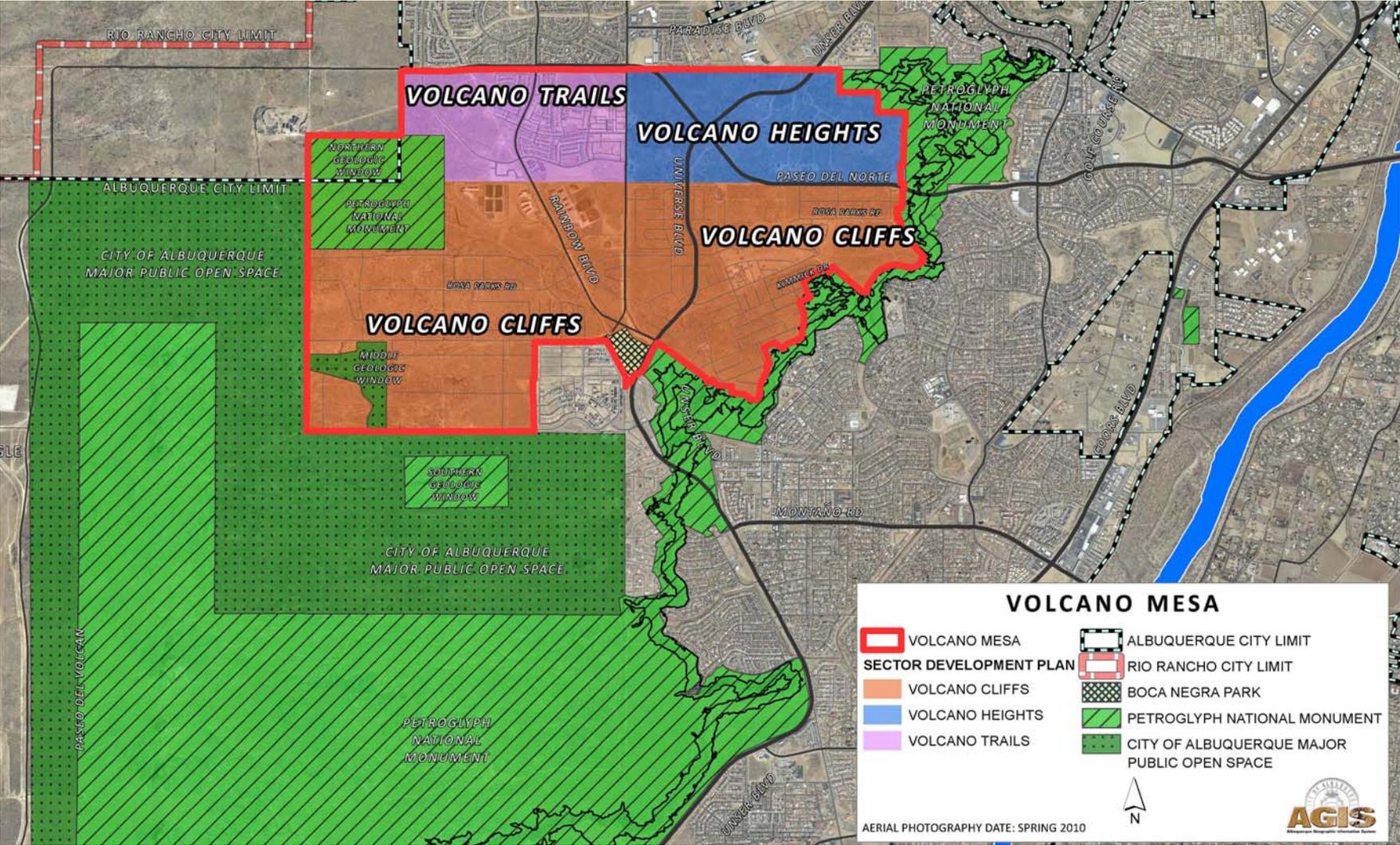

Volcano Heights Sector Development Plan

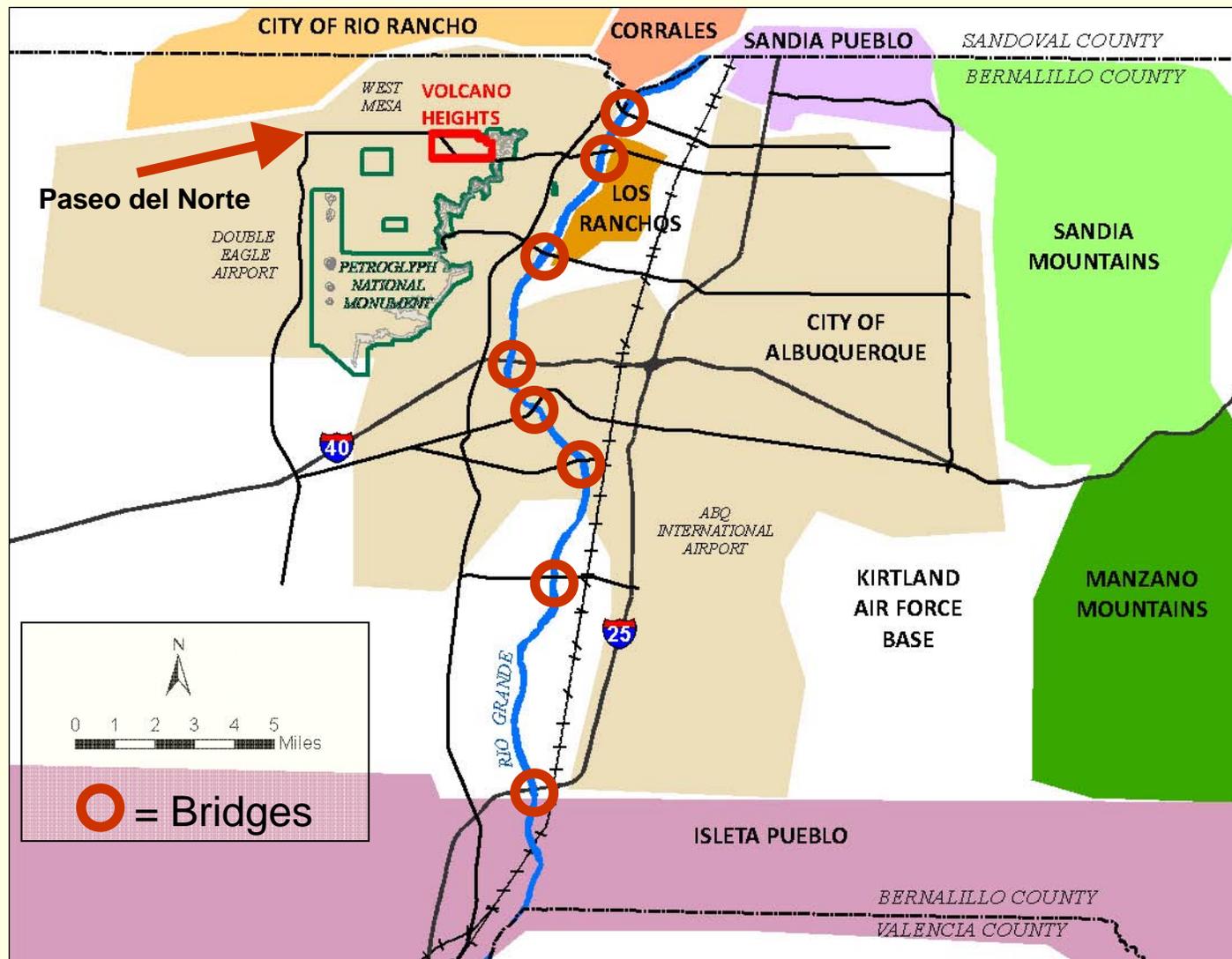
Overview

August 30, 2012

Volcano Mesa

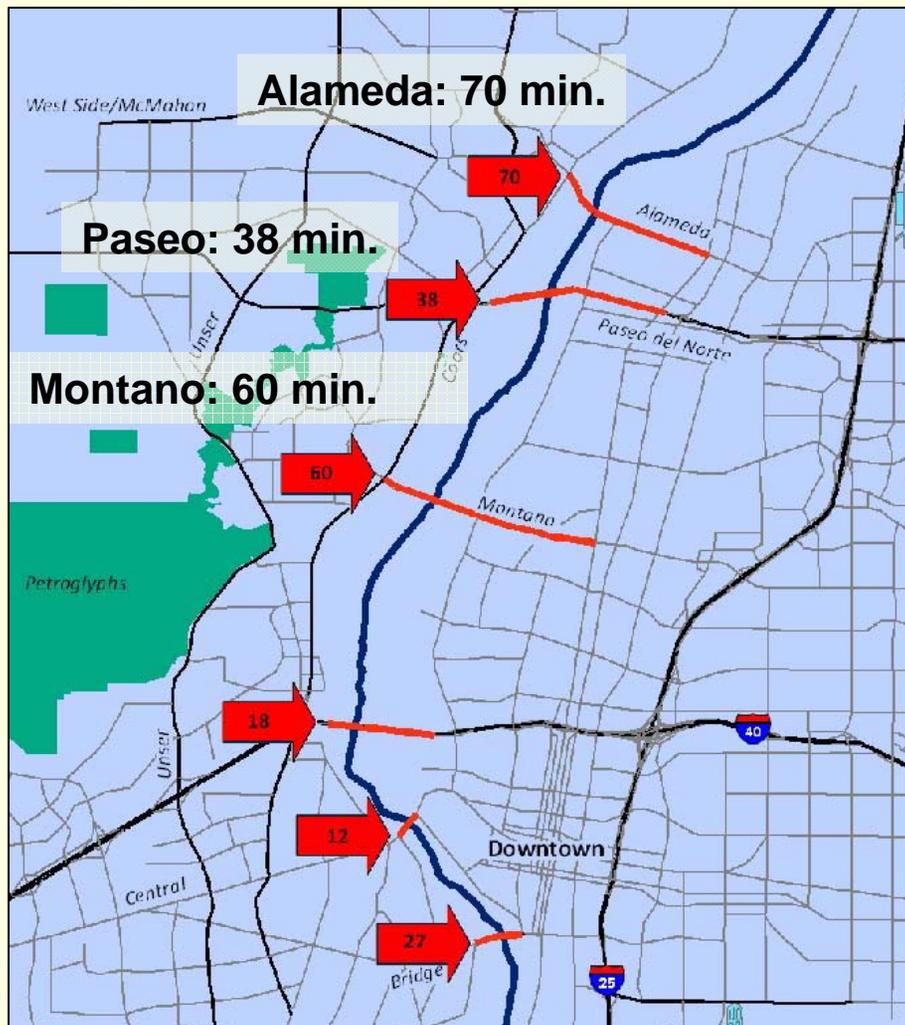


Challenge 1: Growth Limits



Challenge 1: Growth vs. Bridges, 2035 Forecast

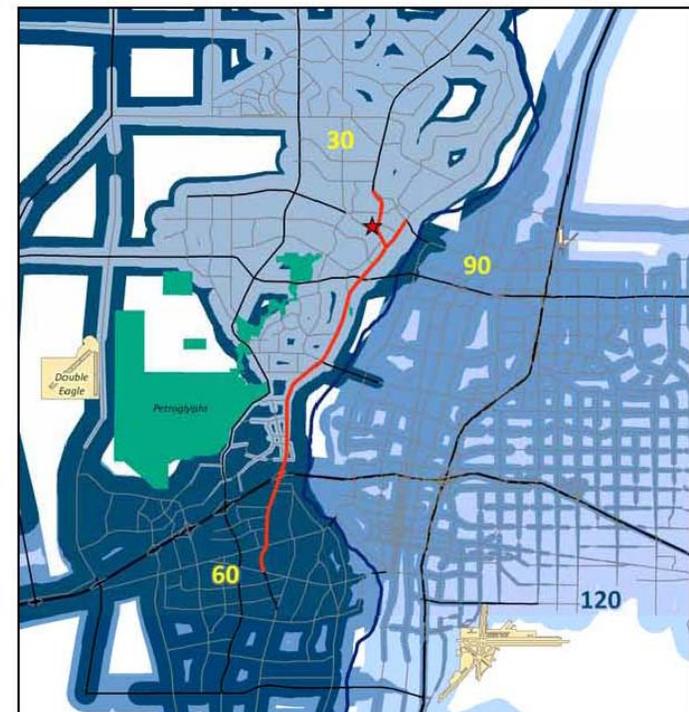
Bridge Crossing Times



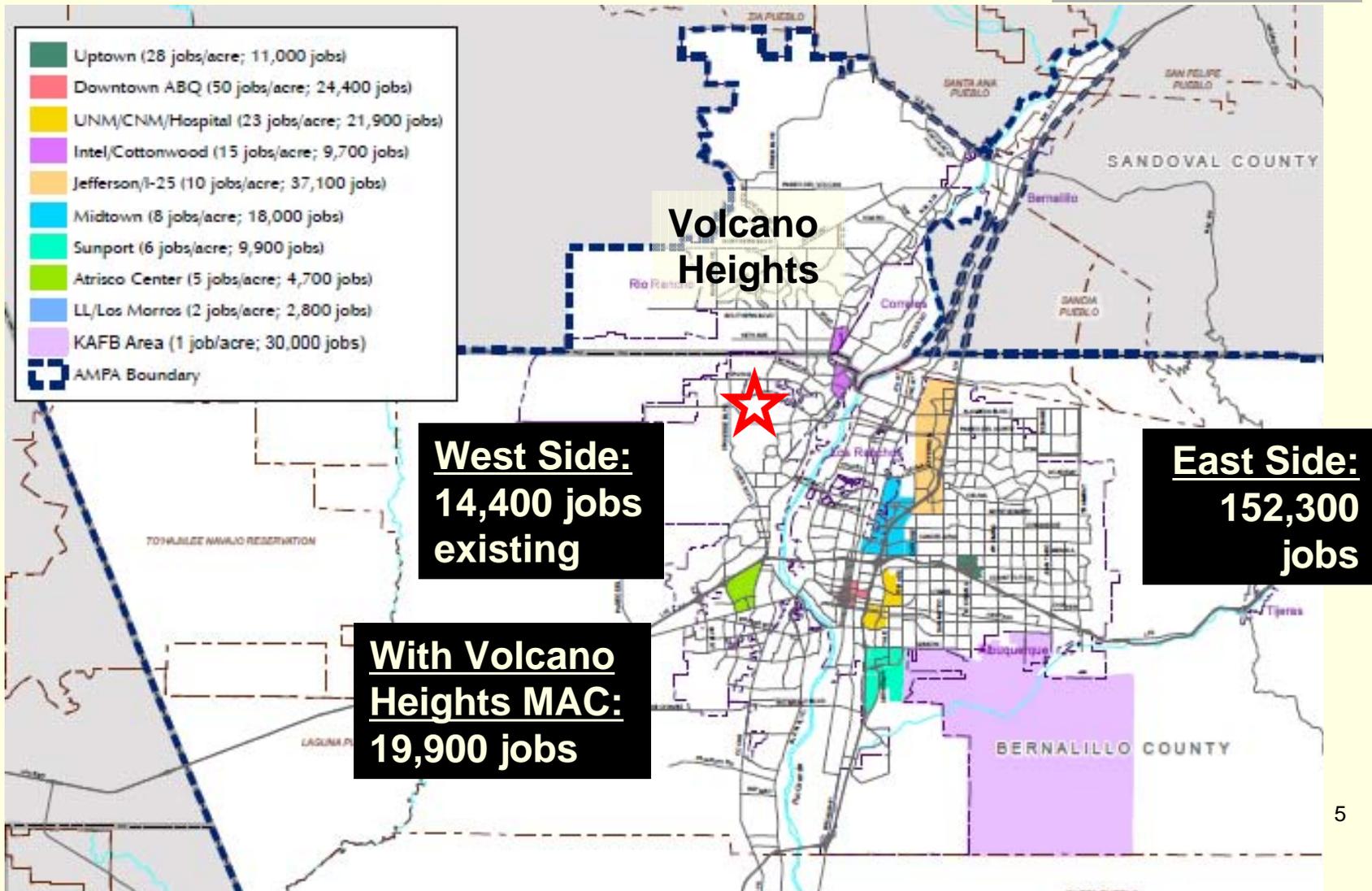
Albuquerque's West Side:

- 46% of new development (36,000 acres) in 4 counties
- 257,000 new residents

Commute Times



Challenge 1: Imbalance of Jobs & Housing, Today



Challenge 1:

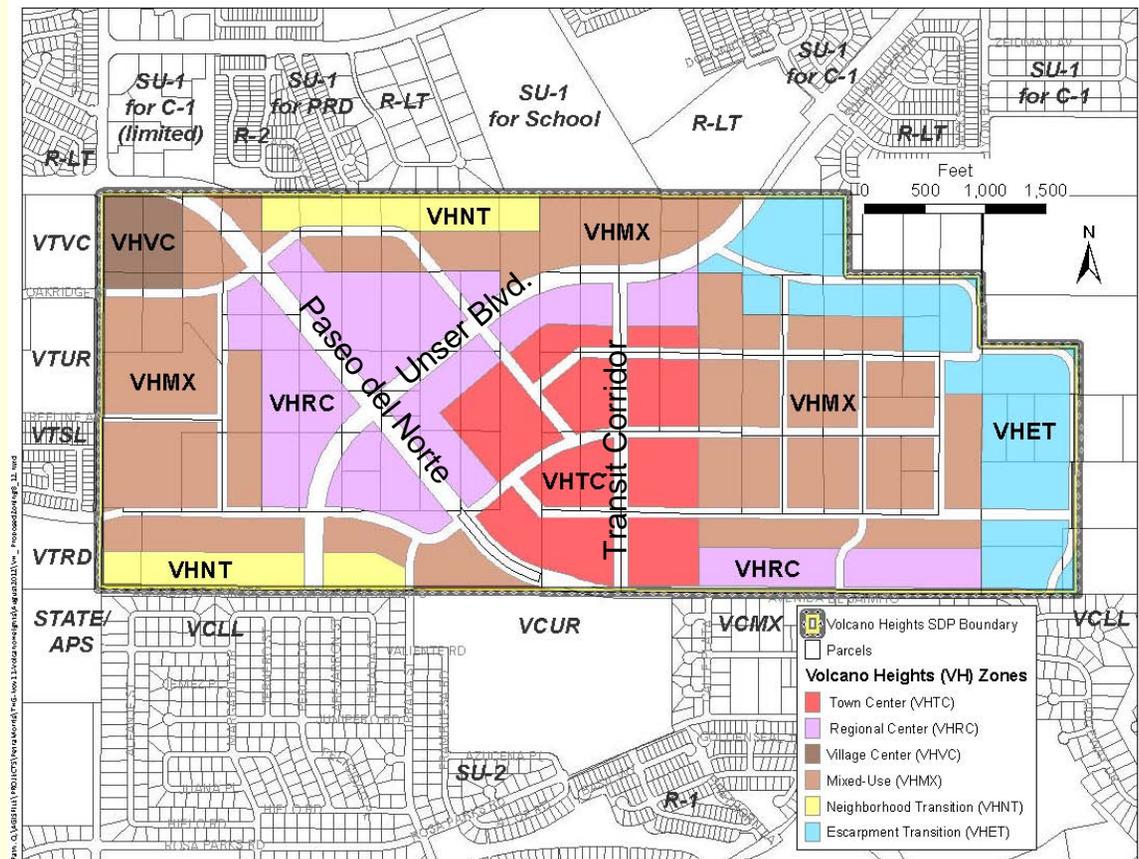
R-D Zoning & Traffic Congestion



