

4.0 Streets and Streetscape Standards

4.6. Mandatory Cross Sections and Frontage Standards

4.6.1. Street Type 1: Town Center

- (i) **Intent/Purpose:** These streets are intended to be the most pedestrian-friendly while supporting multiple modes of transportation circulating throughout the Plan area and surrounding region.
- (ii) **Cross Section:** See **Exhibit 4.4**.

(iii) Frontage Standards

- a. Front Setback: 5 feet
- b. Side Setback: 0 feet
- c. Build-to Zone (BTZ): 5-10 feet
- d. Frontage requirement: 80%
- e. Civic/Open Space within the BTZ shall count toward the frontage requirement.
- f. A Commercial Ready ground floor shall be required for buildings along Mandatory 'A' Streets and Civic Spaces.
- g. Any paved area within the setback shall match the material of the sidewalk and be constructed at the same grade level.
- h. Where a surface parking lot is visible from the public ROW, a street screen shall be used.
- i. See **Section 4.9** for other Streetscape Standards.
- j. Encroachments are regulated by Character Zone and can be found in **Section 6** of this Plan.

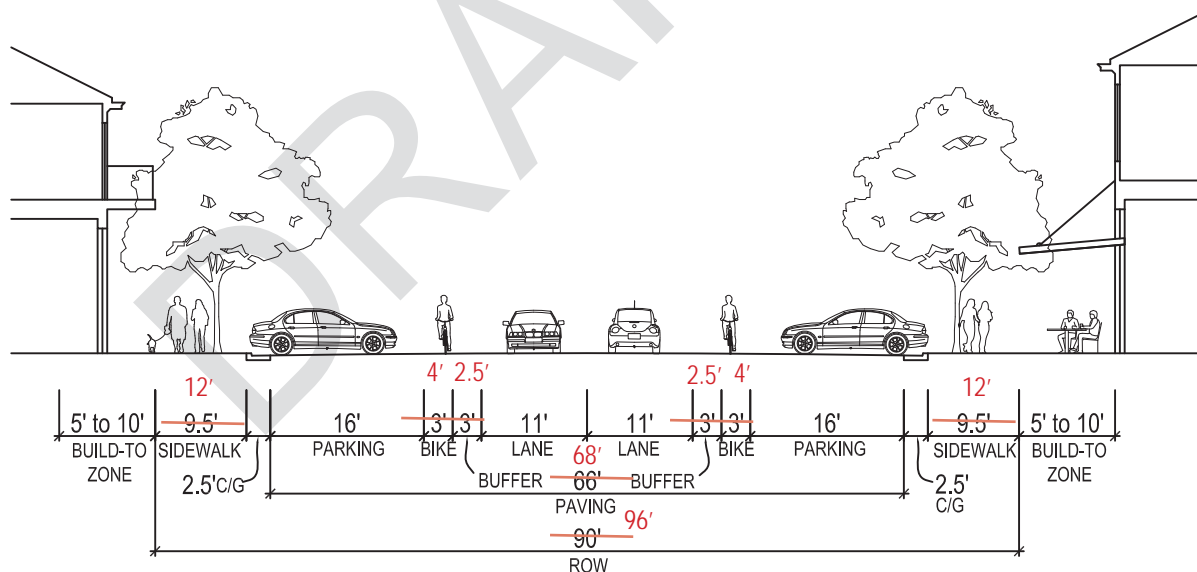


Exhibit 4.4 – Street Type 1: Town Center Cross Section
[Update pending]

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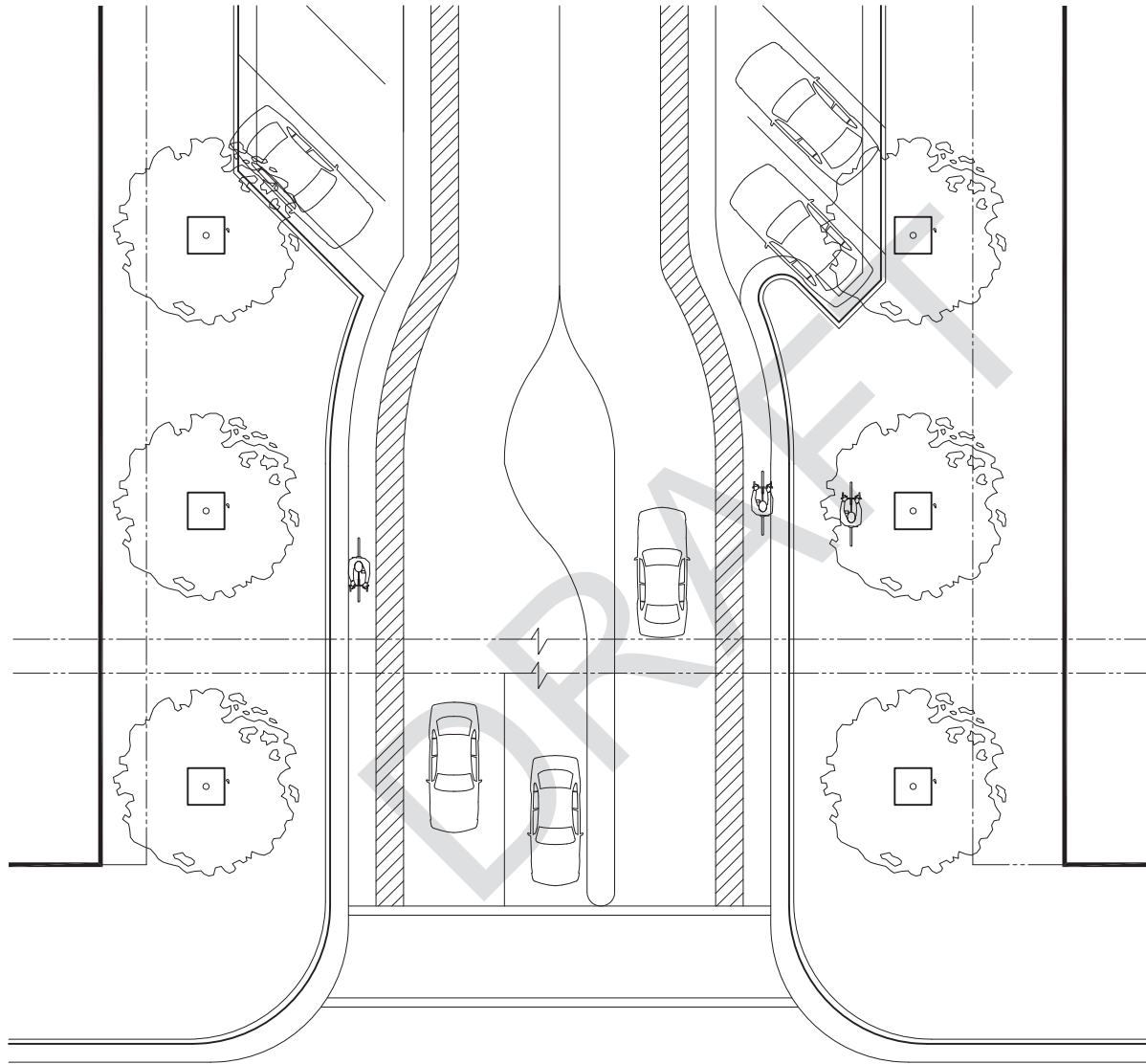


Exhibit 4.5 – Street Type 1: Typical Intersection (Plan Perspective) [Update pending]

4.0 Streets and Streetscape Standards

4.6.2. Street Type 2: Connector Street

- (i) **Intent/Purpose:** These streets are intended to access neighborhood streets and promote multi-modal transportation to reach businesses and residences within the Plan area.
- (ii) **Cross Section:** See **Exhibit 4.6**.

