOR TO MATCH SW 4277 PLUM BROWN
 - C4 - 814 CACTUS FLOWER (LIGHT TONKA LOTTI)
 - C5 - 104 MIST (OFF WHITE)
 - C6 - 413 ACORN (LIGHT RED)

ELEVATION NOTES

- (1) STUCCO FINISH
- (2) CLEAR ANODIZED ALUMINUM STICKER-UP, TYPICAL
- (3) METAL ARCHES - PAINT SW 7024 ESTATE GREY
- (4) METAL SIDING - PREPRESSED TO MATCH SW 7024 ALABASTER WHITE
- (5) METAL ROOF - SATIN ALUMINUM FINISH
- (6) SIDING FOR C2 ZONING GUIDELINES
- (7) STONE VENEER - COMMON ROCK MEDIUM LIDESTONE (TAN)
- (8) CRIMCE - 104 MIST (OFF WHITE)
- (9) STEEL TRILLS PAINTED SW 7077 ROYAL ROYAL BROWN
- (10) TUNE STEEL FENCE - POWDER COAT TO MATCH SW 4277 PLUM BROWN
- (11) PAINTED METAL DOOR FRAME SW 7024 ALABASTER GREY

A-108A

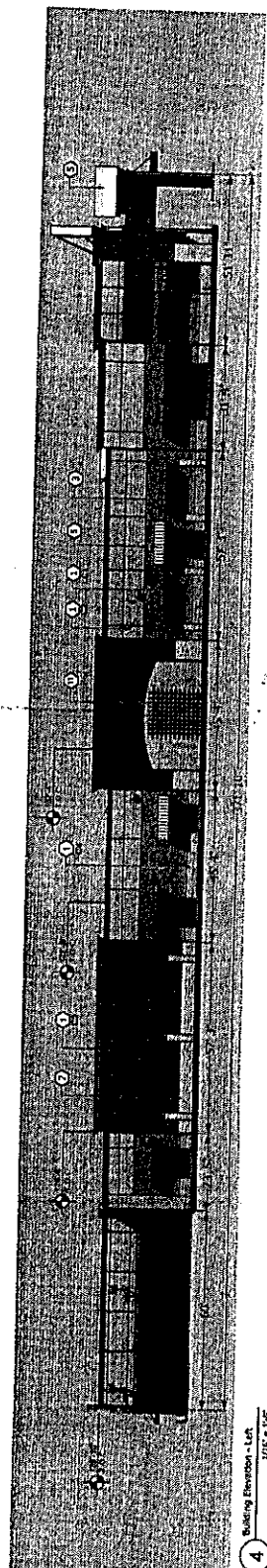
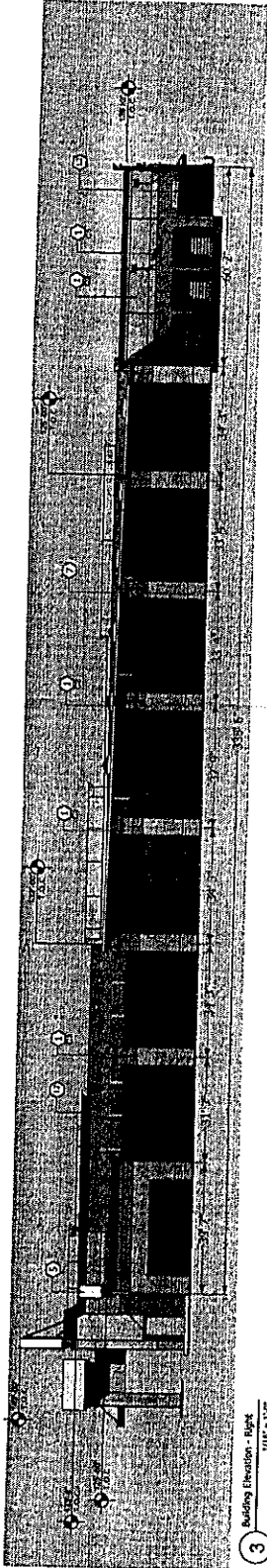
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ARMSTRONG
DEVELOPMENT
PHOENIX, AZ

Unser Crossing
Site Plan for Building Permit
Central Avenue and Unser Boulevard
Albuquerque, New Mexico 87121



B | R | R



STUCCO COLORS

- ALL COLORS ARE TO BE MANUFACTURED BY PLURY ARTVILLE
- CT-1005 EVER NOSE (LIGHT BROWN)
 - CT-1017 CASIA (LIGHT TAN)
 - CT-1020 CUSTOM COLOR TO MATCH SW 4271 PLUM BROWN
 - CT-1018 CASUAL FLOWER (LIGHT TERNAL COTTON)
 - CT-1019 MUSTY (OFF WHITE)
 - CT-1023 ADOBE (LIGHT BROWN)

ELEVATION NOTES

- 1 STUCCO FINISH
- 2 CLEAN ANODIZED ALUMINUM STONEPOINT - TYPICAL
- 3 METAL ANODIZED - PORT SW 7504 ESTATE BERRY
- 4 METAL COPING - METALWORKS TO MATCH SW 7508 ALABASTER (WHITE)
- 5 METAL ROOF - SATIN ALUMINUM FINISH
- 6 SPOUPE PER C2 ZONING REGULATIONS
- 7 STONE VENEER - CANYON ROCK PHENOMAL (ESTONESTONE 1419)
- 8 CORNER - 1014 MUSTY (OFF WHITE)
- 9 STEEL TRILLS PAINTED SW 7777 ROOST BERRY (LIGHT BROWN)
- 10 TUNE STEEL FINISH - POWDER COAT TO MATCH SW 4271 PLUM BROWN
- 11 PAINTED METAL DOOR - PLUM SW 7504 ESTATE BERRY

A-108B

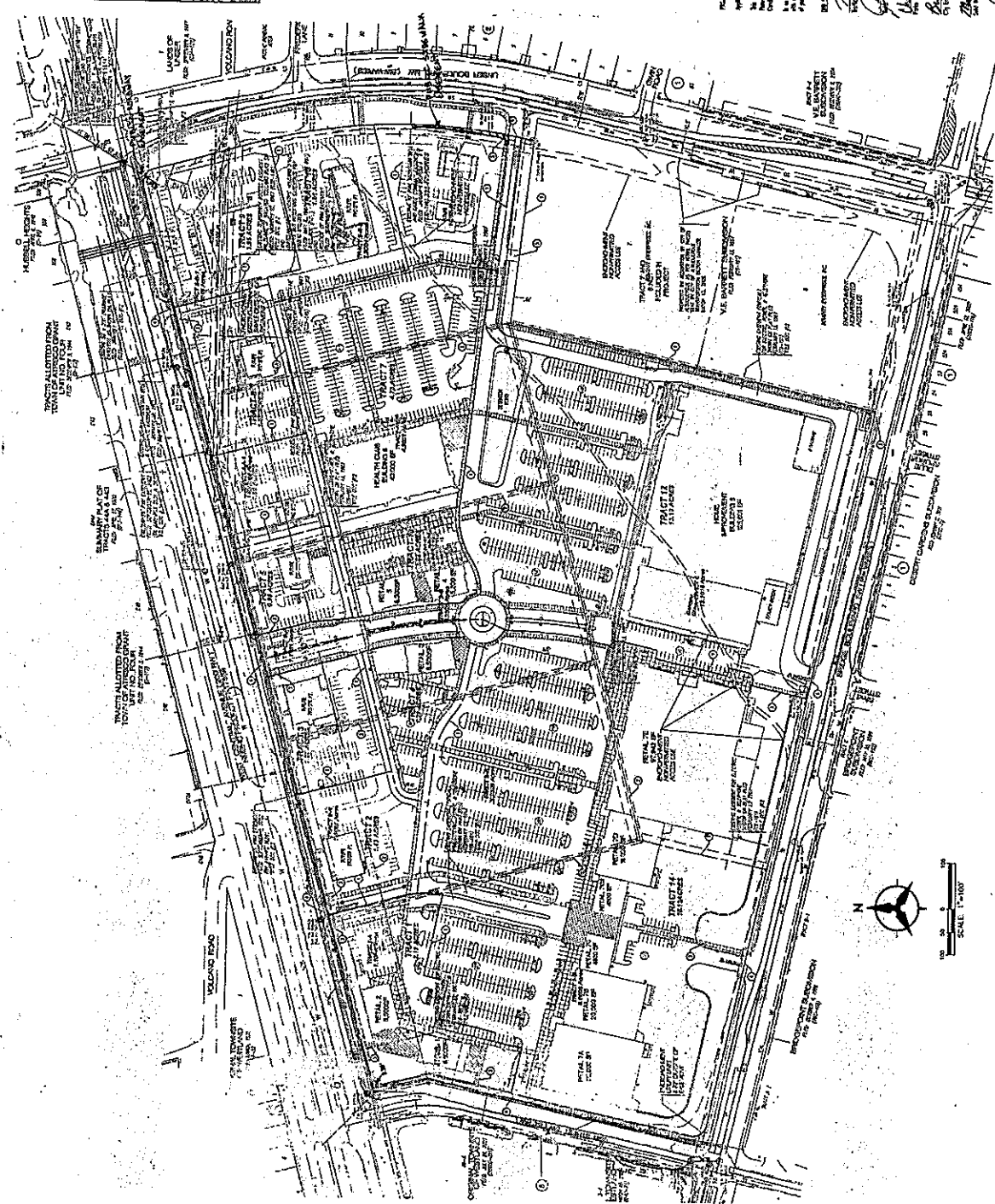
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Unser Crossing
 Site Plan for Building Permit
 Albuquerque, New Mexico 87121



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Unser Crossing
DRB Submittal

Site Plan for Building 1000
Central Avenue and Unser Boulevard
Albuquerque, New Mexico 87121

[illegible][illegible]

PROJECT NUMBER: 1007204
Application Number: 02819-70211

The plan is consistent with the specific Plan Development Plan approved by the Environmental Planning Commission (EPC), dated 11/11/2003, and the findings and conclusions of the EPC's staff report dated 11/11/2003.