- Existing zoning is based on conventional suburban development
 - Housing, jobs & services kept separate
 - Longer regional trips
- Traffic Study showed:
 - Local traffic: fewer overall vehicle trips with existing zoning
 - Regional traffic: longer trips with more destinations (jobs, shopping, etc.)

2012 SDP Strategy 1: Mixed-use Zones

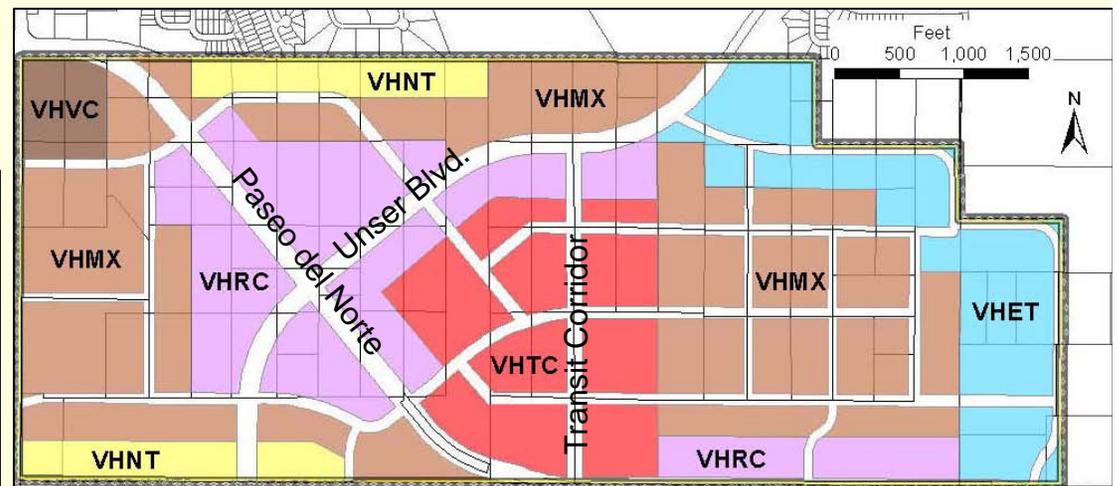
- **Transition zones** to protect existing neighborhoods & Petroglyph National Monument
- **Town Center** along Transit Corridor
- **Regional Center** along Paseo del Norte/Unser Blvd.
- **Village Center** across Universe Blvd. from Village Center in Volcano Trails