(iii) Frontage Standards

- a. Front Setback: 5 feet
- b. Side Setback: 0 feet
- c. Build-to Zone (BTZ) along 'A' Streets and Civic Spaces: 5-15 feet
- d. Build-to Zone (BTZ) along 'B' Streets: 5-75 feet
- e. Frontage requirement along 'A' Streets and Civic Spaces: 60%
- f. Frontage requirement along 'B' Streets: 30%
- g. Civic/Open Space within the BTZ shall count toward the frontage requirement.
- h. Any paved area intended for pedestrians, within the setback, shall match the material of the sidewalk and be constructed at the same grade level.
- i. Where a surface parking lot is visible from the public ROW, a street screen shall be used.
- j. See **Section 4.9** in this Plan for other Streetscape Standards.
- k. Encroachment regulations are regulated by Character Zone and can be found in **Section 6** of this Plan.

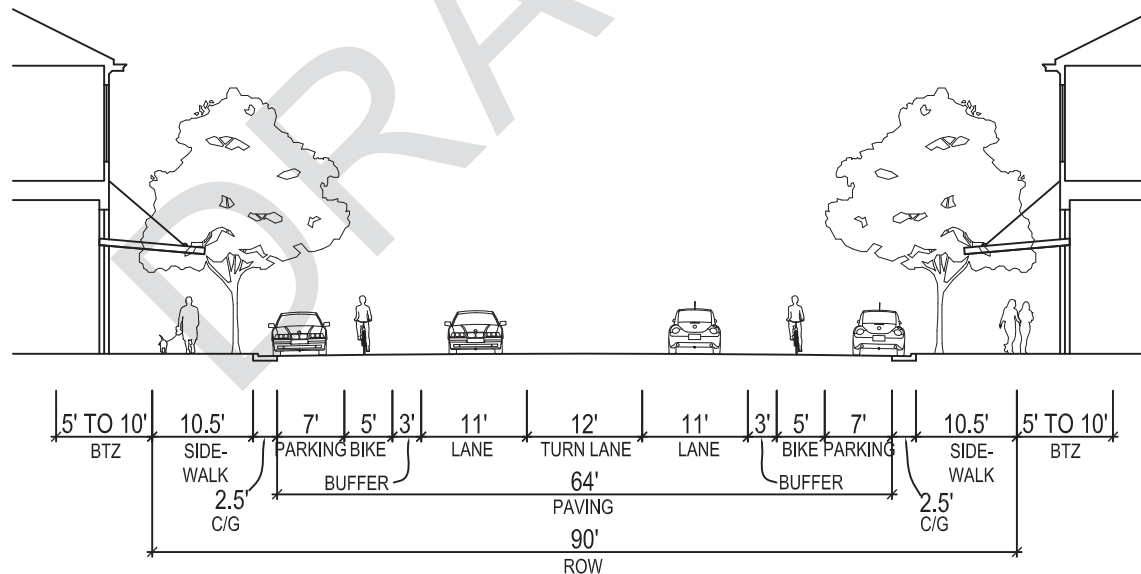


Exhibit 4.6 – Street Type 2: Connector Street Cross Section

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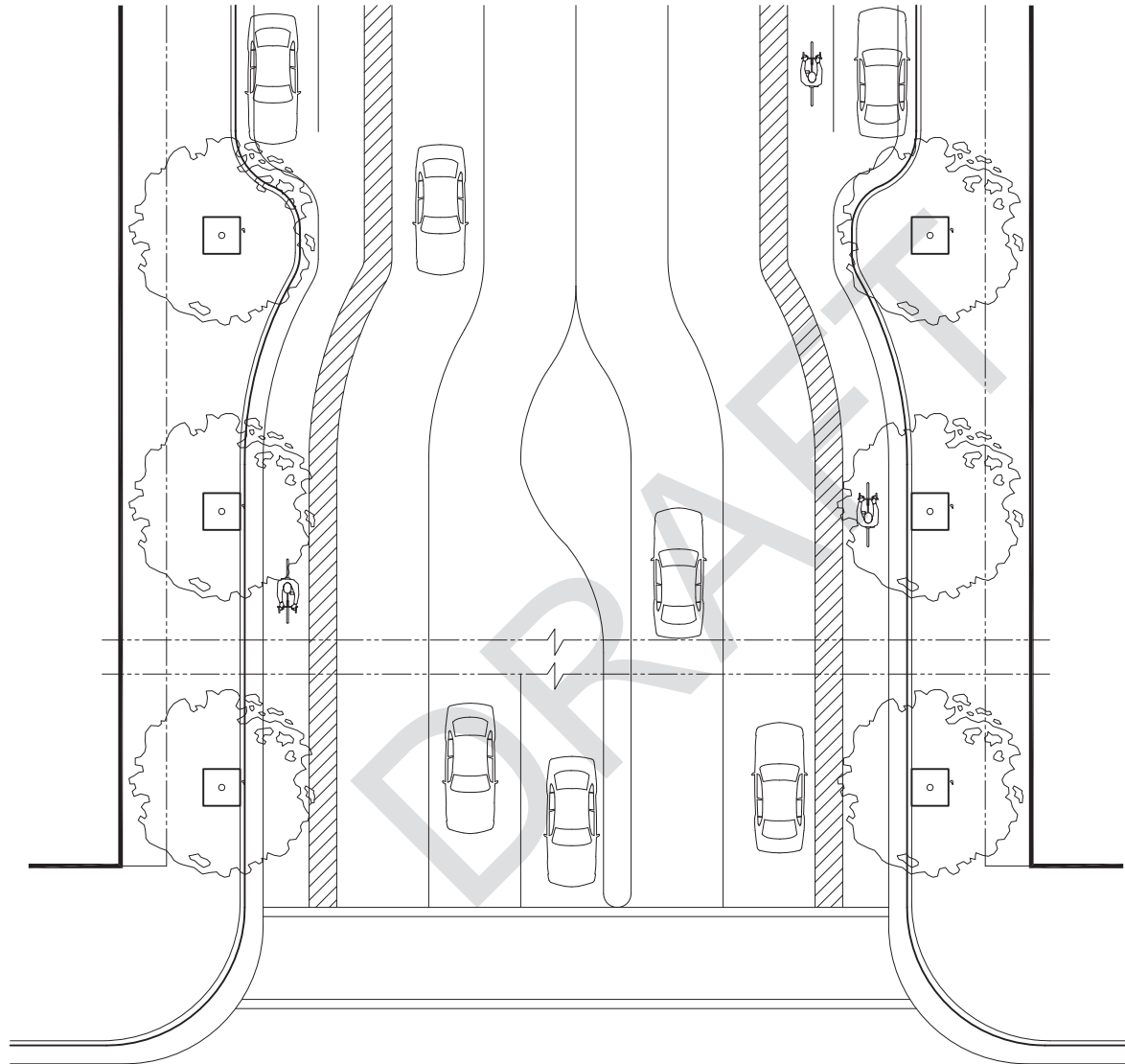