It is recommended that the applicant be permitted to construct the proposed project as shown on the attached site plan and that the applicant be required to provide a minimum of 10% of the total area of the project for public improvements.

[illegible]

Q KEYED NOTES

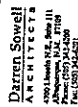
1. NOT PROPERTY LLC
2. EXISTING PROPERTY LIKE TO BE ELIMINATED BY PLACING ACTORS WITH THIS PROJECT
3. LOCATION OF PLANTATION PROJECT ON CANALS
4. LOCATION OF VICTIMARIO PROJECT ON CANALS
5. CROSS ACTORS SUCCINCT TO BE CREATED BY PLACING ACTORS

SHEET INDEX

C-102	SEE PLAN FOR INTERIOR
C-101	EXTERIOR STAIRWELL
C-100	EXTERIOR STAIRWELL
C-99	EXTERIOR STAIRWELL
C-98	EXTERIOR STAIRWELL

* SEE THE PLAN FOR BEARING POINT
* PROVIDE FOR UTILITY TUNNEL

SECURITY MAP
EONE AUG PAGE 1-05-1 B K-10-2



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Portland, ME 04101
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info@mittco.com

Unser Crossing
 Site Plan for Building Permit
 Central Avenue and Unser Boulevard
 Albuquerque, New Mexico 87121

Job Number _____
 Drawn By _____
 Checked _____
 Drawing Date **Aug. 3, 2008**

DESIGN STANDARDS

equipment shall be screened in accordance with §14-16-3-18 of the Comprehensive Zoning Code.

Facilities that contain a primary customer entrance and facilities adjacent to a public street or plaza or an internal driveway shall contain display windows, or a recessed patio at a minimum depth of 20 feet, or a combination of all three, along 50% of the length of the facade. Where patios are provided, at least one of these recessed walls shall contain a window for ease of surveillance and the patio shall contain shading and seating. Where Retail Suite Users are provided, they shall be accessible to the public from the outside.

G-102

Plan/Arrangement Opportunities

Open courtyard designs shall be employed in order to form transitions between parking areas and building facades. Building access and entries shall be visible from the street through open passages (such as garden courts).

J. LIGHTING

A consistent theme for the lighting features within the streetscape and common areas of Unser Crossing will contribute significantly to Unser Crossing's overall aesthetic character. Safety and security shall be the primary design consideration, as well as the daytime appearance of the light fixtures.

- Lighting shall be fully shielded horizontal lamps so that no fugitive light may escape beyond the property line and no light source shall be visible from the site perimeter.
- Height standards for light fixtures are as follows:
 - Small parking area light fixtures shall not exceed 20 feet
 - Main parking area light fixtures shall not exceed 20 feet unless the Zoning Hearing Examiner approves variance.
 - Lighting fixtures for walkways, entry plazas, and within 100 feet of a residential zone shall not exceed 18 feet.
- Controlled, directional lighting shall be used to highlight public spaces and walkways. The use of walkway level lighting, such as wall pockets or bollard lights, is encouraged to accent pedestrian areas.
- Fixture style and design shall be compatible and consistent with the lighting design of other projects within Unser Crossing.
- The pattern of light pooling from each fixture shall avoid glare or reflection on adjacent properties, buildings, or roadways.
- Exterior lighting fixtures shall relate stylistically to the architecture of the adjacent buildings.
- Up-lighting fixtures to highlight trees, walls and architectural features shall be limited to 100 maximum wattage per fixture, and shall be designed to comply with the New Mexico Night Sky Protection Act.
- The use of energy efficient lighting is required.

K. SCREENING/BUFFERING

Each development site design shall incorporate certain criteria in order to provide proper site screening from public roadways.

- Mechanical equipment whether on roof areas or at street level, shall be fully screened from pedestrians or motorists. Screening shall be compatible with materials and design of the building.
- Loading areas shall be screened from public view by walls, trailers, or landscaping. Passenger loading areas do not require screening.
- The use of barbed wire, wood fencing, or plastic vinyl fencing is not permitted.
- Refuse enclosures shall be adjacent to the building and screened with walls of the same material as the building itself.
- Walls or landscaped berms 2 1/2 to 3 feet in height shall be provided to screen parking areas adjacent to public streets. Walls, if used, shall be designed to integrate with building materials and colors.

L. SIGNAGE

Refer to the Sign Package on sheets S-101, S-102, and S103.

M. TRANSIT FACILITIES

Bus Route 66 Central currently serves the Unser Crossing site. Credit for the bus route will be used in parking calculations. Existing bus stops will be incorporated into the site design by providing seating, trash cans, and shade structures using the same materials and design as those provided in the Unser Crossing buildings. Future development (phase 2) shall meet the guidelines of the Comprehensive Plan for buildings adjacent to Enhanced Transit Corridors including siting buildings close to the street with parking on the side or rear providing entrances facing the street.

Currently, the following bus routes service this location as of March 15, 2008: Route 54, Route 152, Route 766, and Route 66.

N. DRIVE-UP SERVICE WINDOWS

Drive-up windows will be located on or adjacent to the side or rear walls of service or retail structures and the window shall not face a public right-of-way or pedestrian areas, residentially zoned areas, and public streets where possible. In cases where drive-up windows face these areas, screening shall be provided. Screening may be in the form of walls, earth berms, or evergreen landscaping, or a combination thereof and shall be a minimum of three feet in height.

Drive-up service windows shall be limited to 4, with the number of adjacent drive-up service window uses limited to two. Drive-up window uses may include bank, pharmacy, and a maximum of two "quick-service-retailers."

O. WIRELESS TELECOMMUNICATIONS FACILITIES

Any allowance for wireless telecommunications facilities shall require architectural integration.



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DEVELOPMENT

Unser Crossing
Site Plan for Building Permit
Central Avenue and Unser Boulevard
Albuquerque, New Mexico 87121

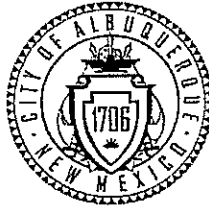
March 17, 2008

Job Number
Drawn By
Checked By
Date Issued
April 3, 2008

DESIGN STANDARDS

G-103

03 07 00



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 19, 2008

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1007320**
08EPC-40071 SITE DEVELOPMENT -
BUILDG PRMT

Lowe's Home Improvement
4607 Silverheel St.
Shawnee, KS 66226

LEGAL DESCRIPTION: for all or a portion of lot 2A-5A1-A1, Home Development Addition, zoned SU-1 for Planned Commercial Development with uses permissive and conditional in the C-2 zone, located on Hotel Circle NE between Lomas Blvd. and Eubank Blvd., containing approximately 9 acres. (K-21)
Catalina Lehner, Staff Planner

On September 18, 2008 the Environmental Planning Commission voted to approve Project 1007320/ 08EPC 40071, a Site Development Plan for Building Permit for Tract 2A-5A1-A1, Home Development Addition, zoned SU-1 for Planned Commercial Development with Uses Permissive and Conditional in the C-2 zone, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Tract 2A-5A1-A1, Home Development Addition, an approximately 9 acre site located south of Lomas Boulevard and approximately in the center of the area known as Hotel Circle.
2. The applicant proposes to develop an approximately 138,000 square foot home improvement center, which will replace approximately 100,000 square feet of existing retail space. The proposed building is not a re-use; it is a new structure since the existing buildings will be demolished and a new building will be constructed. A reconfigured parking lot area, landscaping and other site improvements are also proposed.
3. The subject site is zoned SU-1 for Planned Commercial Development with Uses Permissive and Conditional in the C-2 zone. The proposed retail use is allowed under the subject site's current zoning.