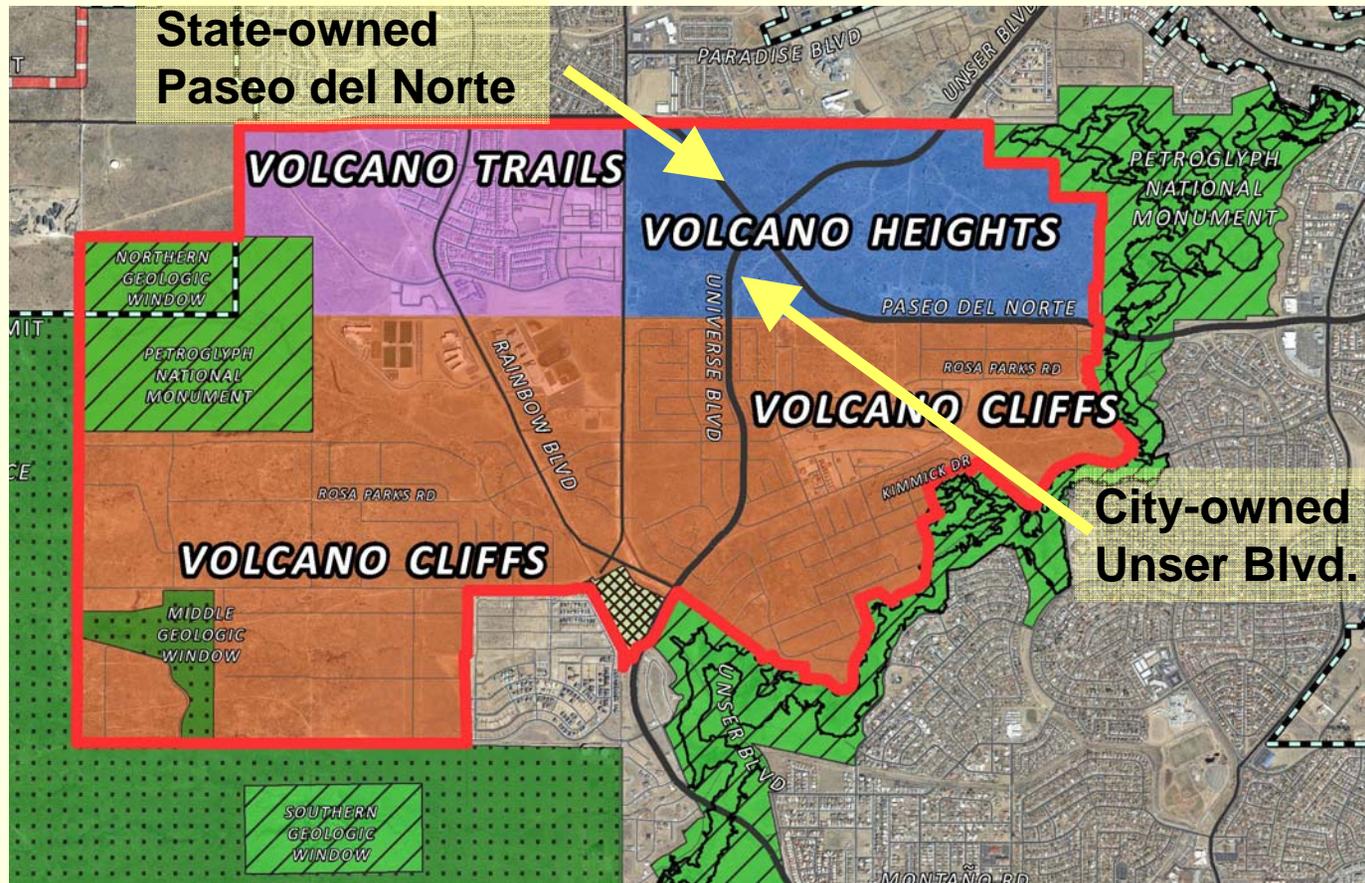
2012 SDP Strategy 1: Urban Development Vision

- Major Activity Center (recommended by WSSP Volcano Mesa Amendment)
 - ~ 2 million square feet of retail + office uses = ~ 5,500 jobs
- High-density Residential
 - <5,000 dwelling units = ~13,000 residents
 - ~350 Single-family
 - ~300 Townhouse
 - ~4,000 Multifamily

Volcano Heights (VH) Zones	
	Town Center (VHTC)
	Regional Center (VHRC)
	Village Center (VHVC)
	Mixed-Use (VHMX)
	Neighborhood Transition (VHNT)
	Escarpment Transition (VHET)



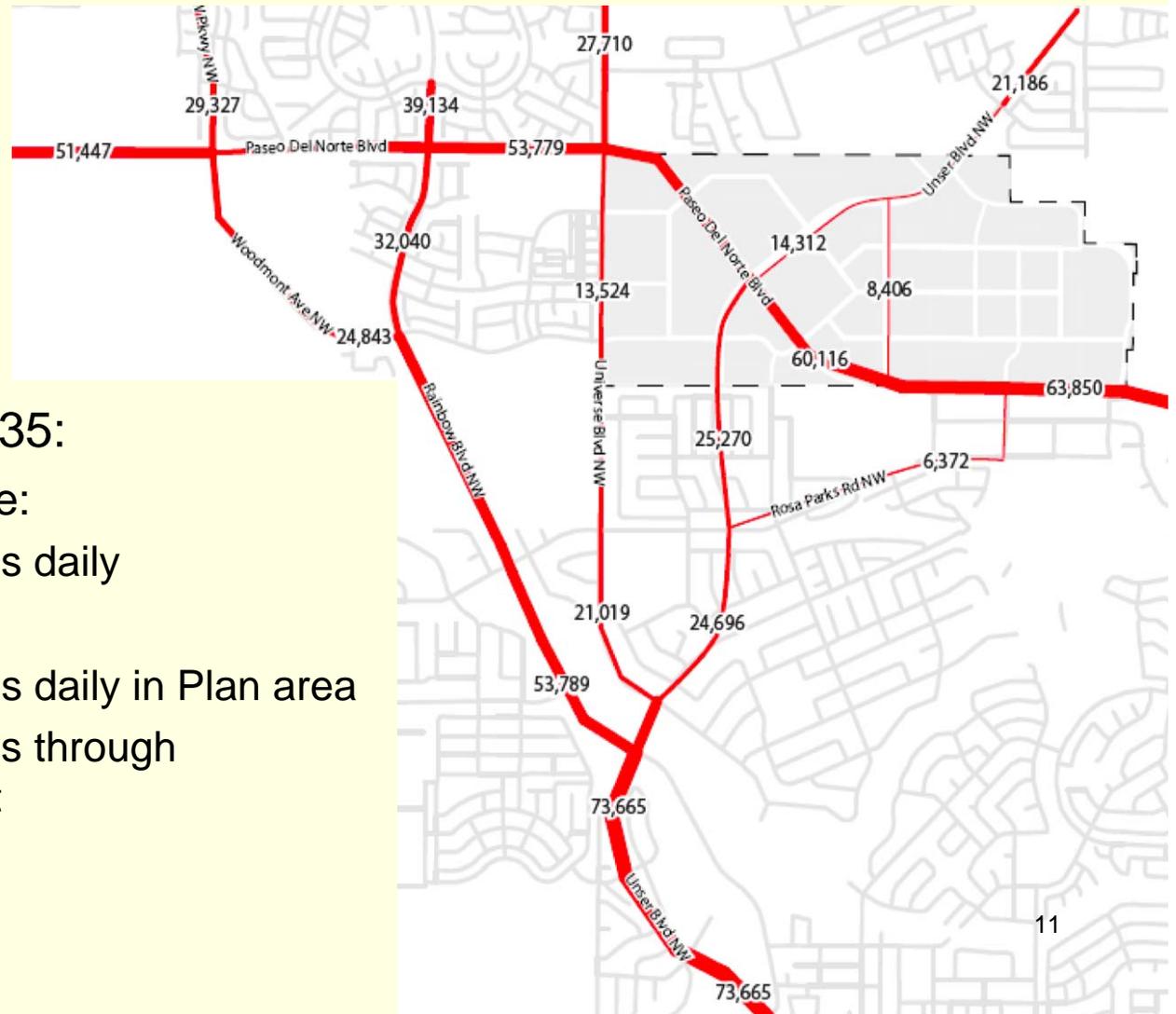
Challenge 2: Limited-access Roads



Challenge 2:

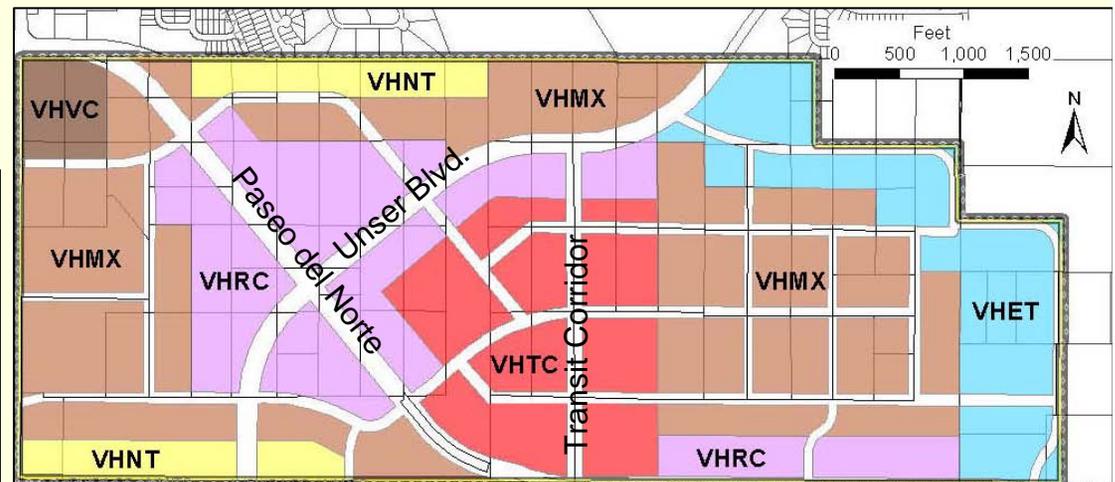
Congested Regional Traffic Forecast

- MRCOG MTP 2035:
 - Paseo del Norte:
 - 60,000+ trips daily
 - Unser Blvd:
 - <15,000 trips daily in Plan area
 - 70,000+ trips through Escarpment



2012 SDP Strategy 2: Coordinated Land Use & Transportation

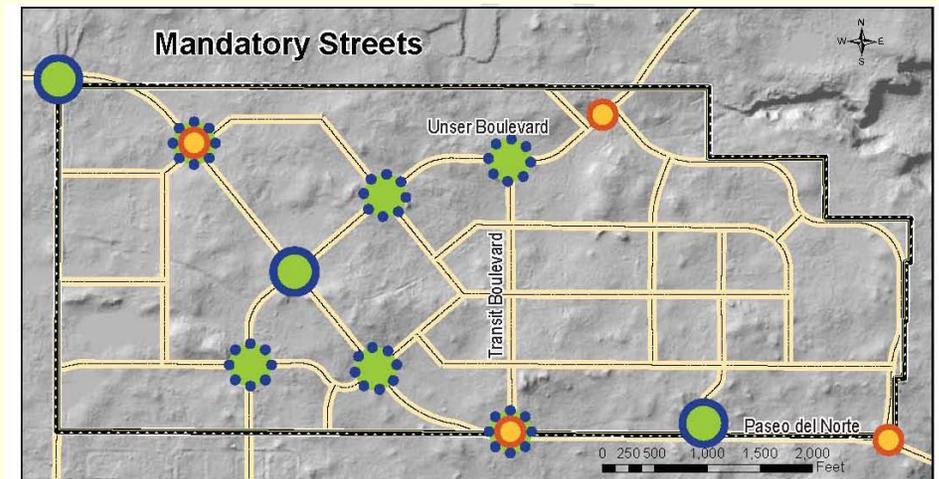
1. **Walkable, urban, dense** development to support multiple modes of transportation, including walking, cycling, and transit.
2. **Transit Corridor** as backbone of new Town Center.
3. **Mandatory street network** to provide backbone grid to support development along corridors.
4. **Non-mandatory street options** to provide service to local development and disperse traffic.
5. **Required cross sections** to help coordinate development across property lines and over time.
6. **Frontage standards** tailored to street character to provide predictable built environment along corridors.