Exhibit 4.7 – Street Type 2: Typical Intersection (Plan Perspective) [Update pending]

4.0 Streets and Streetscape Standards

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4.6.3. Street Type 3: Neighborhood Street

- (i) **Intent/Purpose:** These streets are intended to access local uses, predominantly businesses and residences within the Plan area.
- (ii) **Cross Section:** See Exhibit 4.8.
- (iii) **Frontage Standards**
 - a. Front Setback: 5 feet
 - b. Side Setback: 0 feet
 - c. Build-to Zone (BTZ) along 'A' Streets and Civic Spaces: 5-15 feet
 - d. Build-to Zone (BTZ) along 'B' Streets: 5-25 feet
 - e. Frontage requirement along 'A' Streets and Civic Spaces: 60%
 - f. Frontage requirement along 'B' Streets: 30%
 - g. Civic/Open Space within the BTZ shall count toward the frontage requirement.
 - h. Any paved area intended for pedestrians, within the setback, shall match the material of the sidewalk and be constructed at the same grade level.
 - i. Where a surface parking lot is visible from the public ROW, a street screen shall be used.
 - j. See **Section 4.9** in this Plan for other Streetscape Standards.
 - k. Encroachment regulations are regulated by Character Zone and can be found in **Section 6** of this Plan.

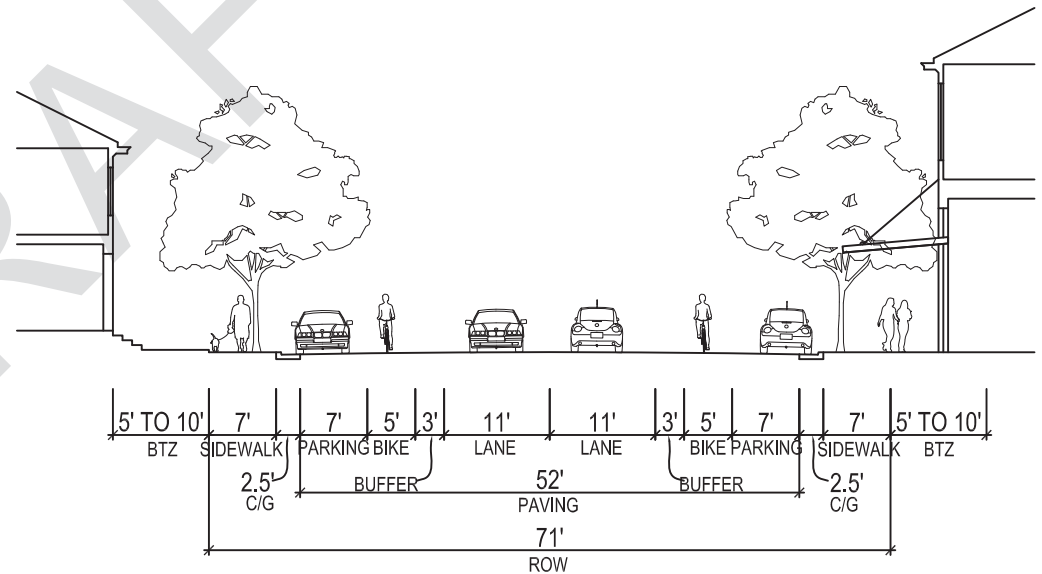


Exhibit 4.8 – Street Type 3: Neighborhood Street Cross Section

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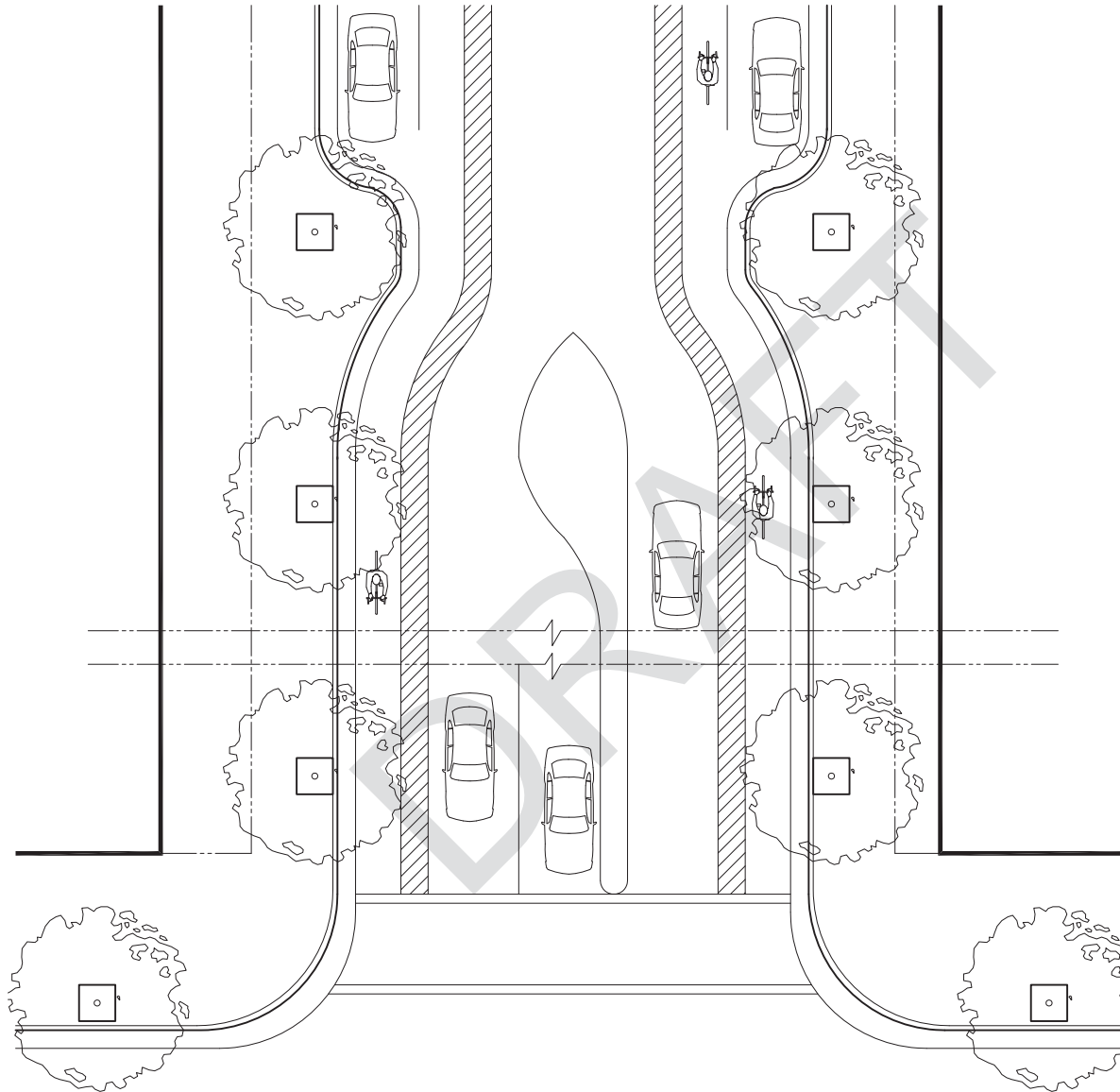