4. The subject site lies within the boundaries of the Established Urban Area of the Comprehensive Plan and is located in the Los Altos/Market Center Community activity center. No sector development plans apply.
5. The request is subject to the Large Retail Facilities (LRF) Ordinance, commonly referred to as the "Big Box" Ordinance (O-06-53). The proposed building is greater than the 75,000 square foot threshold for applicability of the Ordinance.
6. The request *further*s the following applicable Comprehensive Plan policies:
 - A. Policy II.B.5j-general location of commercial uses. The proposed development would be located in a larger area-wide shopping center that is commercially zoned.
 - B. Policy II.B.7f- Activity Centers/buffering. The more intense uses in this shopping center are separated from the single-family homes to the east by a buffer of other uses, including townhomes, a hotel and a school.
7. The request *partially further*s the following applicable Comprehensive Plan Goal and policies:
 - A. Activity Centers Goal- Locating another commercial use in a designated activity center generally supports the Activity Centers Goal; however, in this case the request will not reduce auto travel needs and will not enhance the identity of Albuquerque and the nearby community.
 - B. Policy II.B.5d-location and intensity/other resources: The location and intensity are appropriate for the proposed use, though many of the LRF Ordinance requirements that would increase its compatibility are not met.
 - C. Policy II.B.5l- design quality and innovation/plan area. The proposed new development is franchise architecture and does not demonstrate design innovation, though there is some other franchise architecture in the area.
8. The proposed site development plan for building permit mostly complies with O-06-53, the Large Retail Facilities (LRF) Ordinance. The needed improvements that remain, many of which are "clean up" items, can be achieved through the application of conditions of approval.
9. A Traffic Impact Study (TIS) was not required, though a Trip Generation Comparison (TGC) was. The TGC indicates that the proposed Large Retail Facility (LRF) will generate approximately 3,000 fewer two-way vehicle trips in a 24 hour period than the existing retail uses.
10. Because the subject site is greater than 5 acres, the archaeological ordinance (O-07-72) applies. The applicant has obtained a Certificate of No Effect.
11. The required pre-facilitated meeting was held. A few neighbors attended and expressed concern regarding property tax impact and crime at a nearby hotel. A follow-up facilitated meeting was not requested or held. There is no known neighborhood or other opposition as of this writing.

12. The subject site is located less than 700 feet from the intersection of two collector streets, Lomas Boulevard and Morris Road, and is adjacent to and has full access to these roadways and complies with Section 14.D.2.c.2 .

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final DRB sign off, the applicant shall meet with the Development Review Staff planner to ensure that the conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.
3. Maintenance Agreement:
The applicant shall sign a maintenance agreement with the City, prior to final DRB sign-off, so that the site will be maintained when vacant to the minimal standards, among others as deemed appropriate by the Planning Director, elaborated in the LRF Ordinance.
4. Walls/Fences:
 - A. The screen wall [and the retaining wall if over 4 ft. tall] shall have additional articulation, such as multiple finishes and vertical pilasters, as required pursuant to Zoning Code §14-16-3-19(B)(2) (a and b).
 - B. The retaining wall shall not exceed 3 ft. tall in the west-east segment south of the plaza area.
 - C. The retaining wall's range of height and finish shall be specified on the site development plan.
 - D. The finish for the retaining wall and the screen wall shall be specified as split-face CMU or light beige stucco.
5. Loading Dock/Screening:
 - A. The screen wall near the truckwell/loading dock area shall be 8 ft. tall above the finished floor level and extend horizontally 100 ft. from the face of the dock [(D)(5)(g)(1)].
 - B. The finish for both screen walls, for the truck area and the truckwell/loading dock area, shall be specified and blend with the architecture of the building [(D)(5)(g)(1)].
6. Pedestrian/Bicycle Connections:
 - A. An ADA accessible sidewalk ramp, that is not a loading zone, shall be provided to allow pedestrian access from the external sidewalk to the required 8 foot wide sidewalk along the primary (western) façade so that pedestrians do not have to walk in the loading area [(D)(5)(i)].

OFFICIAL NOTICE OF DECISION
SEPTEMBER 18, 2008
PROJECT #1007320
PAGE 4 OF 6

- B. The sidewalk entering the subject site from Hotel Circle, on the western side of the vehicular entrance, shall be shown on the site development plan and the landscaping plan.
7. Landscaping-Buffers:
- A. The landscape buffer along the subject site's southwestern side shall measure 20 ft. wide and the wider portions shall remain [(D)(6)(a)(1)].
- B. Additional shrubs shall be added to the eastern landscape buffer to provide the required 75% coverage with living, vegetative materials (Zoning Code §14-16-3-10).
8. Landscaping- Minor "clean up":
- A. The note regarding existing trees, and whether or not they will remain, shall be clarified.
- B. The landscaping calculations shall be revised to correct minor discrepancies, such as the size of the plaza area, size of total landscape bed and certain percentages.
9. Architecture:
- A. Every 30,000 gross square feet of structure shall be designed to appear as a minimum of one distinct building mass with distinct expressions [(D)(6)(b)(2)].
- B. The patio along the building's main (western) façade shall be recessed a minimum of 20 ft. [(D)(6)(b)(1)].
- C. The main (western) façade shall contain Retail Suite Liners, display windows, or a recessed patio at a minimum depth of 20 feet, or a combination of all three, along 50% of the length of the façade [(D)(6)(b)(1)].
10. Signage:
- A. There shall be one monument sign, either near the northwest corner or the southern corner of the subject site, along Hotel Circle.
- B. Sign area, for building-mounted signs with borders, shall be measured as the area within the border pursuant to Zoning Code §14-16-1-5 (Definitions), and the signage table on Sheet A-101 shall be corrected.
11. Plaza/Outdoor Space:
- The tables in the plaza area shall have umbrellas or other comparable shading structure.
12. The parking lot tree wells shall have curb breaks or another design feature to allow for supplemental water harvesting.
13. CONDITIONS FROM THE CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

OFFICIAL NOTICE OF DECISION
SEPTEMBER 18, 2008
PROJECT #1007320
PAGE 5 OF 6

- A. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - B. Where drives are to be constructed on opposite sides of the street, unless they are offset 50' or more, the centerlines need to be within 15' of each other. The only exceptions considered, will be the loading areas at the rear of the store or as approved by the Traffic Engineer.
 - C. Provide truck turning template information on site plan.
 - D. Site plan shall comply and be designed per DPM Standards.
14. The center parking lot sidewalk shall be moved north by one row, and a walkway of textured patterned concrete shall lead to the retail facility to the west. Moving up the southern parking lot sidewalk by one row is optional.
15. The Applicant shall investigate whether it is possible to relocate the plaza area adjoining the sidewalk. If this is not possible, the applicant shall demonstrate why.

PROTEST: IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION, WHICH IS BY **OCTOBER 3, 2008**.

APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY **OCTOBER 3, 2008** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

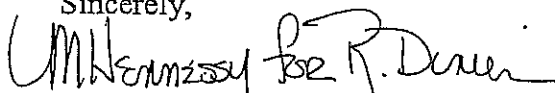
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
SEPTEMBER 18, 2008
PROJECT #1007320
PAGE 6 OF 6

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

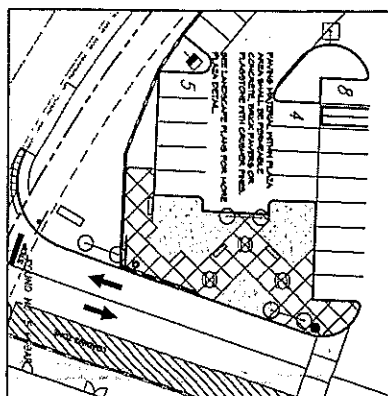
Sincerely,

A handwritten signature in black ink, appearing to read "Richard Dineen", written over a printed name.

Richard Dineen
Planning Director

RD/CL/ac

cc: Lawrence Kline, Denish + Kline Associates, 500 Marquette NW, Ste 350, Albuquerque, NM 87102







1 PLAZA DETAIL
SCALE 1"=2'

FILED 3-5-2000 - 2:23 pm. Printed by EMMETT

PLAZA LEGEND

LEGEND

 2 WORKBOOK RESOURCES FOR
 5 CORE TALK-BLUE
 27 P4L, TRACON MATH/SCIENCE
 TOPIC MATRICES-RED

 6" CONCRETE CURB
 104 \$10 CURB & GUT
 SLOPED WALK
 SIDEWALK
 WALL WALKER LANE &

ESTIMATED COSTS & BENEFITS

[illegible][illegible]

C-001

SITE PLAN FOR BUILDING PERMIT

LOWE'S OF:
Market Center East
Albuquerque, NM

PRODUCTION # 438	GRAPH BY 180	CHECKED BY 180
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LOWE'S

Bohannon & Huston.