2012 SDP Strategy 2:

Recommended Additional Intersections

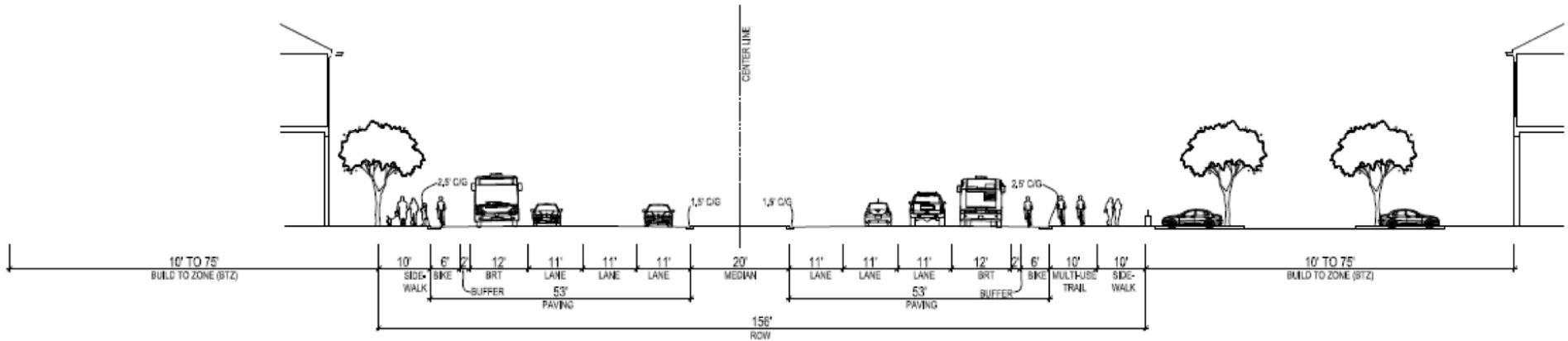
- New intersections on limited-access Paseo & Unser to create:
 - “Loop road” around busy intersection
 - Transit corridor to accommodate Bus Rapid Transit (BRT)
 - Mandatory street grid to disperse regional traffic and serve local development
- Coordination with Metropolitan Planning Organization (MPO) to grant additional access



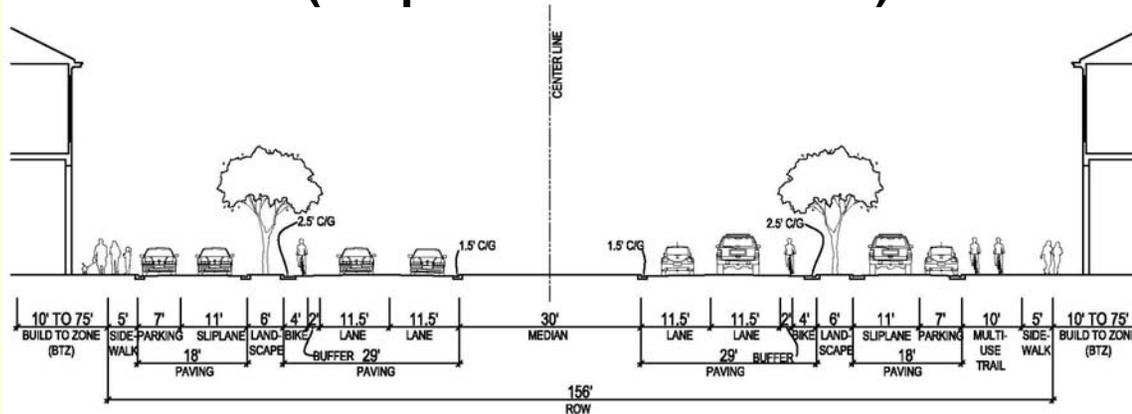
- Full intersection in FAABS
- Full intersection recommended by VHSDP
- Right-in / Right-out in FAABS

2012 SDP Strategy 2: Required Cross Sections Built by Developer

Paseo del Norte (Proposed Cross Section)



Unser Boulevard (Proposed Cross Section)



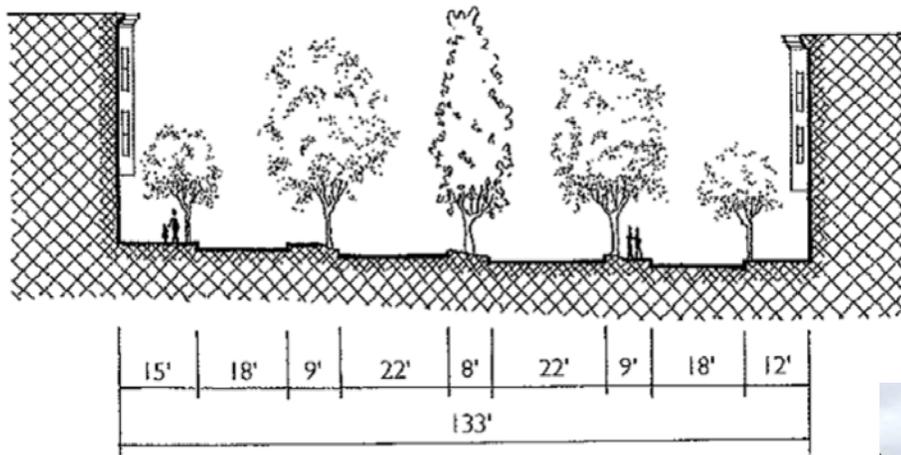
2012 SDP Strategy 2:

Paseo del Norte Comparison: Lawrence Expressway



- Sunnyvale, CA
- 60,000+ daily cars
 - Similar to Paseo del Norte 2035 traffic forecast & travel speeds
 - Mix of grade-separated and at-grade intersections
- Signal spacing every $\frac{1}{4}$ to $\frac{1}{8}$ mile on some segments
- Acceptable level of service (LOS) with 6 lanes (+2 HOV lanes)

2012 SDP Strategy 2: Unser Blvd. Comparison: Octavia Blvd.



- San Francisco, CA
- 45,000 daily cars
 - Unser ~ 14,000 daily cars
- Right-of-way similar to proposed Unser Blvd.
 - Narrower median
 - Side road & parking



2012 SDP Strategy 2:

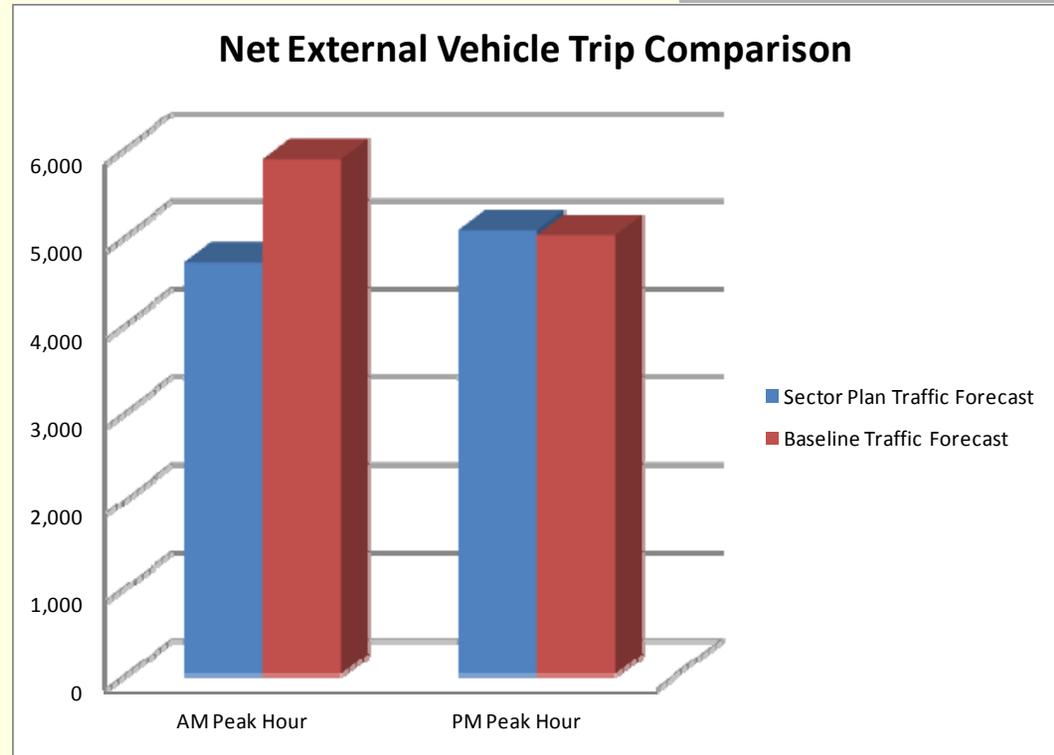
Traffic Study Comparison: 2035 Forecast

- 2012 Plan vs. 2006 Conceptual Plan (Basis for 2035 forecast)
 - Baseline (2006):
 - Town Center concept
 - More jobs, less housing
 - Office Park component
 - Sector Plan (2012):
 - Smaller, less dense Town Center concept
 - Fewer jobs, increased housing component
 - Street network
 - Shorter trips with more access points
 - Shorter trips with smaller blocks
 - Shorter trips with mix of uses

2012 SDP Strategy 2:

Traffic Study: Regional Impact

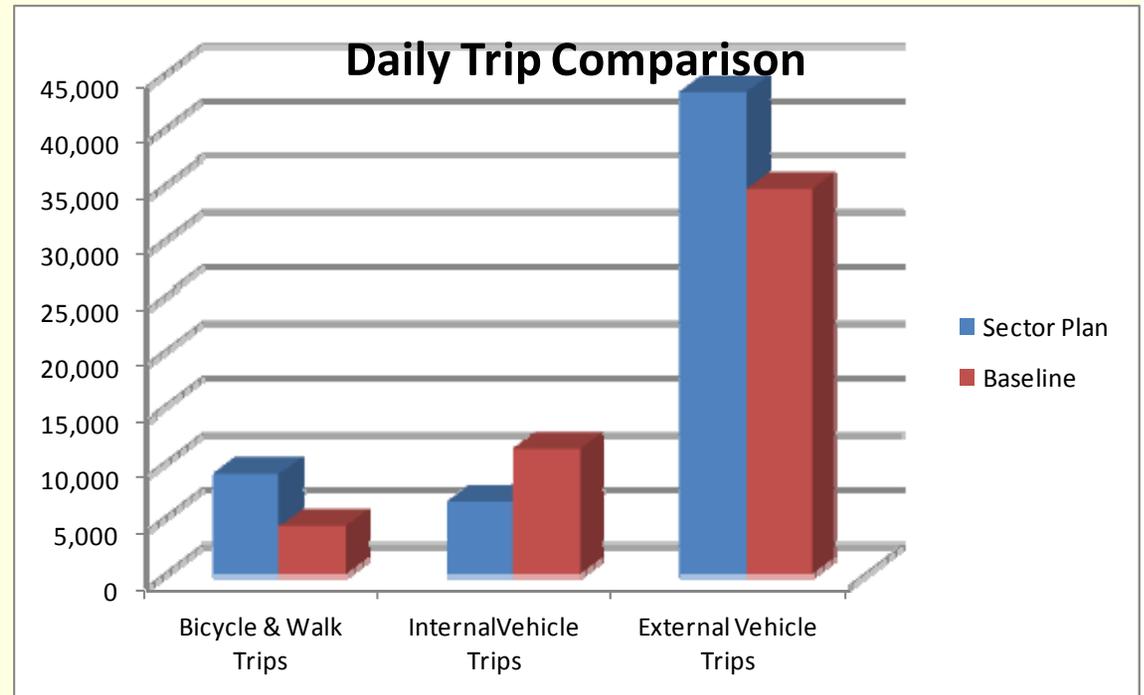
- Peak Hour traffic:
 - Reduced AM trips
 - No increase in PM trips
- More internal trips with mix of land uses
- More dispersed traffic with more access points
- Acceptable Level of Service (LOS)



2012 SDP Strategy 2:

Traffic Study: Local and Regional Impact

- More daily vehicle trips
 - More daily trips with residential uses
 - Shorter trips with mix of uses
- More bicycle & walking trips
 - Smaller blocks
 - Shorter trips with mix of uses