Exhibit 4.9 – Street Type 3: Typical Intersection (Plan Perspective) [Update pending]

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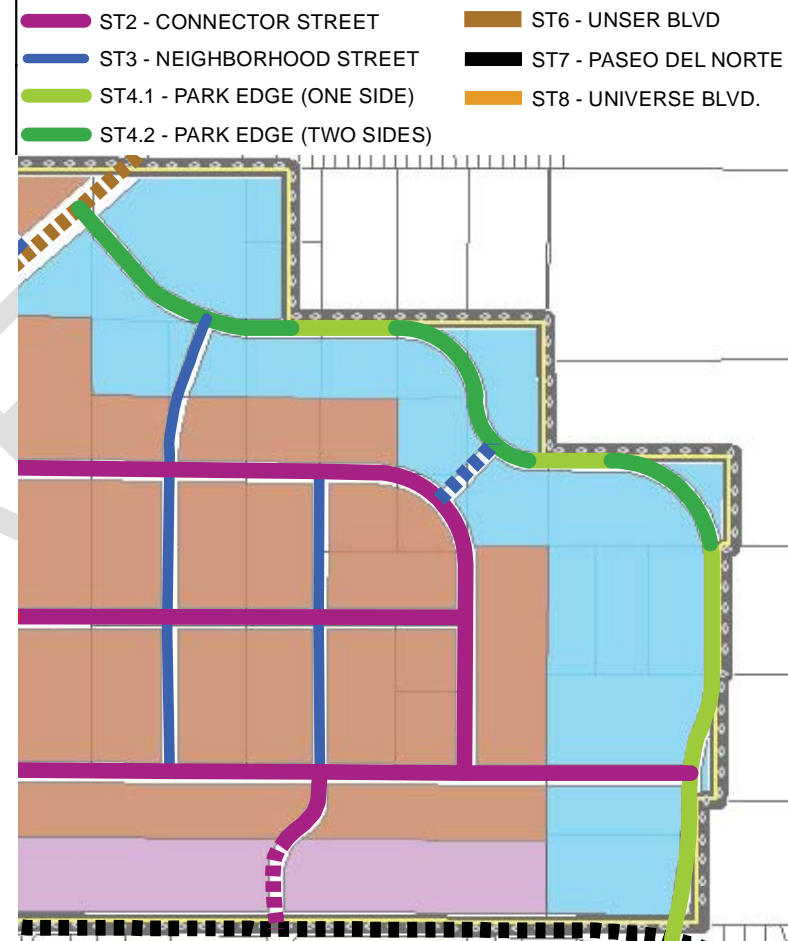
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4.6.4. Street Type 4: Park Edge

(i) **Intent/Purpose:** These streets are intended to access local uses, predominantly residences and businesses within the Plan area, by multiple modes of transportation, including on-street bicycle lanes as well as connections to an off-street trail along the Petroglyph National Monument edge. The Major Public Open Space is best preserved as a public amenity by designing a single-loaded road along Open Space edges. Landscaping and medians act as transitions from the built environment to sensitive lands within the Monument.

(ii) **Cross Sections:** Two cross sections are provided for the Park Edge Street.

- Where the street abuts the Petroglyph National Monument and/or where development is only intended on the east side of the road, it shall be single-loaded, and Street Type 4.1 shall be constructed.
- Where development will occur on both sides of the street, Street Type 4.2 shall be used. (See **Exhibit 4.10** and **Exhibit 4.11**.)
- The Park Edge and additional local streets in the SU-2 Volcano Heights Escarpment Transition (VHET) zone shall be sited to provide regular but controlled pedestrian access to the Petroglyph National Monument. Access shall be determined by the National Park Service Monument Visitor Plan and/or by the City Open Space Division in lieu thereof.



Detail of Exhibit 4.2 – Character Zones and Street Types: Park Edge Road

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4.0 Streets and Streetscape Standards

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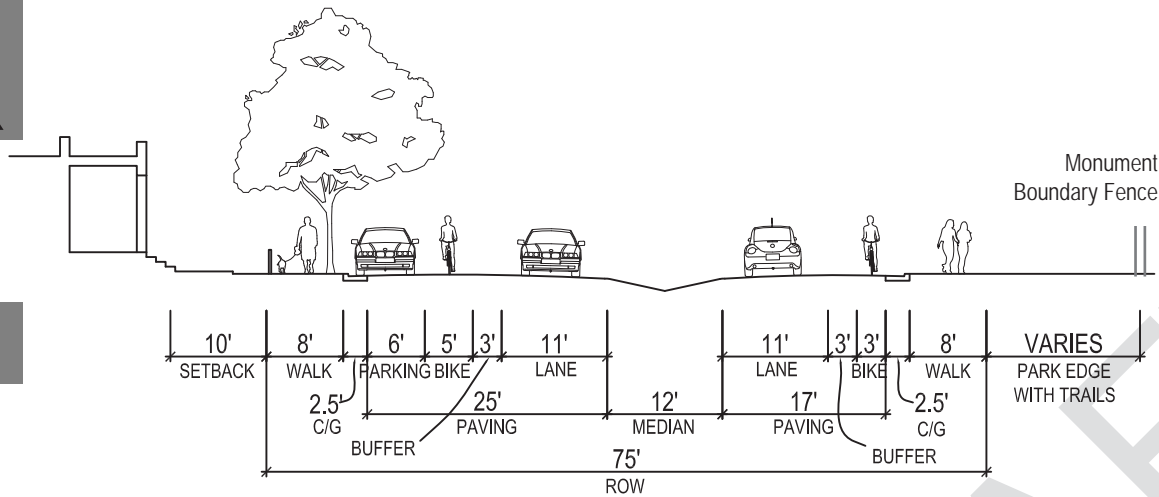