Courtesy of 7300 Jefferson St. NE Albuquerque, NM 87106-6336
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

PROJECT TEAM	DRAWING DATE
--------------	--------------

Gary Wyatt JUNE 8, 2008

Sr. VP Real Estate, Eng & Const.
Don Menden

Den Moyle
Real Estate Manager

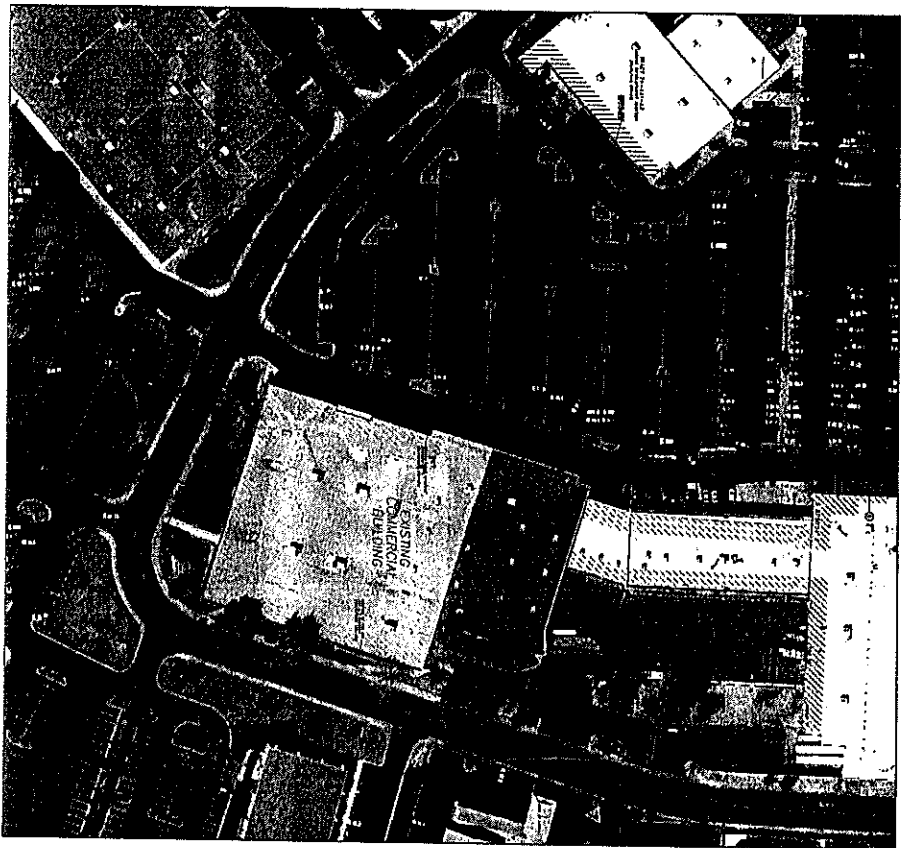
Matthew Smiley
Site Development Manager

She Development Manager
From Mail

Dean Hall
Real Estate Director

FOR INFORMATION ONLY

THIS NEW SHOWS AN IDEAL METHOD AND THE SIMPLEST LITERATURE, THIS PLAN IS AN EXCELLENT CHOICE TO BE USED FOR INFORMATION ONLY.



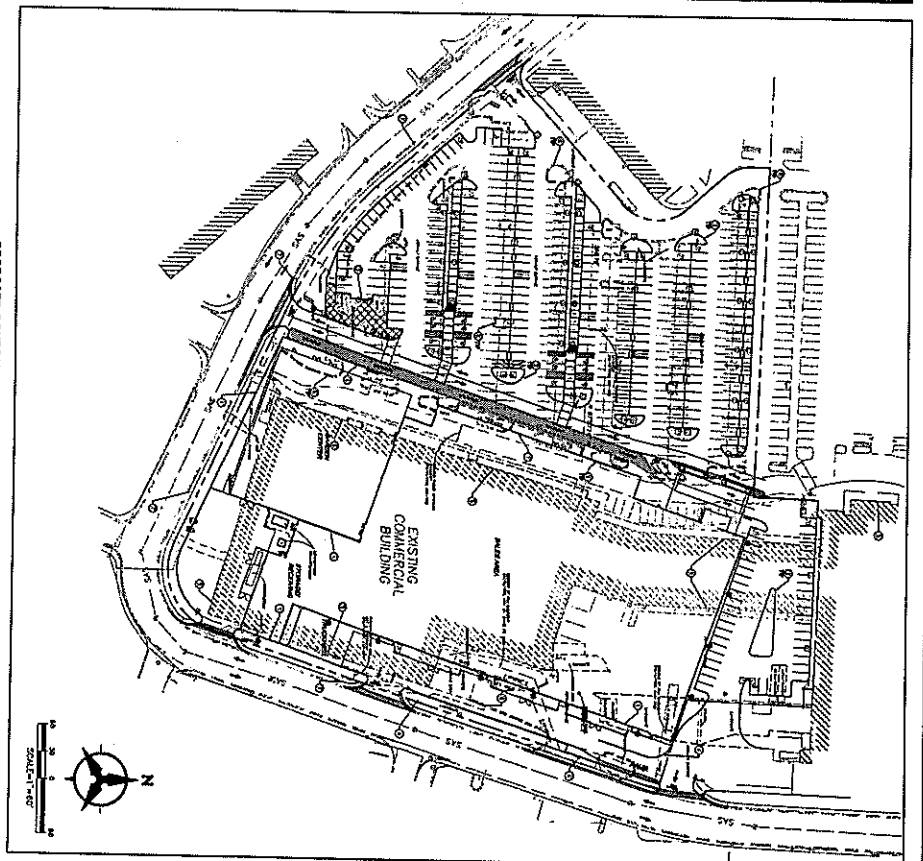
BUT WEB SITES BEING SHIPPED AND BE PROVIDED BY PLAN. THIS IS TO BE USED AS AN
EFFECT TO COMPARING EDITING AND PROVIDING CONDITIONS AND IS FOR INFORMATION ONLY.

1. PROVIDED BUILDING
2. PROVIDED PARKING LOT/ADJ
3. PROVIDED PULP
4. PROVIDED RETAINING WALL
5. EXISTING BUILDING
6. EXISTING PARKING LOT/ADJ
7. DITCHING PAVING SURFACE TO REMAIN
8. EXISTING RETAINING WALL

PROPERTY USE
BY CHURCH CLERGY
FOR THE CHURCH & CLERGY
SACRED WALL
SACRED

WALL MARKED FOR (MAY)
PEACE OF GOD WALL MARKED (MAY)
FOR (MAY)
PEACE OF GOD WALL MARKED (MAY)
FOR (MAY)

PEACE OF GOD & CLERGY



C-002

EXISTING & PROPOSED
CONDITIONS EXHIBIT

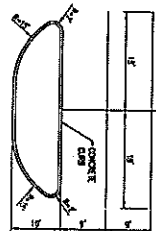
LOWE'S OF:
Market Center East
Albuquerque, NM



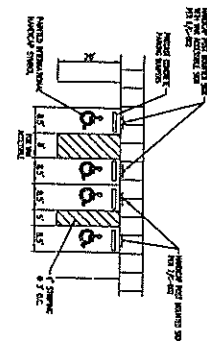
Bohannon & Huston,

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

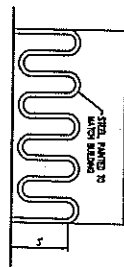
PROJECT TEAM	DRAWING DATE
Gary Wyatt Sr. VP Real Estate, Eng & Const.	JUNE 5, 2006
Don Moylan Real Estate Manager	REVISED SEPTEMBER 2, 2006
Matthew Smiley Site Development Manager	
Bram Hall Real Estate Director	



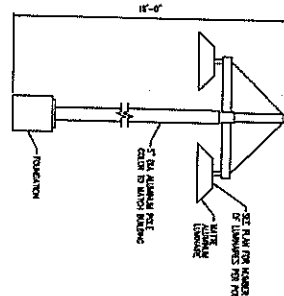
1 TYPICAL PLANTER BED AND ACCESS DETAIL
NIB