2012 SDP Strategy 2:

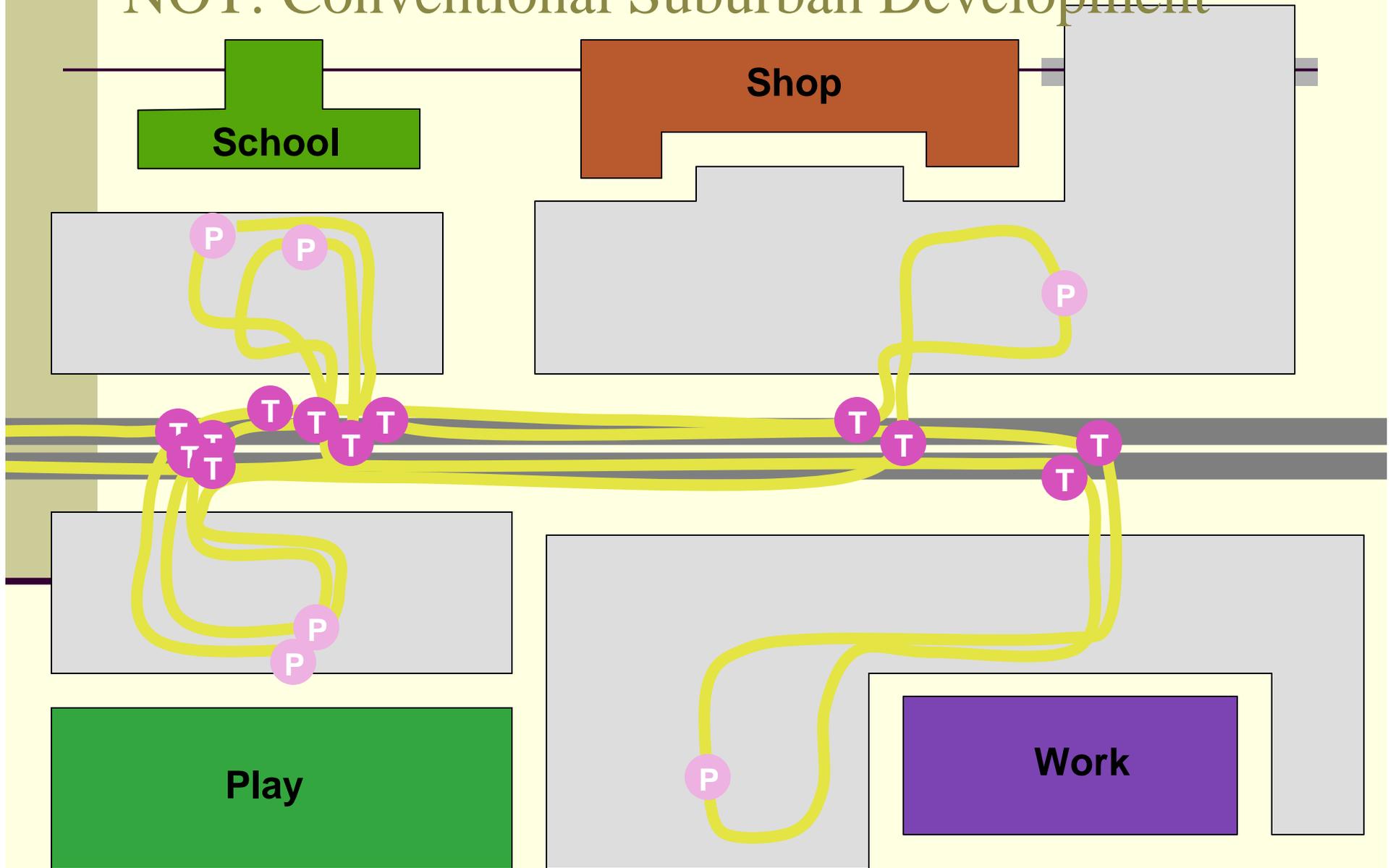
Multi-modal Transportation & Land Use

- Doesn't require **transit**, but at least it's an option!
- Doesn't require more people to **walk**, but at least encourages it!
- Doesn't ensure more **bicycling**, but at least plans for it!



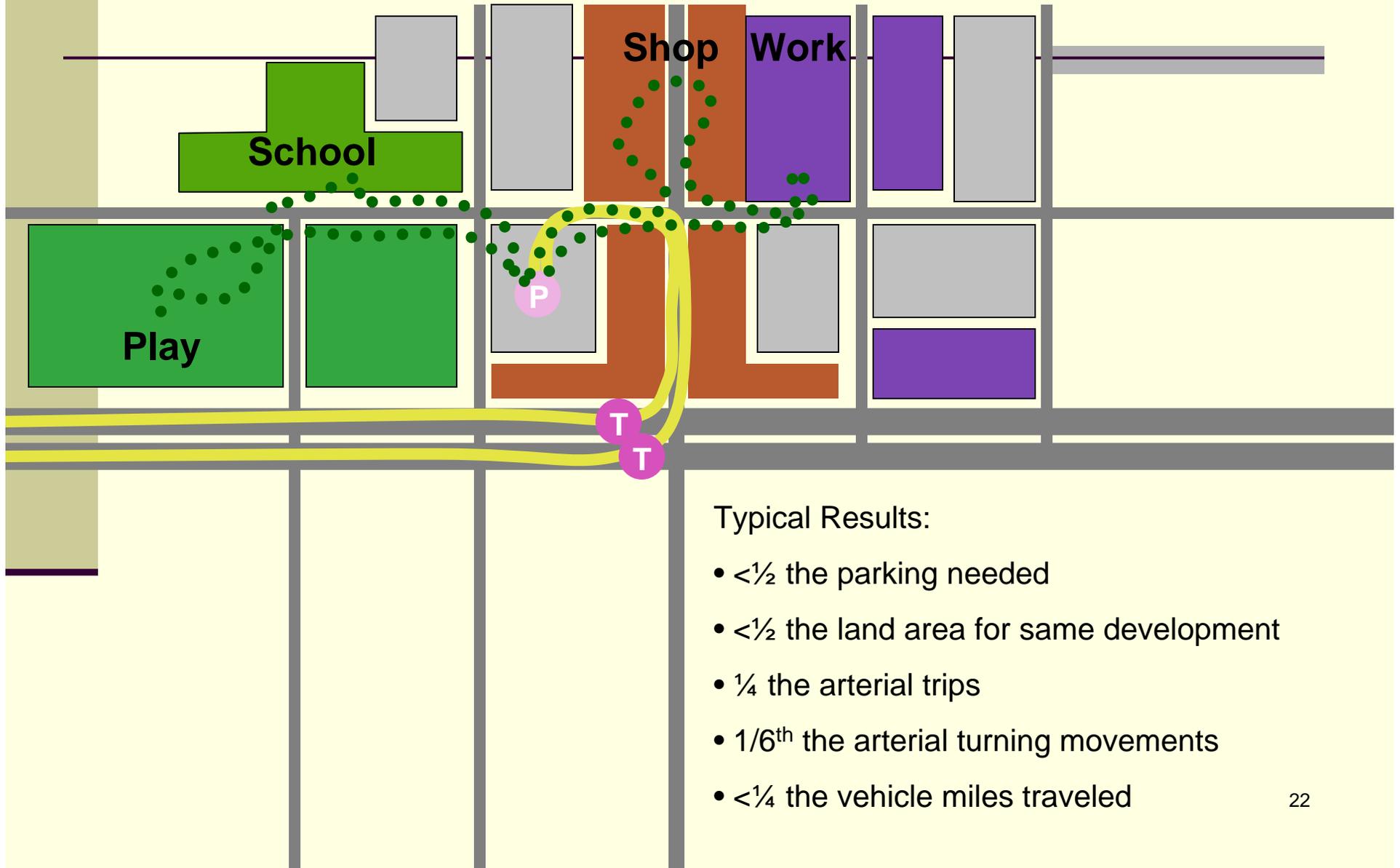
2012 SDP Strategy 2:

NOT: Conventional Suburban Development



2012 SDP Strategy 2:

INSTEAD: Mixed Use (“Park Once”) District



Typical Results:

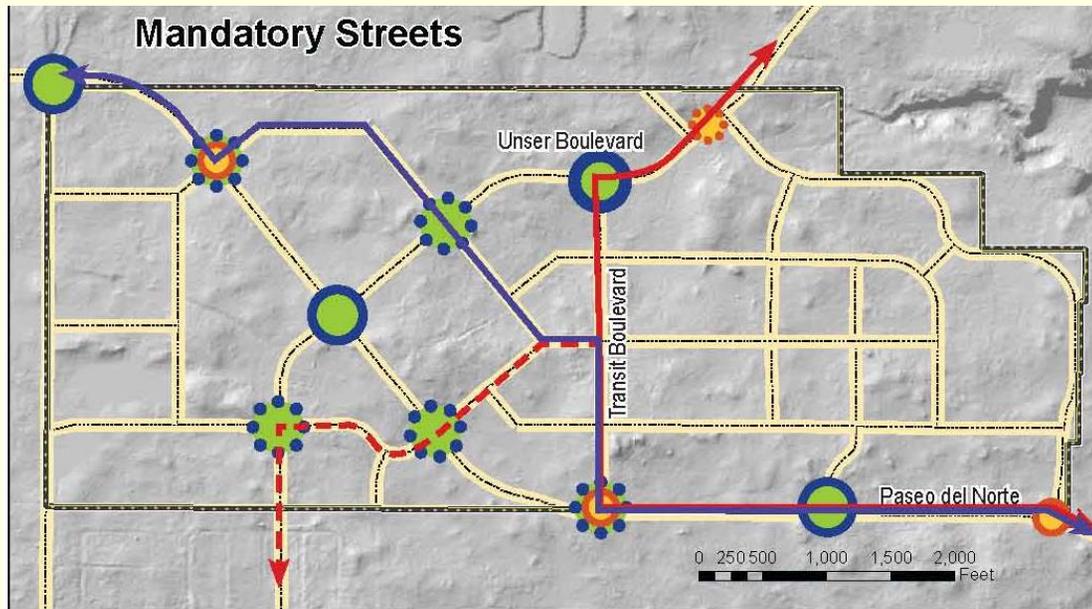
- $< \frac{1}{2}$ the parking needed
- $< \frac{1}{2}$ the land area for same development
- $\frac{1}{4}$ the arterial trips
- $\frac{1}{6}^{\text{th}}$ the arterial turning movements
- $< \frac{1}{4}$ the vehicle miles traveled