Exhibit 4.10 – Street Type 4.1: Park Edge Single-Loaded Cross Section

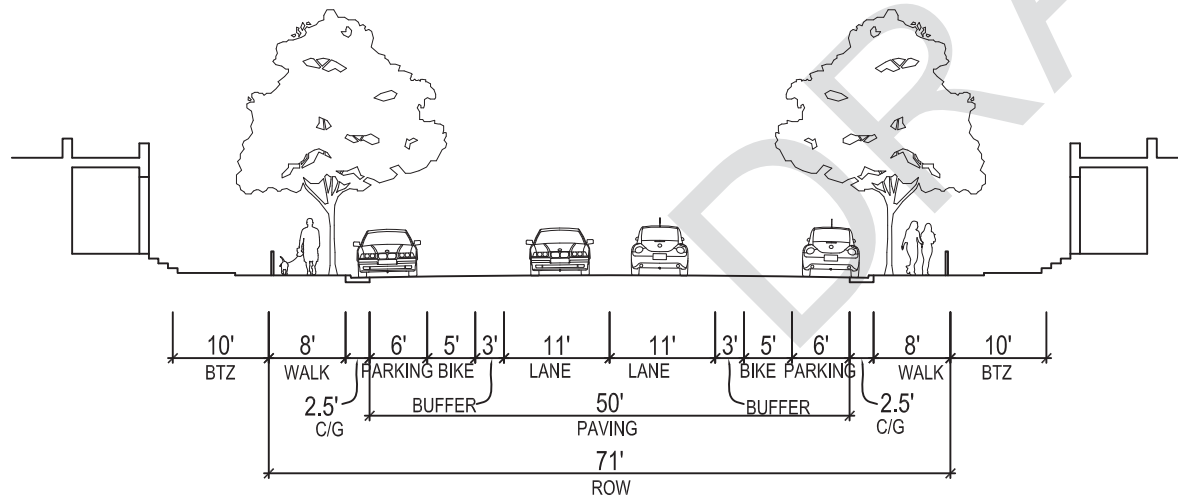


Exhibit 4.11 – Street Type 4.2: Park Edge Double-Loaded Cross Section

(iii) Frontage Standards

- Front Setback: 5 feet
- Side Setback: 0 feet
- Build-to Zone (BTZ) along 'A' Streets and Civic Spaces: 5-20 feet
- Build-to Zone (BTZ) along 'B' Streets: 5-75 feet
- Frontage requirement along 'A' Streets and Civic Spaces: 60%
- Frontage requirement along 'B' Streets: 30%
- Civic/Open Space within the BTZ shall count toward the frontage requirement.
- Where a surface parking lot is visible from the public ROW, a street screen shall be used.
- See **Section 4.9** in this Plan for other Streetscape Standards.
- Encroachment regulations are regulated by Character Zone and can be found in **Section 6** of this Plan.

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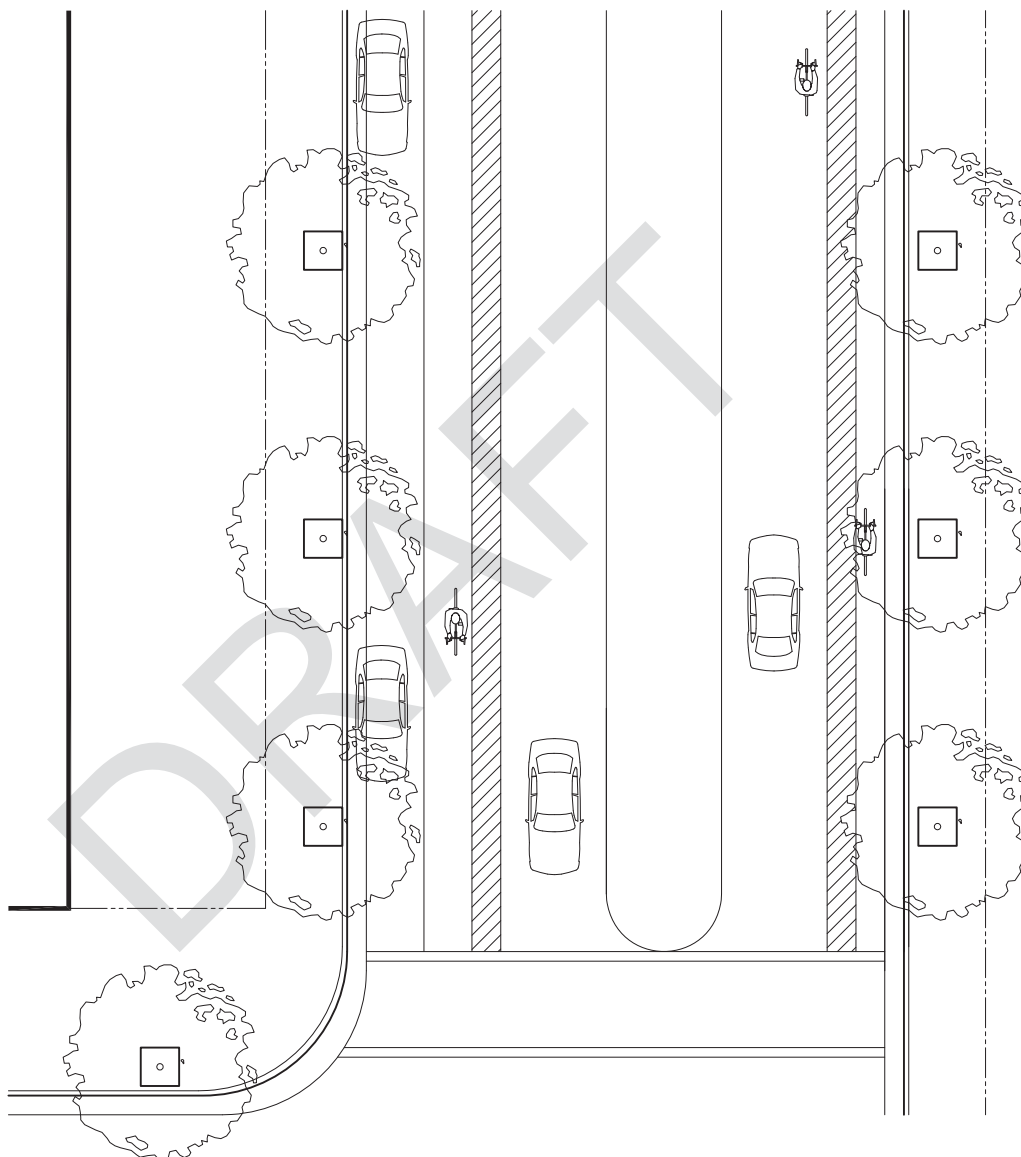


Exhibit 4.12 – Street Type 4.1: Typical Intersection (Plan Perspective) [Update pending]

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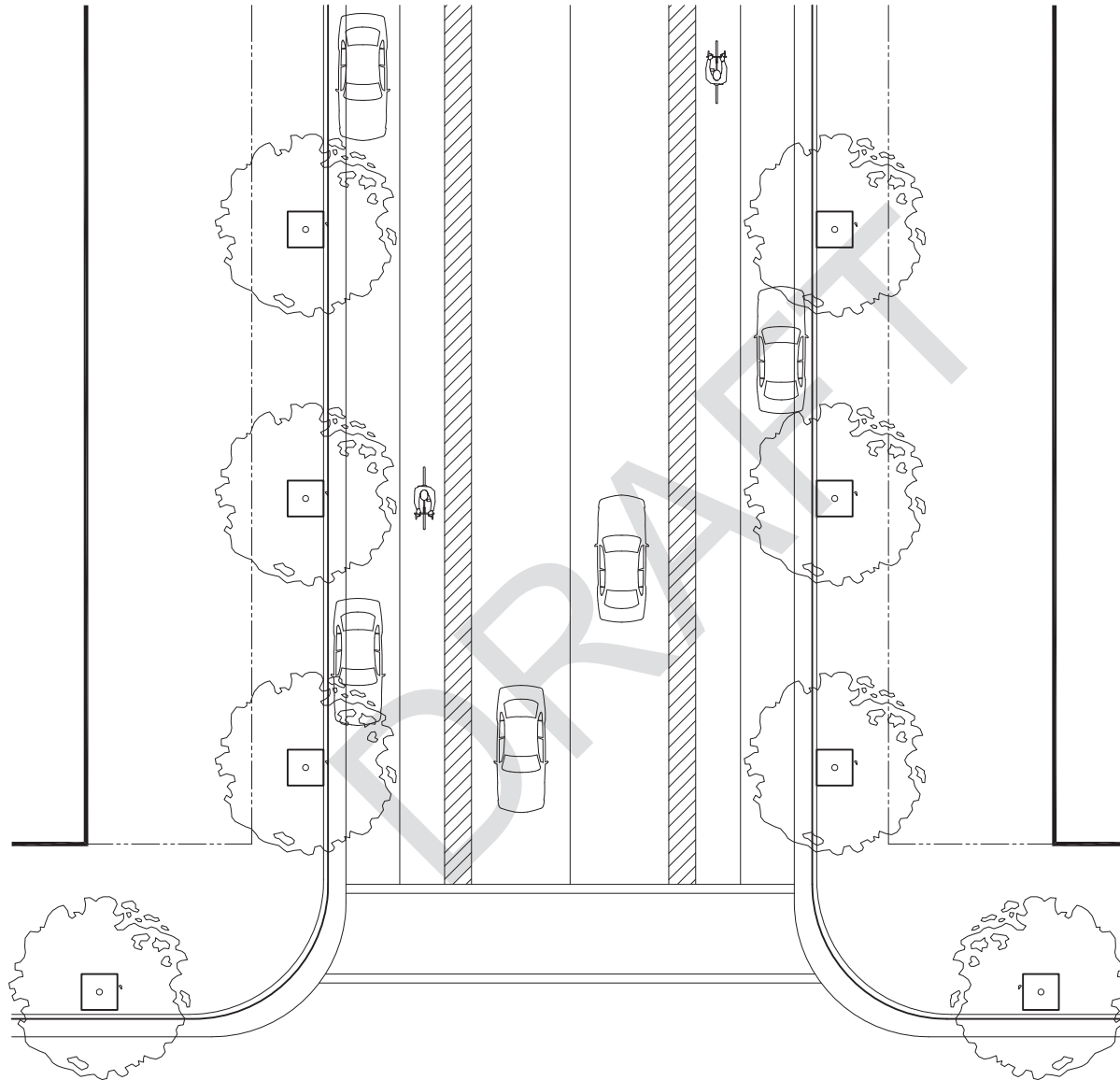