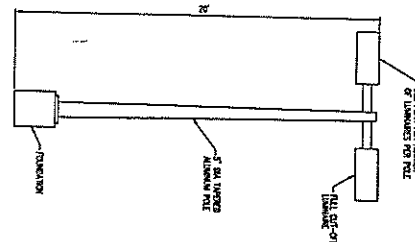
2 TYPICAL HANDICAP PARKING DETAIL
NIB



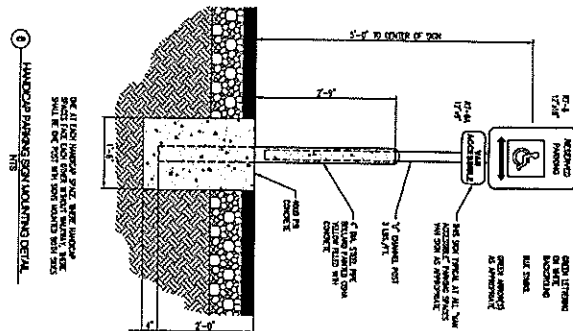
3 BIKE RACK
NIB



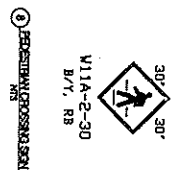
4 DECORATIVE POLE MOUNTED LIGHT
NIB



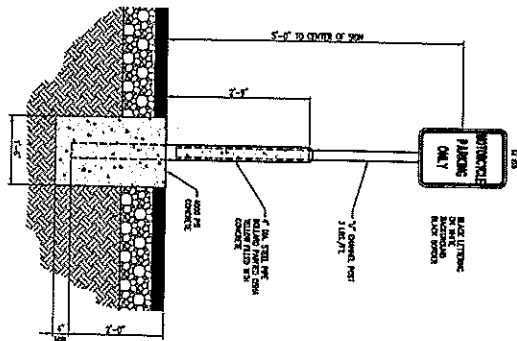
5 TYPICAL POLE MOUNTED LIGHT
NIB



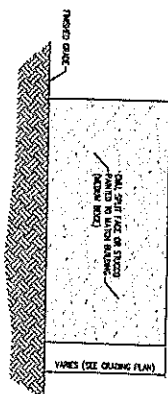
6 HANDICAP PARKING SIGNALING DETAIL
NIB



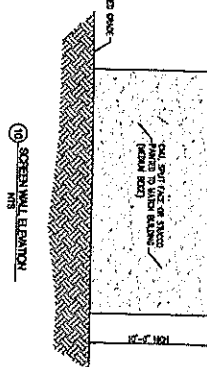
7 RECESSED CROSSING SIGN
NIB



8 MOTORCYCLE PARKING SIGN
NIB



9 RETAINING WALL ELEVATION
NIB



10 SCREEN WALL ELEVATION
NIB

2/10/2007 10:45 AM (10/20/2007) 10:45 AM
10/20/2007 10:45 AM - 10/20/2007 10:45 AM

C-003

SITE PLAN DETAILS

LOWE'S OF:
Market Center East
Albuquerque, NM

PROJECT NO. 003

DRAWN BY: M. J. JONES

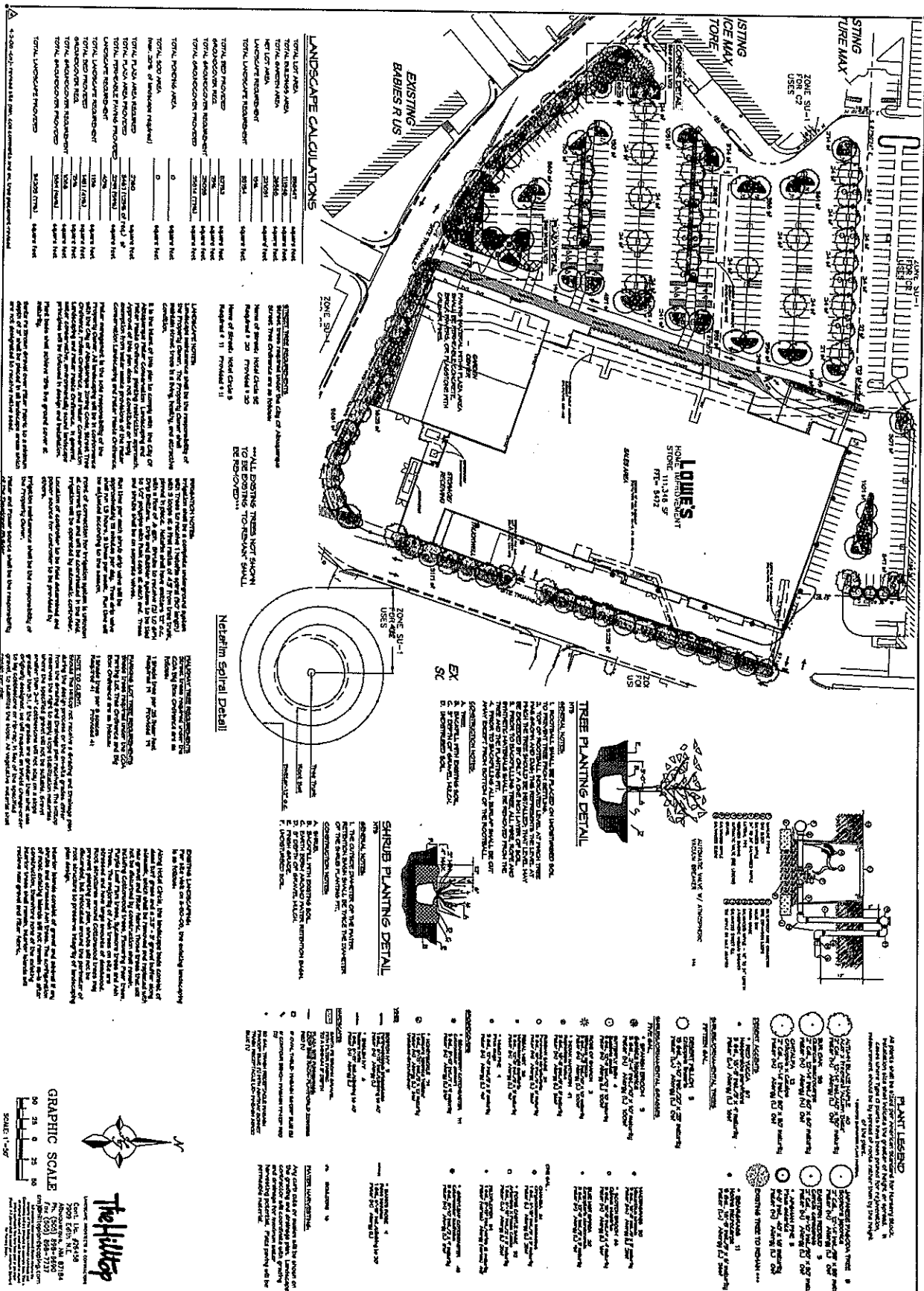


LOWE'S HOME CENTER, INC.
1000 JOHNSON BLVD. NE
ALBUQUERQUE, NM 87108-0308
TEL: 505/261-1000
WWW.LOWES.COM

Bohannon & Huston

Consulting | 7800 Johnson Blvd. NE | Albuquerque, NM 87108-0308
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

PROJECT TEAM		DRAWING DATE
Gay Wynn	3d VP Real Estate, Eng & Const.	JUNE 5, 2008
Don Moylan	Real Estate Manager	REVISOR
Matthew Smiley	SQA Development Manager	SEPTEMBER 2, 2008
Bram Hall	Real Estate Director	



LANDSCAPING PLAN

LOWE'S OF:
Market Center East
Albuquerque, NM

PROJECT NO. 1101

PROJECT TEAM

Don Moylan
Project Manager

Matthew Grady
Site Development Manager

Brian Hall
Real Estate Director

GRAPHIC SCALE

0 10 20 30

FOOT

THE HILLTOP

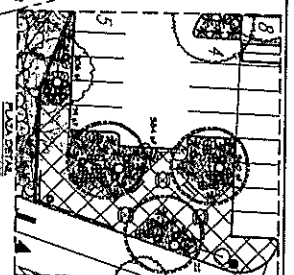
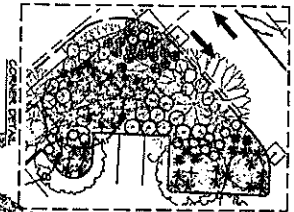
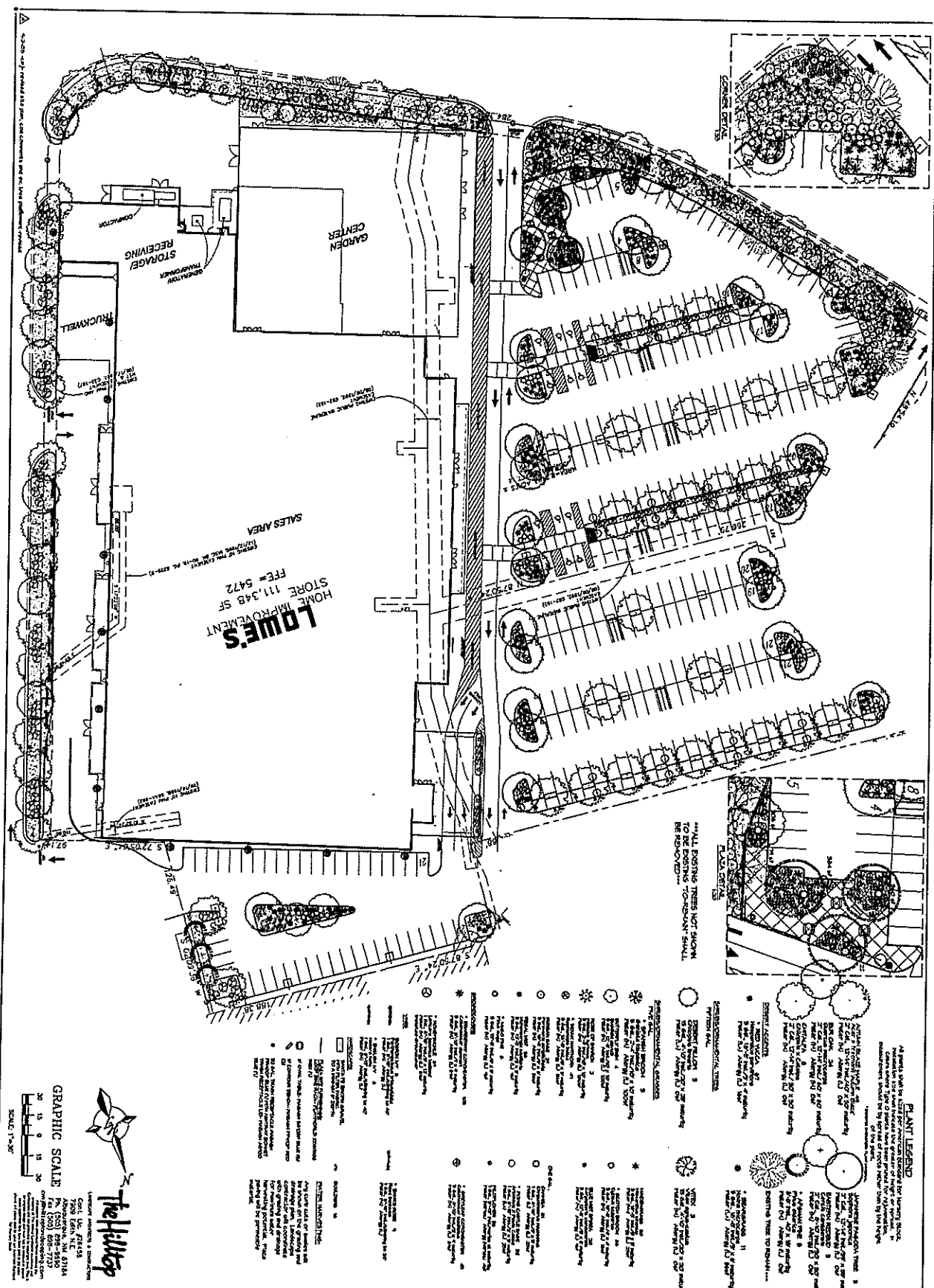
LANDSCAPE ARCHITECTS