2012 SDP Strategy 2:

TOWN CENTER: Transit-oriented Development



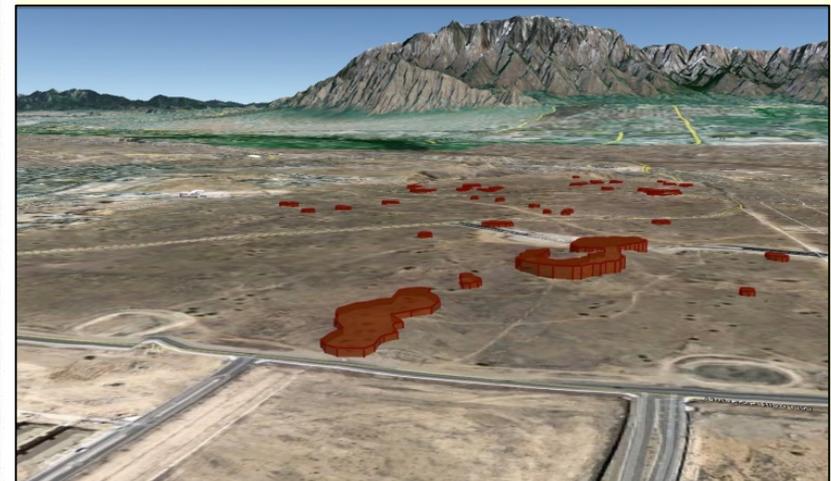
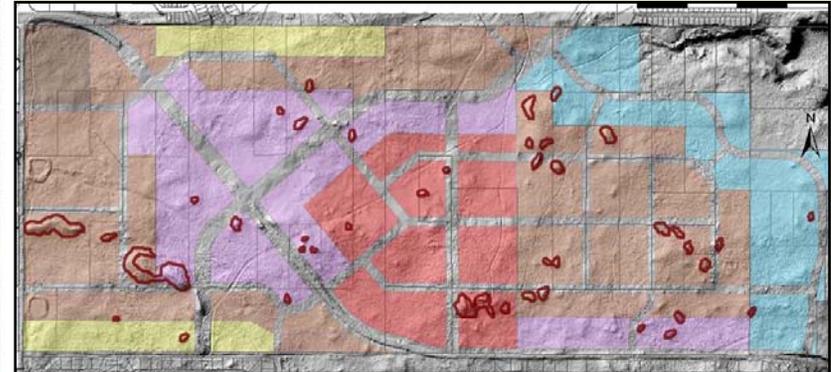
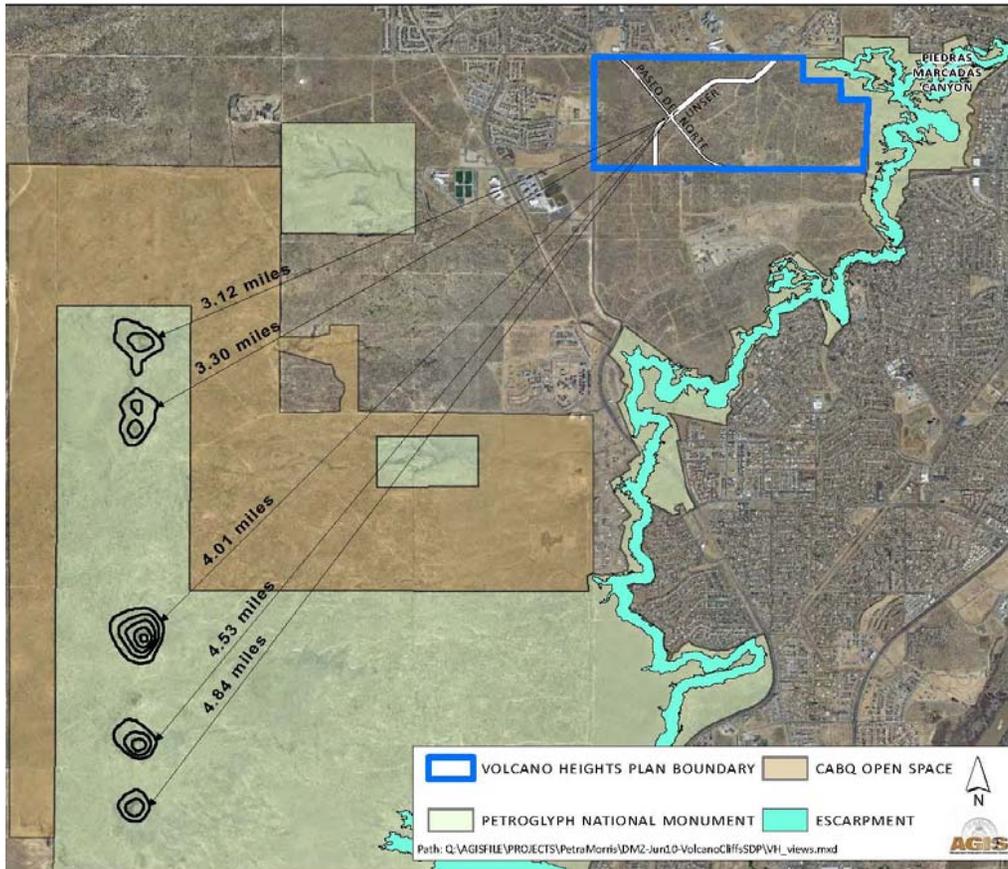
2012 SDP Strategy 2: High Capacity Transit Corridor



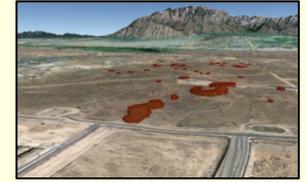
Potential Bus Rapid Transit (BRT) Routes

- MRCOG Study 2012
 - Links Rio Rancho – Unser – Paseo del Norte – Journal Center/I-25/ RailRunner
 - Opportunity for urban, walkable, Transit-oriented Development (TOD)

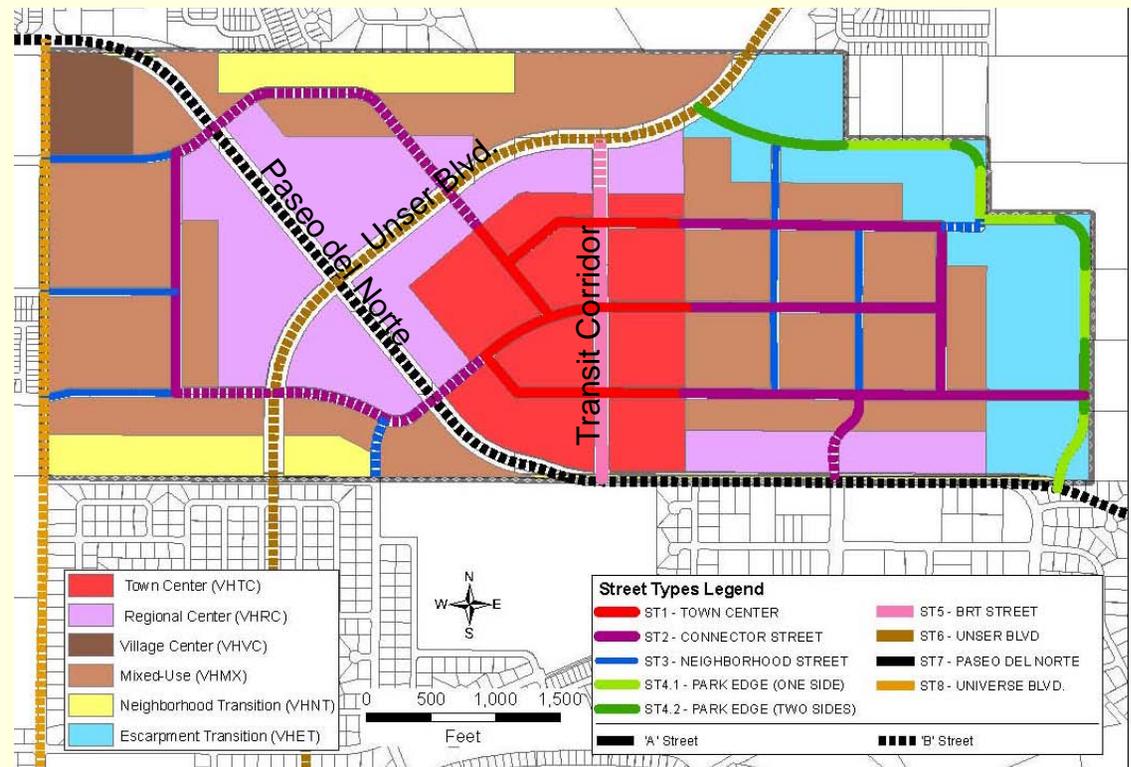
Challenge 3: Rock Outcroppings, Monument, & Views



2012 SDP Strategy 3: View Preservation



- East-west Mandatory Street grid
- Stepped down heights toward Petroglyph Monument edge
- Optional bonus height system to ensure higher buildings provide benefits to natural and built environments



2012 SDP Strategy 3: Optional Bonus Height System

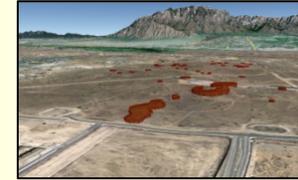


TABLE 7.2 – BONUS HEIGHT POINTS PER CRITERION

Criteria for Optional Height Bonuses	Points
I. Natural Environment Bonus Criteria	
a. Rock outcropping dedications	25
b. Rock outcropping private preservation*	20
Public Access Easement (<i>Optional Bonus</i>)	5
c. Open space dedications	20
For dedications abutting rock outcroppings or other features deemed significant by the City Open Space Division (<i>Optional Bonus</i>)	5
d. Private park construction	20
e. Public park land dedication of at least 2 acres	15
f. Private walkway connection to rock outcropping, parks, trails, rock outcroppings, or other features deemed significant by the City Open Space Division	10
Up to 2 additional connections to features deemed significant by the City Open Space Division (<i>Optional Bonus</i>)	5 each
g. Landscaping / natural buffers in addition to what's required by Zone	10
h. Shared drainage/swales on adjacent developments / Low Impact Design (LID)	10
i. View preservation	10
j. Community garden	10
k. Interpretive signage	5
l. Preservation of native vegetation	5
m. Other benefits to the natural environment	5

TABLE 7.1 – TOTAL POINTS FOR HEIGHT BONUS BY CHARACTER ZONE

Height Bonus Criteria	Height Bonus			
	VHTC	VHRC	VHVC	VHMX
Maximum Height Allowed by Zone	40 ft.	40 ft.	40 ft.	26 ft.
Maximum Height with Bonus	75 ft.	60 ft.	60 ft.	40 ft.
I. Natural Environment Bonus Criteria	50 pts.	35 pts.	25 pts.	50 pts.
II. Built Environment Bonus Criteria	50 pts.	40 pts.	25 pts.	50 pts.
Total Points Required to Receive Height Bonus	100 pts.	75 pts.	50 pts.	100 pts.

Criteria for Optional Height Bonuses	Points
II. Built Environment Bonus Criteria	
a. Publicly accessible plazas / courtyards in addition to what's required by Section 10.4.4 on page 156.	25
b. Living roof or accessible roof garden	25
c. Grey water retention system	25
d. Transit shelters on transit corridors	20
e. LEED certification	20
f. Transit Center within 500 feet of proposed project	15
g. Public art	15
h. Solar panels	15
i. Permeable paving	10
j. Permanent streetscape/plaza furniture and/or features	10
k. Gateway feature at key intersections	10
l. Rooftop water harvesting / cisterns	5
m. Other sustainable building practices	5

2012 SDP Strategy 3: Rock Outcropping Preservation



- Administrative deviations to move Mandatory Streets and buildings to avoid rock outcroppings
- Required usable open space and detached open space
- Usable open space transferable across properties
- Incentives in the bonus system to preserve rock outcroppings
- “Double-dipping” for requirements and incentives

TABLE 10.1 – DETACHED OPEN SPACE: RESIDENTIAL USES

	VHTC	VHRC	VHVC	VHMX	VHNT	VHET	Total
Available Acreage*	61.2	89.1	10.8	162	28.8	54.9	406.8
Detached OS Requirement (square feet/dwelling unit)	400	400	400	400	400	400	400
Detached OS Requirement Cap (dwelling unit/acre)	40	20	30	30	6	6	—
Intended Resulting Detached Open Space Acreage**	22	16	3	45	2	3	91