Exhibit 4.13 – Street Type 4.2: Typical Intersection (Plan Perspective) [Update pending]

4.0 Streets and Streetscape Standards

4.6.5. Street Type 5: Transit Corridor

- (i) **Intent/Purpose:** The Transit Corridor serves multiple modes of transportation, including the proposed Bus Rapid Transit. The walkable, dense, urban Town Center is organized around this Transit Corridor, which acts as a “Main Street” for Volcano Heights.
- (ii) **Cross Section:** See **Exhibit 4.14**.
- (iii) **Frontage Standards**
 - a. Front Setback: 5 feet
 - b. Side Setback: 0 feet

- c. Build-to Zone (BTZ) along ‘A’ Streets and Civic Spaces: 5-15 feet
- d. Build-to Zone (BTZ) along ‘B’ Streets: 5-75 feet
- e. Frontage requirement along ‘A’ Streets and Civic Spaces: 60%
- f. Frontage requirement along ‘B’ Streets: 30%
- g. Civic/Open Space within the BTZ shall count toward the frontage requirement.
- h. A Commercial Ready ground floor shall be required for buildings along Mandatory ‘A’ Streets and Civic Spaces.
- i. Any paved area intended for pedestrians, within the setback, shall match the material of the sidewalk and be constructed at the same grade level.

- j. Where a surface parking lot is visible from the public ROW, a street screen shall be used.
- k. See **Section 4.9** in this Plan for other Streetscape Standards.
- l. Encroachment regulations are regulated by Character Zone and can be found in **Section 6** of this Plan.
- m. Beginning 500 feet from intersections on Paseo del Norte, Unser Boulevard, and any other potential station locations, 36 feet in the right-of-way shall be dedicated for BRT lanes and/or station platforms.