10000 1st Ave. NE
Albuquerque, NM 87113
Tel: (505) 884-1170
Fax: (505) 884-1171
www.hilltoplandscape.com

BOHRMAN & HUSON

ENGINEERING & SURVEYING

2200 1st Ave. NE
Albuquerque, NM 87113
Tel: (505) 884-1170
Fax: (505) 884-1171
www.bohrmanhuson.com



PLANT LEGEND

At present, plants are listed per American Standard for Horticulture. Plants listed in the legend are those that are recommended for the project. Plants listed in the legend are those that are recommended for the project. Plants listed in the legend are those that are recommended for the project.

- EXISTING TREES**
 - 1. 12" DBH, 20' H, 10" CAL
 - 2. 12" DBH, 20' H, 10" CAL
 - 3. 12" DBH, 20' H, 10" CAL
 - 4. 12" DBH, 20' H, 10" CAL
 - 5. 12" DBH, 20' H, 10" CAL
 - 6. 12" DBH, 20' H, 10" CAL
 - 7. 12" DBH, 20' H, 10" CAL
 - 8. 12" DBH, 20' H, 10" CAL
 - 9. 12" DBH, 20' H, 10" CAL
 - 10. 12" DBH, 20' H, 10" CAL
 - 11. 12" DBH, 20' H, 10" CAL
 - 12. 12" DBH, 20' H, 10" CAL
 - 13. 12" DBH, 20' H, 10" CAL
 - 14. 12" DBH, 20' H, 10" CAL
 - 15. 12" DBH, 20' H, 10" CAL
 - 16. 12" DBH, 20' H, 10" CAL
 - 17. 12" DBH, 20' H, 10" CAL
 - 18. 12" DBH, 20' H, 10" CAL
 - 19. 12" DBH, 20' H, 10" CAL
 - 20. 12" DBH, 20' H, 10" CAL
- NEW TREES**
 - 1. 12" DBH, 20' H, 10" CAL
 - 2. 12" DBH, 20' H, 10" CAL
 - 3. 12" DBH, 20' H, 10" CAL
 - 4. 12" DBH, 20' H, 10" CAL
 - 5. 12" DBH, 20' H, 10" CAL
 - 6. 12" DBH, 20' H, 10" CAL
 - 7. 12" DBH, 20' H, 10" CAL
 - 8. 12" DBH, 20' H, 10" CAL
 - 9. 12" DBH, 20' H, 10" CAL
 - 10. 12" DBH, 20' H, 10" CAL
 - 11. 12" DBH, 20' H, 10" CAL
 - 12. 12" DBH, 20' H, 10" CAL
 - 13. 12" DBH, 20' H, 10" CAL
 - 14. 12" DBH, 20' H, 10" CAL
 - 15. 12" DBH, 20' H, 10" CAL
 - 16. 12" DBH, 20' H, 10" CAL
 - 17. 12" DBH, 20' H, 10" CAL
 - 18. 12" DBH, 20' H, 10" CAL
 - 19. 12" DBH, 20' H, 10" CAL
 - 20. 12" DBH, 20' H, 10" CAL
- NEW PLANTS**
 - 1. 12" DBH, 20' H, 10" CAL
 - 2. 12" DBH, 20' H, 10" CAL
 - 3. 12" DBH, 20' H, 10" CAL
 - 4. 12" DBH, 20' H, 10" CAL
 - 5. 12" DBH, 20' H, 10" CAL
 - 6. 12" DBH, 20' H, 10" CAL
 - 7. 12" DBH, 20' H, 10" CAL
 - 8. 12" DBH, 20' H, 10" CAL
 - 9. 12" DBH, 20' H, 10" CAL
 - 10. 12" DBH, 20' H, 10" CAL
 - 11. 12" DBH, 20' H, 10" CAL
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 - 14. 12" DBH, 20' H, 10" CAL
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 - 19. 12" DBH, 20' H, 10" CAL
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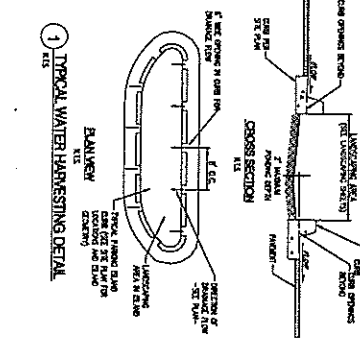
GRAPHIC SCALE

0 10 20 30

SCALE: 1"=30'

The Hillyard Group

10000 N. 10th Ave., Suite 100
Albuquerque, NM 87113
Tel: (505) 266-5550
Fax: (505) 266-5551
www.hillyardgroup.com

[illegible][illegible][illegible]

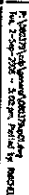
CONCEPTUAL GRADING & DRAINAGE PLAN

LOWE'S OF:
Market Center East
Albuquerque, NM

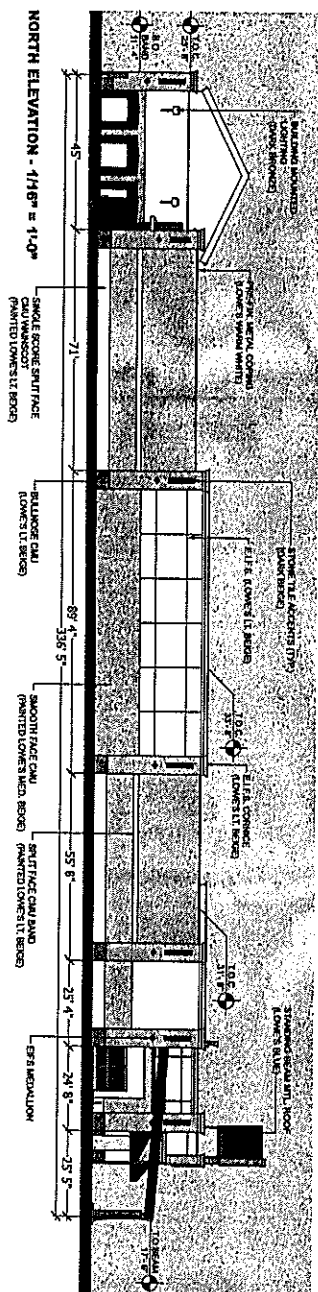
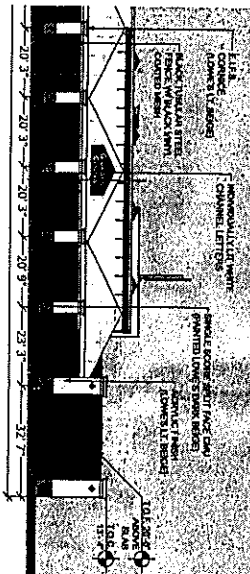
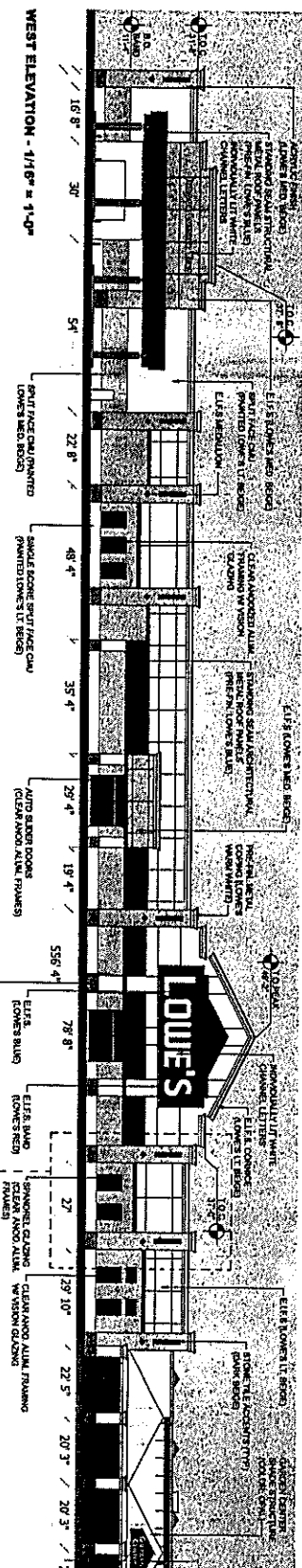