* Total acreage minus Mandatory Roads minus 10% for usable open space

** For purposes of analysis only

TABLE 10.2 – DETACHED OPEN SPACE: NON-RESIDENTIAL USES

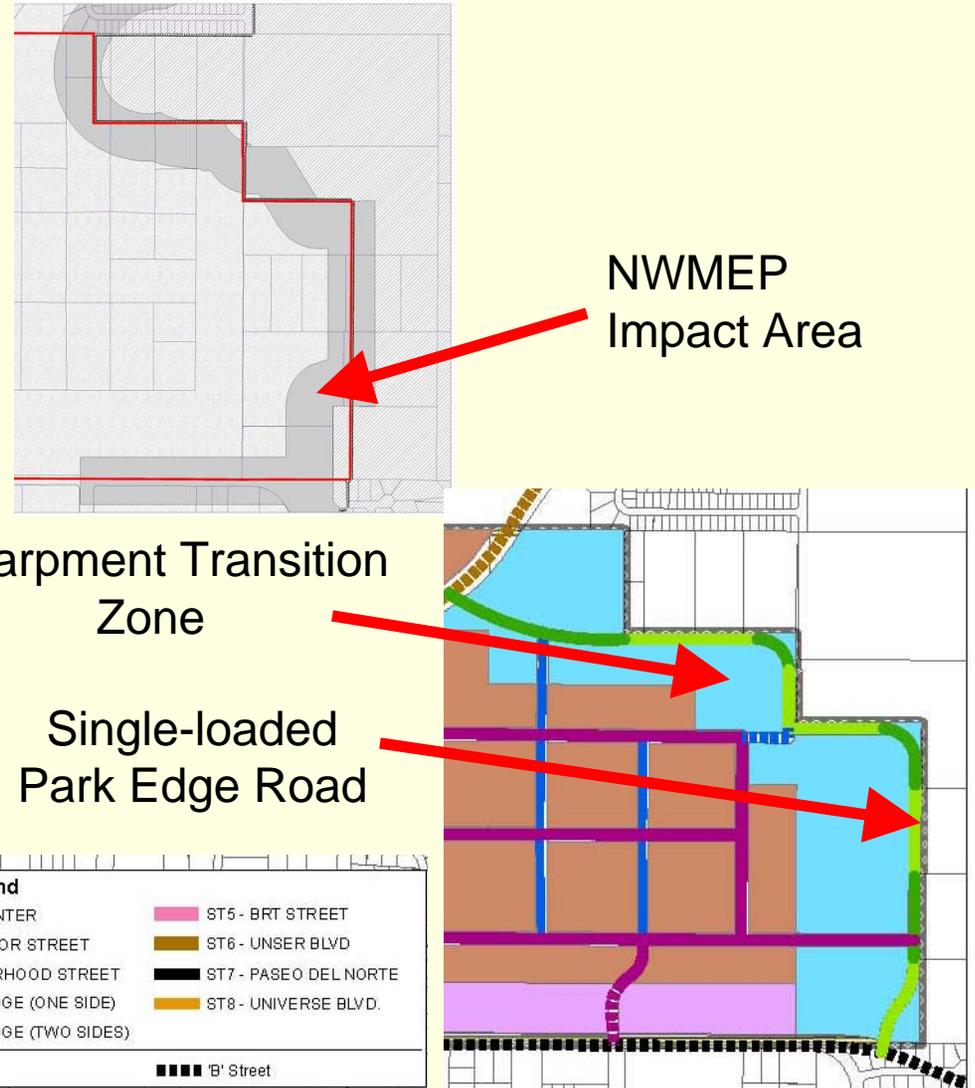
	VHTC	VHRC	VHVC	VHMX	VHNT	VHET	Total
Available Acreage*	61.2	89.1	10.8	162	28.8	54.9	406.8
Detached OS Requirement (square feet/30,000 SF building area)	2,400	2,400	2,400	2,400	NA	NA	400
Maximum Stories with Height Bonus	5	4	4	3	NA	NA	—
Intended Total Detached Open Space Acreage**	17	20	3	27	0	0	66

* Total acreage minus Mandatory Roads minus 10% for usable open space

** For purposes of analysis only

2012 SDP Strategy 3: Petroglyph National Monument Protections

- Rank III Northwest Mesa Escarpment Plan height limit of 15 feet in Impact Area
- 18-feet allowed within 200 feet of Monument, with up to 50% of building footprint allowed to go to 26 feet
- Escarpment Transition Zone to limit intensity and density of uses
- Single-loaded, mandatory Park Edge Road

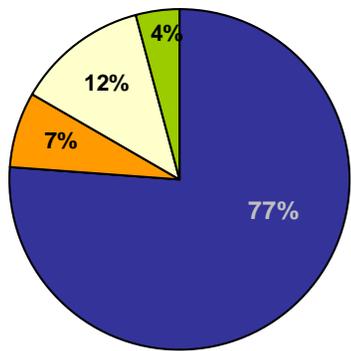
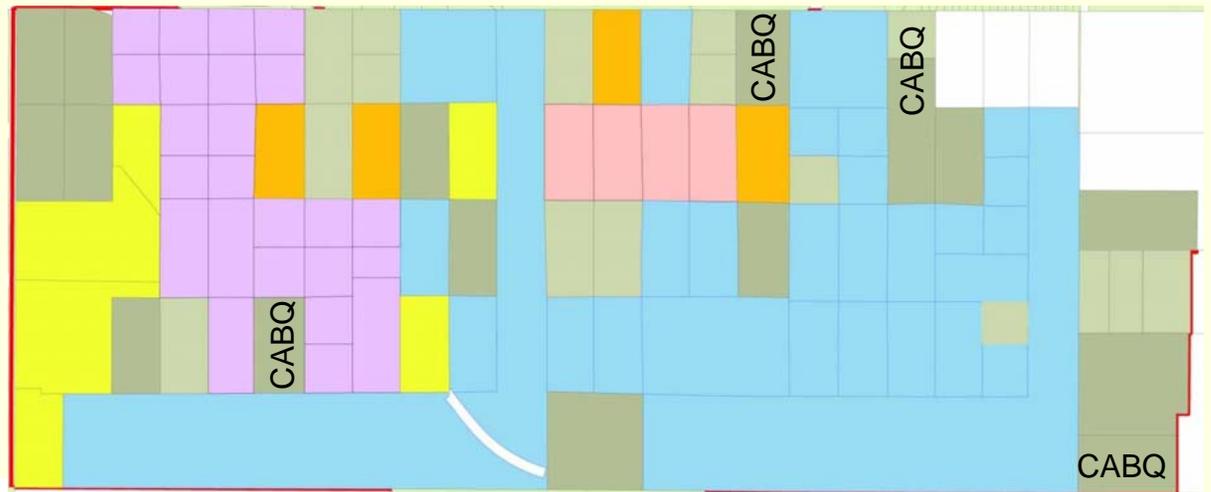


August 30, 2012

Challenge 4:

Undeveloped Area with Checkerboard Ownership

- 570 acres
- ~ 5-acre lots
- 34 owners
- 99 properties
- 5 owners = 413 acres



- Owners 20+ acres
- Owners 10-20 acres
- Owners 5-10 acres
- Owners <5 acres

- 259 Acres
- 69 Acres
- 45 Acres
- 20 Acres
- 20 Acres

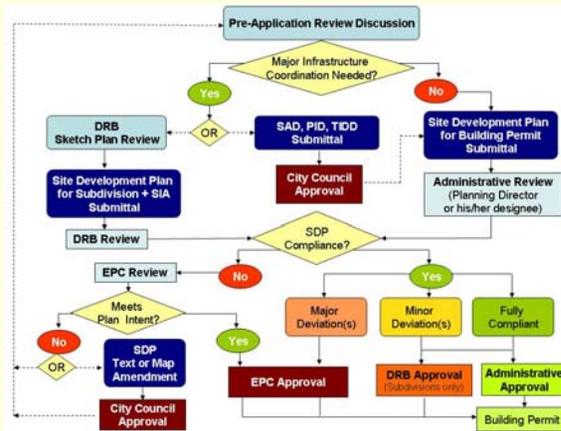
- 5-12 Acres
- <5 Acres

2012 SDP Strategy 4:

Coordination across properties, along corridors, & over time

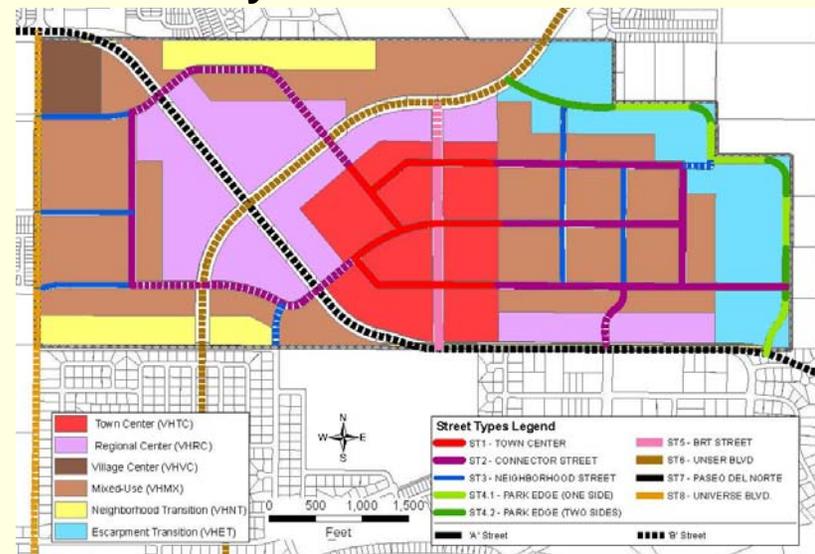
- Mandatory & non-mandatory streets
- Development review process emphasizing infrastructure coordination
- Detailed site development & building design standards