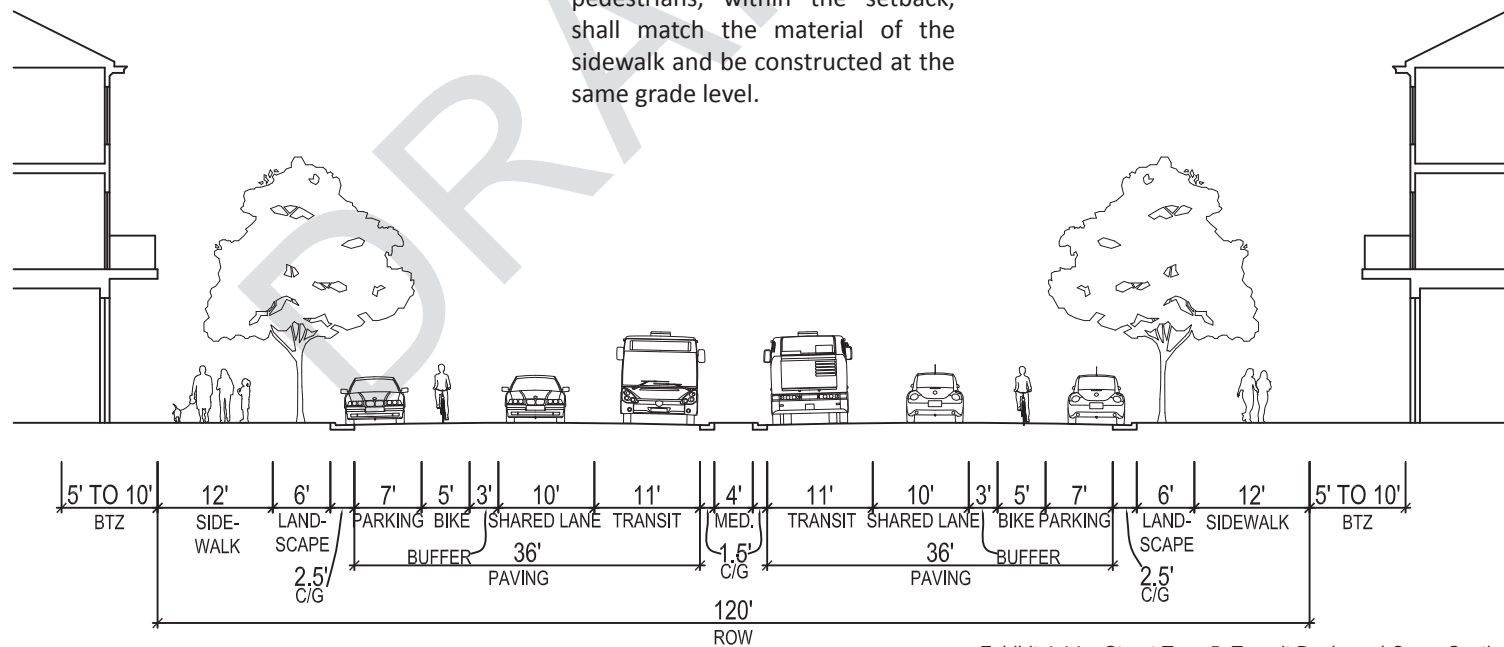


Exhibit 4.14 – Street Type 5: Transit Boulevard Cross Section

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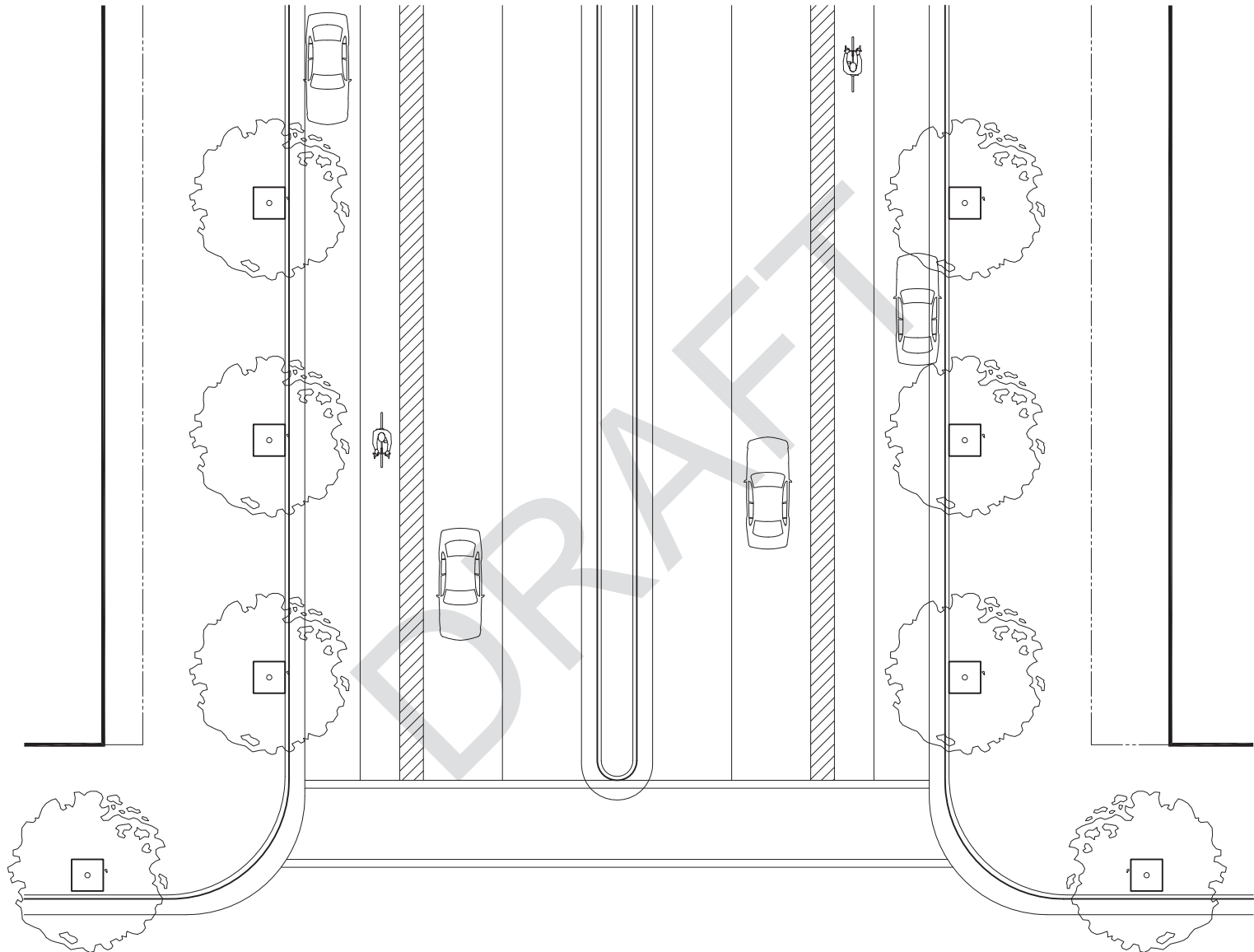


Exhibit 4.15 – Street Type 5: Typical Intersection (Plan Perspective)

4.0 Streets and Streetscape Standards

- 4.6.6. **Street Type 6: Unser Boulevard**
- (i) **Intent/Purpose:** Unser Boulevard is primarily a regional road, serving residents and businesses within Volcano Heights as well as the surrounding region.
 - (ii) **Cross Section:** See Exhibit 4.16.
 - (iii) **Frontage Standards**
 - a. Front Setback: 5 feet
 - b. Side Setback: 0 feet
 - c. Build-to Zone (BTZ) along 'B' Streets: 5-75 feet
 - d. Frontage requirement along Civic Spaces: 60%

- e. Frontage requirement along 'B' Streets: 30%
- f. Civic/Open Space within the BTZ shall count toward the frontage requirement.
- g. Any paved area intended for pedestrians, within the setback, shall match the material of the sidewalk and be constructed at the same grade level.
- h. Where a surface parking lot is visible from the public ROW, a street screen shall be used.
- i. Outdoor storage of vehicles or other products sold shall not exceed 50% of a lot's frontage.
- j. See **Section 4.9** in this Plan for other Streetscape Standards.
- k. Encroachment regulations are regulated by Character Zone and can be found in **Section 6** of this Plan.
- l. Beginning 500 feet from an intersection with Paseo del Norte, the transit boulevard, or any potential station locations, 36 feet in the right-of-way shall be dedicated for BRT lanes and/or station platforms.

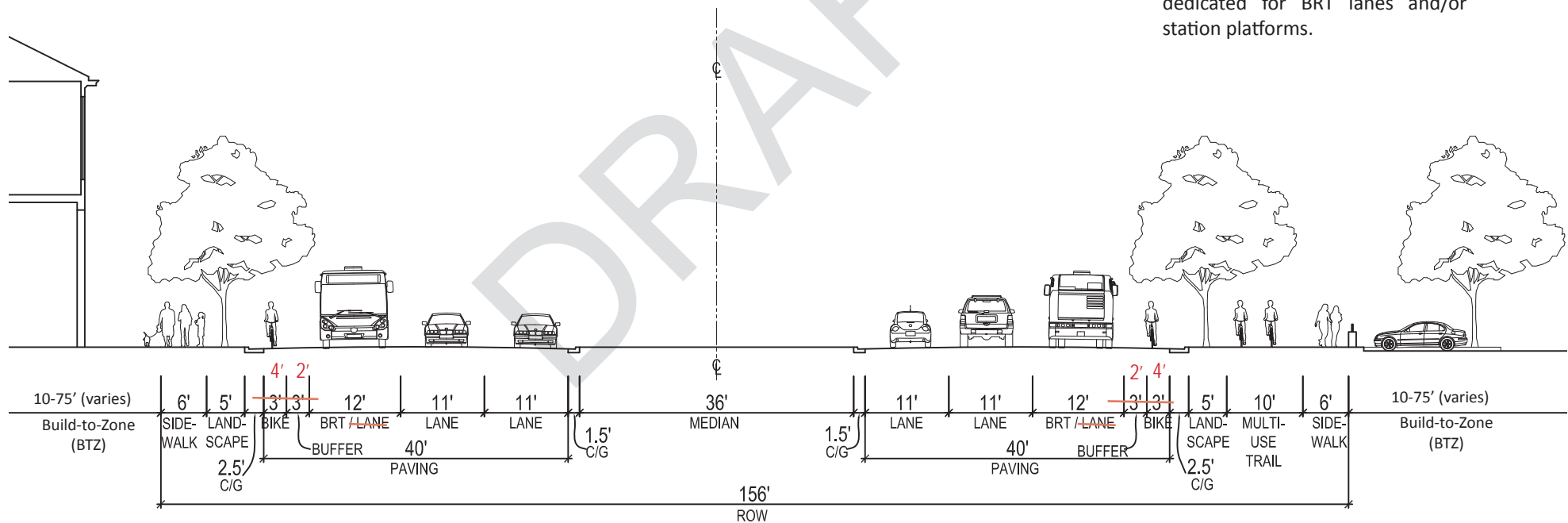


Exhibit 4.16 – Street Type 6: Unser Boulevard Cross Section
[Update Pending]

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4.6.7. Street Type 7: Paseo del Norte

(i) **Intent/Purpose:** Paseo del Norte is primarily a regional road, serving residents and businesses within Volcano Heights as well as the surrounding region.