Courtesy: 7800 Jefferson St. NE Albuquerque, NM 87109-4305

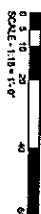
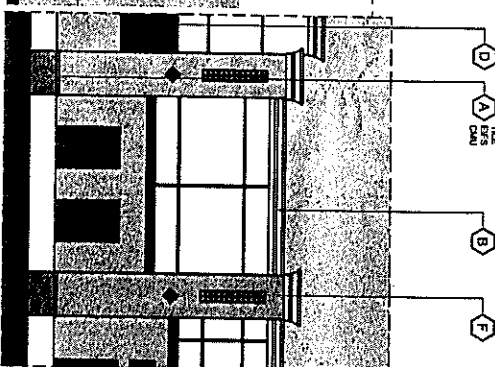
PROJECT TEAM	DRAWING DATE
Dary Wyatt Sr. VP Real Estate, Eng. & Const.	JUNE 3, 2008
Don Moylean Real Estate Manager	REVISED SEPTEMBER 2, 2008
Matthew Smiley Site Development Manager	
Brian Hall Real Estate Director	



C-201



SPRINKLE SCHEDULE		
BRAND	HEIGHT	AREA
1. TOWERS	5'-4" / 5'-5"	348.44 S.F.
2. GARAGE CENTER		81.99 S.F.
3. "WOODEN LINER YARD"	7'-2" / 5'-8"	62.92 S.F.
TOTAL SPRINKLE:		493.35 S.F.



**REPRESENTATION ONLY
NOT FOR CONSTRUCTION**

$$\frac{B}{R} \bigg| \frac{R}{R}$$

A-10:

LOWE'S OF:
Market Center East
Albuquerque, NM



Bohannon ▲ Huston

Copyright 1992 Jefferson BL NE Albuquerque, NM 87108-4308
ENGINEERING & SPATIAL DATA • ADVANCED TECHNOLOGIES

PROJECT TEAM	DRAWING DATE
Gary Wyatt Sr. VP Real Estate, Eng & Const.	JUNE 4, 2008
Can Moyleen Real Estate Manager	
Matthew Smiley SSE Development Manager	
Bram Nell Real Estate Director	

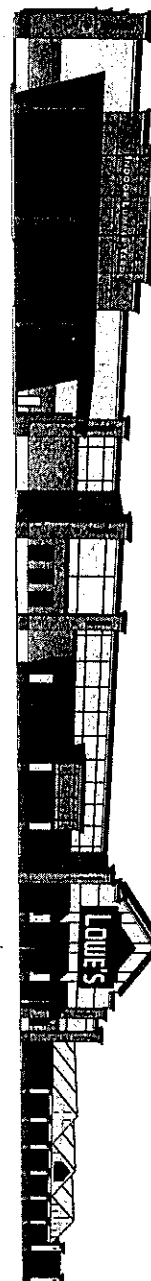
Gary Wyatt
Sr. VP Real Estate, Eng & Const
Can Moylen
Real Estate Manager

Matthew Smiley
Site Development Manager

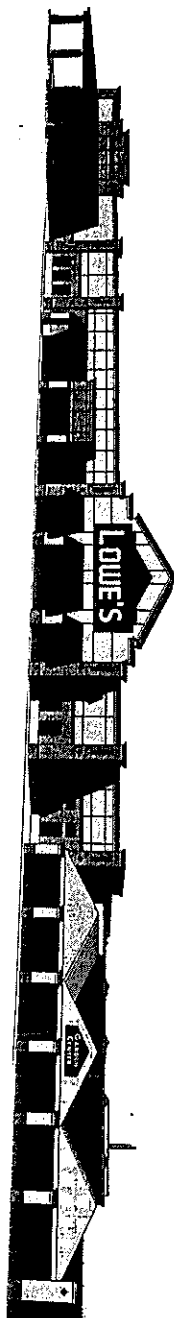
Bram Nell
Real Estate Director

**REPRESENTATION ONLY
NOT FOR CONSTRUCTION**

LEFT PERSPECTIVE VIEW



RIGHT PERSPECTIVE VIEW



**REPRESENTATION ONLY
NOT FOR CONSTRUCTION**

A-103

LOWE'S OF:
Market Center East
Albuquerque, NM

Approved For Release 2001/07/26 : CIA-RDP80-01070A000100010001-6



LOWERY HOME CDV ETC, INC
1805 CLAYTON BRIDGE ROAD
MUSKOGEE, NC 28657

Bohannon ▲ Huston

Courtyard 1 7200 Jefferson St. NE Albuquerque, NM 87105-4328
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

PROJECT TEAM	DRAWING DATE
--------------	--------------

Gary Wyatt
Sr. VP Real Estate, Eng & Const.

JUNE 5, 2008

Dan Morley
East Essex Harrier

Real Estate Manager
Matthew Smiley
215-344-4444

Site Development M
Bram Neil

Rand Estate Director

History of the Southeast Corner of Coors and Montano

- 1984- The Coors Corridor Plan was significant for four reasons:
1. Policy 5 indicated appropriate intersection spacing, and designated Dellyne Ave/Coors as the appropriate location for a signalized intersection south of Coors/Montano (Fig. 14).
 2. Policy 5 also indicated that the Dellyne Ave/Coors intersection should function as a "loop" or bypass road around the Coors/ Montano intersection (Fig 14).
 3. Policy 8 indicates that a 100' buffer strip should be established on the west of the Lower Corrales drain in order to protect and preserve the Bosque and its wildlife from encroachment from development.
 4. Fig. 32 shows that the Coors/Montano area was intended to be master planned under a sector plan.
- 1985- The Northwest Mesa Annexation was approved by the Municipal Boundary Commission in October 1985. Annexed properties included Parcel 4-D (southeast corner of Coors/Montano). Zoning for Parcel 4-D was approved as: commercial and office uses at the southeast corner of Coors/Montano, residential (up to 20 DU), and open space between the Lower Corrales drain and the Rio Grande. The annexation records are significant because they show a comprehensive intent to locate commercial uses east of Coors per the Northwest Mesa Area Plan. In fact, the Planning Division opposed allowing commercial uses on Parcel 4-A, west of Coors, precisely because commercial uses were planned (and approved) east of Coors at Parcel 4-D in conformance with the Northwest Mesa Area Plan. Parcel 4-D—as well as other lands annexed and not annexed—were owned by Ray A. Graham, III.
- 1992- The City granted easements to Ray A. Graham, III allowing him vehicular, pedestrian and livestock access to his property from the Montano Road and Montano Bridge (not yet built) Right-of-Way. The importance of this document is that it reiterates the Coors Corridor Plan's intent for a road intersecting with Winterhaven to be built on Mr. Graham's property.
- 1998- Mr. Graham continued annexing and zoning his property holdings. In 1998, Tracts 1, 2, 3, and 4 (later sold to Bosque School) were the subject of a Road Agreement between Mr. Graham and the City. This Agreement involves access into Mr. Graham's property from Coors—a road now known as Learning Road—aligned in accordance with the Coors Corridor Plan. This Agreement is clear: the intent of Mr. Graham in reserving a "Private Road Parcel" was that it could later be dedicated to the City in connection with the subdivision plat process.
- 1999- In 1999, Tracts 1, 2, 3, and 4 were deeded to Bosque Preparatory School, who replatted the Tracts into Lot 4A. The Plat references a Private Road Easement at note 8. This Private Road Easement allowed the School to use the private portion of Learning Road. The Easement is important because it reaffirms the intent that the private portion of Learning Road is supposed to be dedicated to the City. Also, in Paragraph 5, the School acknowledges that its property "is part of a master planned community."
- 2002- Mr. Graham's master planned community became closer to reality when he platted 230.8 acres in January 2002. This plat states at Sheet 2, in conformance with the Coors Corridor Plan, that

"Learning Road shall be extended in the future to provide a connection to Montano Road at existing Winterhaven Road."