(ii) **Cross Section:** See Exhibit 4.17.

(iii) **Frontage Standards**

- Front Setback: 5 feet
- Side Setback: 0 feet
- Build-to Zone (BTZ) along 'B' Streets: 5-75 feet

- Frontage requirement along Civic Spaces: 60%
- Frontage requirement along 'B' Streets: 30%
- Civic/Open Space within the BTZ shall count toward the frontage requirement.
- Any paved area intended for pedestrians, within the setback, shall match the material of the sidewalk and be constructed at the same grade level.

- Where a surface parking lot is visible from the public ROW, a street screen shall be used.
- Outdoor storage of vehicles or other products sold shall not exceed 50% of a lot's frontage.
- See **Section 4.9** for other Streetscape Standards.
- Encroachment regulations are regulated by Character Zone and can be found in **Section 6** of this Plan.
- Beginning 500 feet from an intersection with Unser Boulevard, the transit boulevard, or any potential station locations, 36 feet in the right-of-way shall be dedicated for BRT lanes and/or station platforms.

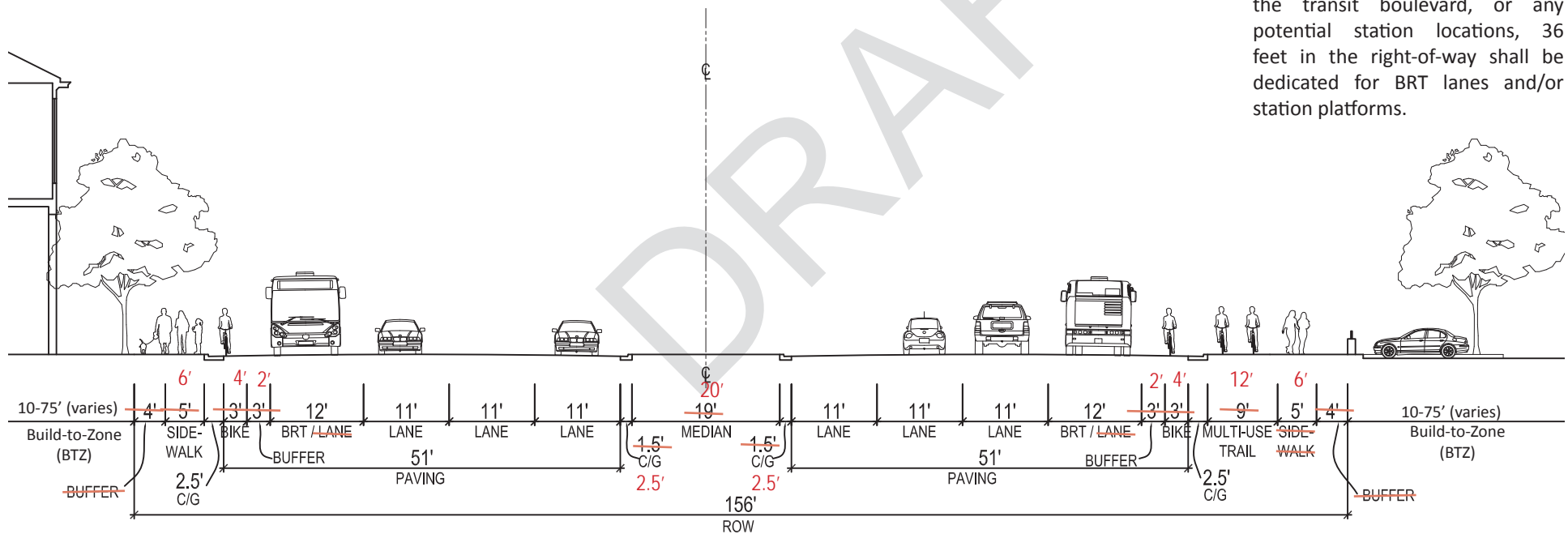


Exhibit 4.17 – Street Type 7: Paseo del Norte Boulevard Cross Section [Update pending]

4.0 Streets and Streetscape Standards

4.6.8. Street Type 8: Universe Boulevard

- (i) **Intent/Purpose:** Universe Boulevard is a major arterial carrying significant traffic volumes to facilitate regional movement. At the same time, it connects many predominantly residential areas and therefore must be safe and comfortable for pedestrian and cyclists.
- (ii) **Cross Section:** See **Exhibit 4.18**.
- (iii) **Frontage Standards**
 - a. Front Setback: 5 feet
 - b. Side Setback: 0 feet
 - c. Build-to Zone (BTZ) along 'B' Streets: 5-75 feet
 - d. Frontage requirement along Civic Spaces: 60%
 - e. Frontage requirement along 'B' Streets: 30%
 - f. Civic/Open Space within the BTZ shall count toward the frontage requirement.
 - g. Any paved area intended for pedestrians, within the setback, shall match the material of the sidewalk and be constructed at the same grade level.
 - h. Where a surface parking lot is visible from the public ROW, a street screen shall be used.
 - i. See **Section 4.9** for other Streetscape Standards.
 - j. Encroachment regulations are regulated by Character Zone and can be found in **Section 6** of this Plan.

[Revised cross section to show the following cross section measurements]

6'	setback
10'	sidewalk
6'	tree strip
2.5'	curb/gutter
5'	bike lane
2.5'	buffer
11'	lane
11'	lane
16'	median
11'	lane
11'	lane
2.5'	buffer
5'	bike lane
2.5'	curb/gutter
6'	tree strip
10'	sidewalk
6'	setback
124'	Total ROW

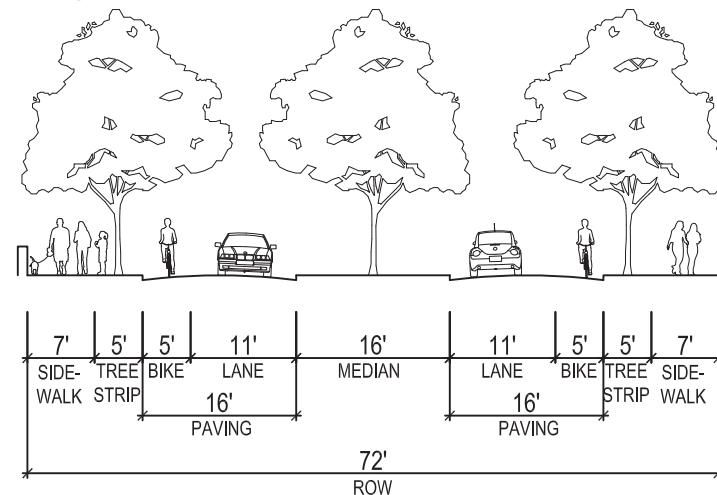


Exhibit 4.18 – Street Type 8: Universe Boulevard Cross Section
[Update pending]