- 2003- Similarly, the 2003 Site Plan for Subdivision shows Learning Road connecting to Winterhaven, looping around Tract 6B which is 68 acres zoned for commercial, office, and higher density residential (PRD) uses. The "Vehicular Access" note at Sheet 1 indicates that "Learning Road is a signalized intersection and the main entry road off Coors Boulevard to the [228 acre] project." Also important in this site plan—and reflected in subsequent proposed site plans—is the 100' buffer strip established on the west of the Lower Corrales drain in accordance with the Coors Corridor Plan. This buffer strip is required to protect and preserve the Bosque and its wildlife from encroachment from development.
- 2004- By 2004, Silver Leaf Ventures, LLC had acquired an interest in the Ray Graham properties. They proposed commercial and office uses in the northerly portion of Tract 6B totaling 256,405 sq ft. A Traffic Impact Study was prepared for this proposal. The proposal was later scaled back, approved at EPC (in the scaled-back form), but never advanced.
- 2005- In 2005, Silver Leaf replatted the property to include: the roads that are now paved on the property (Antequera, which runs parallel to Learning Road, and Mirandela), a new buffer lot west of the School property (Tract 7), and a separately platted lot equal to the private portion of Learning Road (Tract 8). Bosque School then acquired Tracts 7 and 8, as well as Tract 9 north of the School. (It subsequently subdivided Tract 9 and sold a portion of it to the ABCWUA.)
- 2006- An Agreement between the Daskalos family (Silver Leaf Ventures) and Bosque School relates to easements and other arrangements between the parties relating to Silver Leaf's desire to develop its real estate located at Coors and Montano. Included in this Agreement is a \$25,000 payment to Bosque School to plant landscaping to "shield Bosque School from the commercial development planned by Silver Leaf." This provision is an important indication that the School prefers to be shielded from the commercial project, not incorporated into it.

January 9, 2012

Carmen Marrone, Current Planning Manager
Catalina Lehner, Senior Planner
Planning Department
600 2nd St. NW
Albuquerque, NM 87102

Re: North Andalusia at La Luz, Project #1003859 (Amendment to the North Andalusia at La Luz Site Development Plan for Subdivision and Site Development Plan for Building Permit- Large Retail Facility)

Dear Ms. Marrone and Ms. Lehner:

For the Record in the above-referenced matter, would you please include either (a) this letter or (b) the text of Zone Code's provisions relating to permissive uses allowed in property zoned for O-1 uses (§ 14-16-2-15, Office and Institution Zone)? The relevant portions of Section 14-16-2-15 read as follows:

“(A) Permissive Uses...

(12) Parking lot, providing it complies with the following:

(a) Paving, all of which shall be maintained level and serviceable.

1. The lot must be graded and surfaced with one of the following:

a. Blacktop or equal: Two inches of asphalt concrete on a prime coat over a four inch compacted subgrade, or a surface of equal or superior performance characteristics.

b. For parking lots of 20 or fewer spaces, Gravel: A layer at least two inches thick of gravel sized from 3/8 minimum to one inch maximum diameter, at least ½ inch of which shall be maintained on the surface; gravel shall be kept off the right-of-way.

2. If street curbs and gutters exist adjacent to the parking lot property on a side where lot egress is allowed, the surfacing shall be blacktop for the width of the egress drive(s) and shall extend inward from the property line a minimum of 25 feet along all normal lines of egress traffic flow from the lot.

(b) The lot shall have barriers which prevent vehicles from extending over the sidewalk or abutting lots, or beyond the sides of a parking structure.

(c) A solid wall or fence at least six feet high shall be erected on sides which abut land, other than public right-of-way land, in a residential zone. (See also § 14-16-3-10 of this Zoning Code.) However:

1. Such wall or fence shall be three feet high in the area within 11 feet of a public sidewalk or planned public sidewalk location.

2. If the wall or fence plus retaining wall would have an effective height of over eight feet on the residential side, the Zoning Hearing Examiner shall decide the required height; such decision shall be made by the same process and criteria required for a conditional use.

(d) In a parking structure there shall be a six-foot solid wall on every parking level where the structure is within 19 feet of privately owned land in a residential zone.

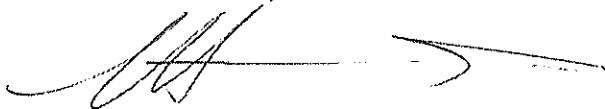
(e) Ingress or egress shall be designed to discourage parking lot traffic from using local residential streets for more than 150 feet, unless no reasonable alternative is available.

(f) A parking lot hereafter developed shall include landscaping planted and maintained according to a Landscaping Plan approved by the Planning Director; however, the Planning Commission may waive this requirement where it is found not useful to achieving the intent of this Zoning Code."

The other relevant provision is the definition of "parking lot" contained at Section 14-16-1-5, which reads: "An area or structure used for temporary parking of automobiles and pickup-size trucks, providing four or more parking spaces, not within the public right-of-way, none of which are required off-street parking."

Yours sincerely,

MICHELLE HENRIE, LLC



Michelle Henrie, Attorney

cc. Ron Bohannon, Tierra West, LLC, Applicant's agent



MHenrie | Land • Water • Law

January 9, 2012

Carmen Marrone, Current Planning Manager
Catalina Lehner, Senior Planner
Planning Department
600 2nd St. NW
Albuquerque, NM 87102

Re: North Andalusia at La Luz, Project #1003859 (Amendment to the North Andalusia at La Luz Site Development Plan for Subdivision and Site Development Plan for Building Permit- Large Retail Facility)

Dear Ms. Marrone and Ms. Lehner:

For the Record in the above-referenced matter, would you please include the text of Zone Code's Large Retail Facility Regulations, (§ 14-16-3-2), including the pre-application requirements contained at Section 14-8-2-7? A copy of these provisions as of September 13, 2001 is attached to this letter (I do not believe there have been any amendments since that date).

Yours sincerely,

MICHELLE HENRIE, LLC

A handwritten signature in dark ink, appearing to be 'MH', is written over a horizontal line.

Michelle Henrie, Attorney

enclosure

cc. Ron Bohannon, Tierra West, LLC, Applicant's agent

November 30, 2011

Deborah L. Stover, Planning Director
City of Albuquerque
Planning Department
600 2nd St. NW
Albuquerque, NM 87102

Re: Extension Request for North Andalucia at La Luz Site Development Plan for Subdivision

In Connection with Project #1003859 (Amendment to the North Andalucia at La Luz Site Development Plan for Subdivision and Site Development Plan for Building Permit- Large Retail Facility)

Dear Ms. Stover:

This firm represents the applicant for Project #1003859.

The Albuquerque Zone Code allows for extensions of Site Plans for Subdivision at §14-16-3-11(C). The relevant text reads as follows:

(1) If less than one-half of the approved square footage of a Site Development Plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically when specified below unless extended as provided below:

(a) Seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the owners of the property shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. At an advertised public hearing the Planning Commission shall grant approval if it deems that the Site Development Plan remains appropriate and the owner intends to fully develop the site according to the plan concept. The Planning Commission shall be less likely to terminate a site plan if there is little flexibility in how the site can be developed or if there is a strong architectural or landscaping character on the site which should be preserved.

Project #1003859, now pending before the EPC, involves an amendment to the North Andalucia at La Luz Site Development Plan for Subdivision. The Environmental Planning Commission (EPC) approved the North Andalucia at La Luz Site Development Plan for Subdivision on May 19, 2005.

We acknowledge that as of the date of this letter, less than less than one-half of the North Andalusia at La Luz site has been developed.

We do not know whether a Court would consider the date of "adoption" for the North Andalusia at La Luz Site Development Plan for Subdivision to be the date of the EPC's approval (May 19, 2005) or the subsequent sign-off by the Development Review Board. Thus, out of an abundance of caution, we are submitting this letter and this extension request within six months prior to the seven-year deadline of the EPC's approval of the North Andalusia at La Luz Site Development Plan for Subdivision, which would be May 19, 2012.

Thus, the applicant for Project #1003859 respectfully requests that the EPC extend the life of the North Andalusia at La Luz Site Development Plan for Subdivision an additional five years, i.e., until May 19, 2017.

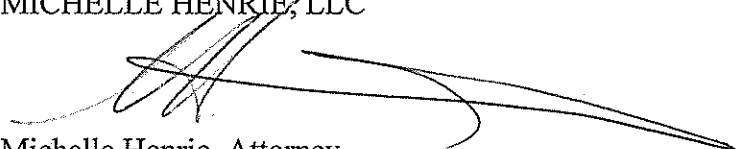
The applicant further requests that this extension be advertised for and considered at the EPC's public hearing for Project #1003859, which is scheduled for January 5, 2012.

This extension request should be granted for the following reasons.

- First, as shown by the proposed Amendment to the North Andalusia at La Luz Site Development Plan for Subdivision, as well as the proposed Site Development Plan for Building Permit, the original North Andalusia at La Luz Site Development Plan for Subdivision remains appropriate and the owner intends to fully develop the site according to the original plan concept.
- Second, a Traffic Impact Study (TIS) for North Andalusia at La Luz was prepared and submitted to the City of Albuquerque in 2005, and was finalized and approved in 2007. The mitigation measures that were identified and required by the original TIS have already been constructed and installed in reliance on build-out under the approved North Andalusia at La Luz Site Development Plan for Subdivision.
- Third, an updated TIS dated November 22, 2011 was submitted in connection with Project #1003859. Offsite mitigation measures to address impacts projected through 2017 are addressed therein and can become EPC conditions of approval in connection with Project #1003859.

Yours sincerely,

MICHELLE HENRIE, LLC



Michelle Henrie, Attorney

Ms. Stover
November 30, 2011
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cc. Carmen Marrone, Current Planning Manager, Planning Department
Catalina Lehner, Senior Planner, Planning Department
Ron Bohannon, Tierra West, LLC