Development Review Process

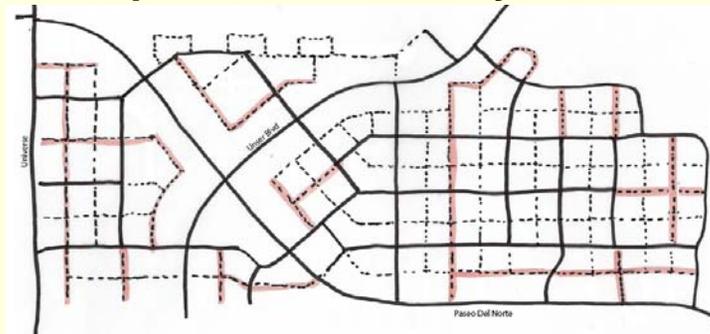


August 30, 2012

Mandatory Streets



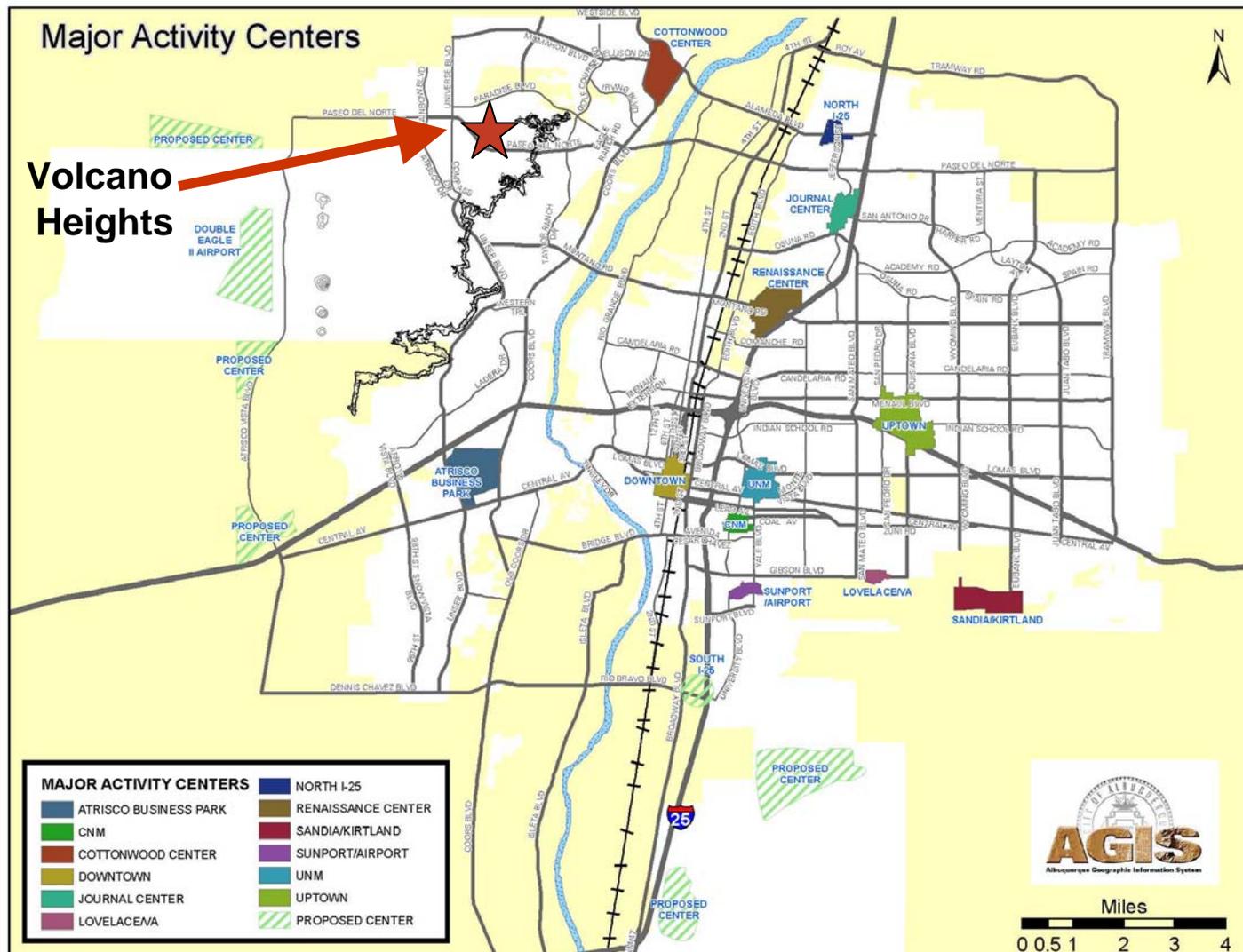
Sample Non-mandatory Streets



VHSDP - Overview

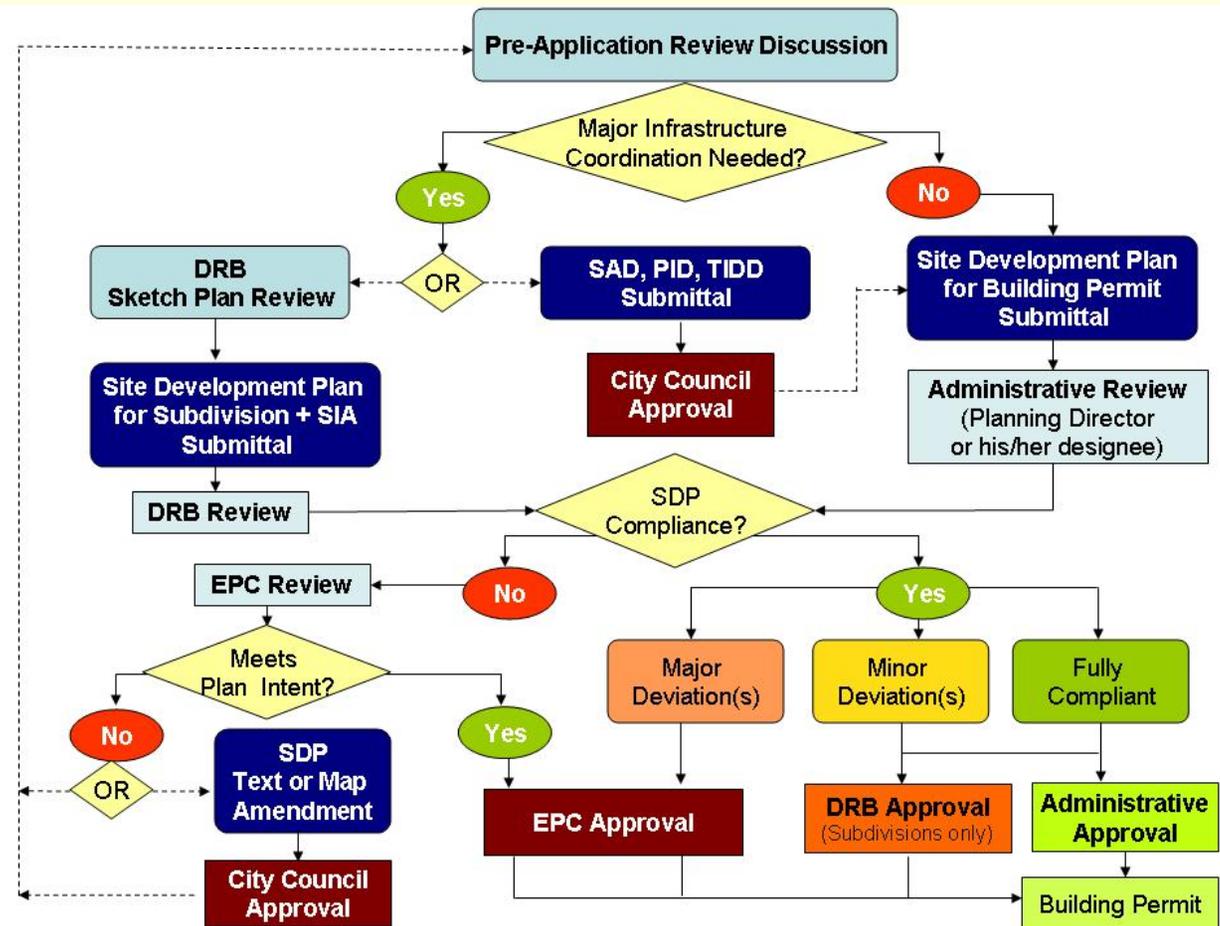
31

Challenge 5: Major Activity Center (MAC)



2012 SDP Strategy 5: Flexible, Predictable Phased-in Development

- Streamlined development review process
- Entitlements that allow density and flexibility
- Site development and building design standards to create urban environment
- Zoning that allows mix of retail, services, jobs, and residential
- Strategies to emphasize cross-property coordination
- Strategies to protect neighborhoods & sensitive lands



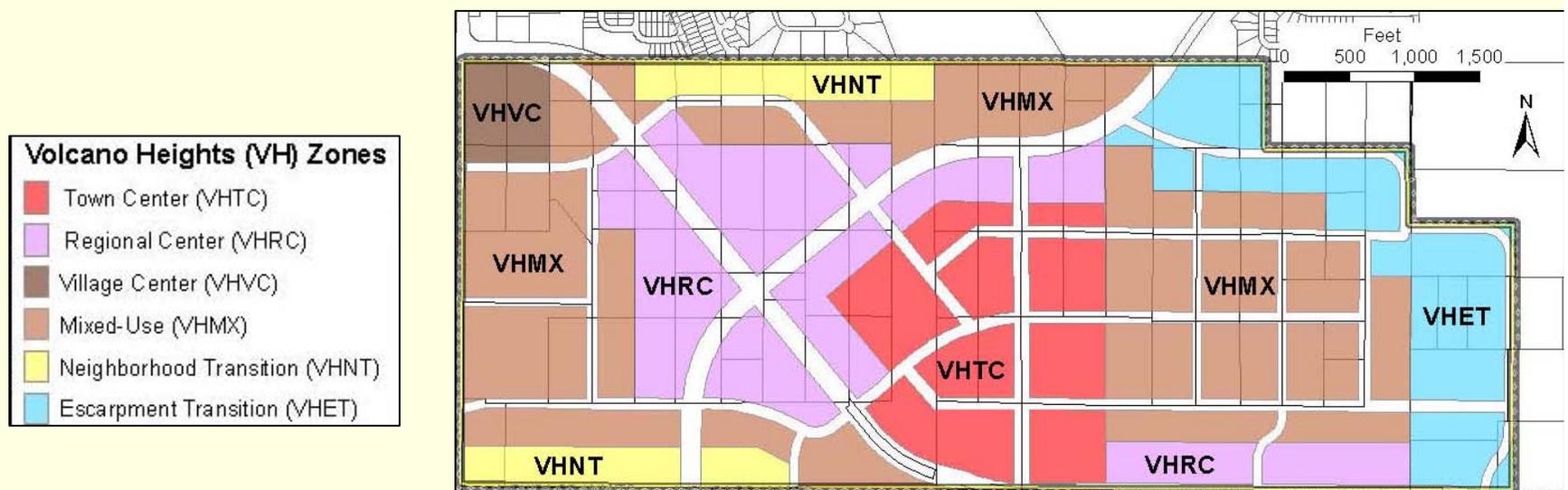
2012 SDP Strategy 5: Flexible, Predictable Development Pattern

Flexibility

- Mixed use permitted everywhere
- No regulations on architectural style
- Non-mandatory street options
- Bonus height options

Predictability

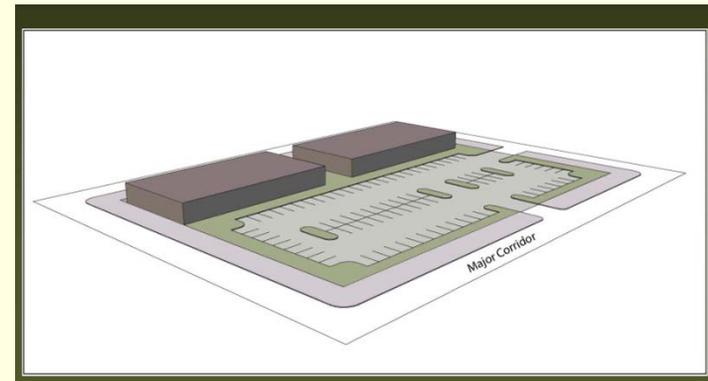
- Site development standards
- Building design standards
- Mandatory street locations & cross sections
- Streamlined development review



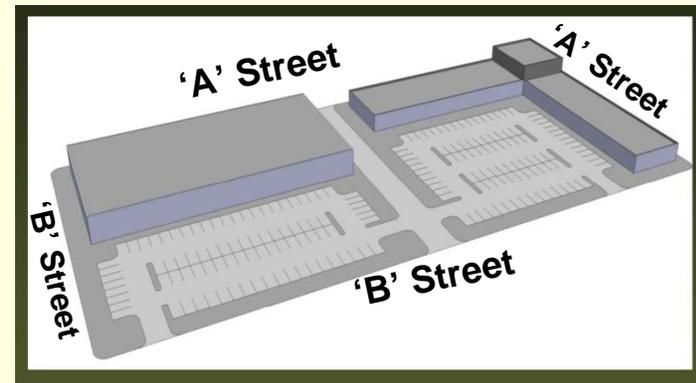
2012 SDP Strategy 5: Flexible, Phased-in Development Pattern

1. **No required phasing** of development in zones or along corridors.
2. **Site development standards** to encourage density over time.
3. **Commercial-ready ground floors** required along Transit Blvd. in Town Center zone.
4. **Minimum ground floor heights** in other zones that could accommodate retail uses in the future.

Suburban Development Model



VH Development Model



2012 Sector Development Plan:

What's different this time?

Planning Effort	Development Vision	Issues
2006	<ul style="list-style-type: none"> ■ Smallest Town Center: 18,000 jobs / 5 million SF office & retail / 12,000 du / 30,000+ residents ■ Office-uses in campus-like settings 	<ul style="list-style-type: none"> ■ Too much office/retail ■ Required phasing ■ Lack of detailed transportation coordination
2010	<ul style="list-style-type: none"> ■ Largest Town Center: 20,000 jobs / 5 million SF office & retail / 2,000 du / 5,400 residents / ■ Office vs. multifamily residential zones 	<ul style="list-style-type: none"> ■ Too much office/retail ■ Required parking structures & 2-story minimums ■ Lack of transitions for existing neighborhoods
2012	<ul style="list-style-type: none"> ■ Medium-sized Town Center ■ In Plan area: 5,500 jobs / <2 million SF office & retail in Plan area / 4,500+ du / 12,500+ residents ■ Mixed-use zones, special zone surrounding Paseo/Unser, transition zones 	<ul style="list-style-type: none"> ■ Comprehensive ■ Complex ■ Detailed ■ Innovative

2012 Sector Development Plan: Elements for Success

Vision



Flexibility



Predictability



Strategic Engagement

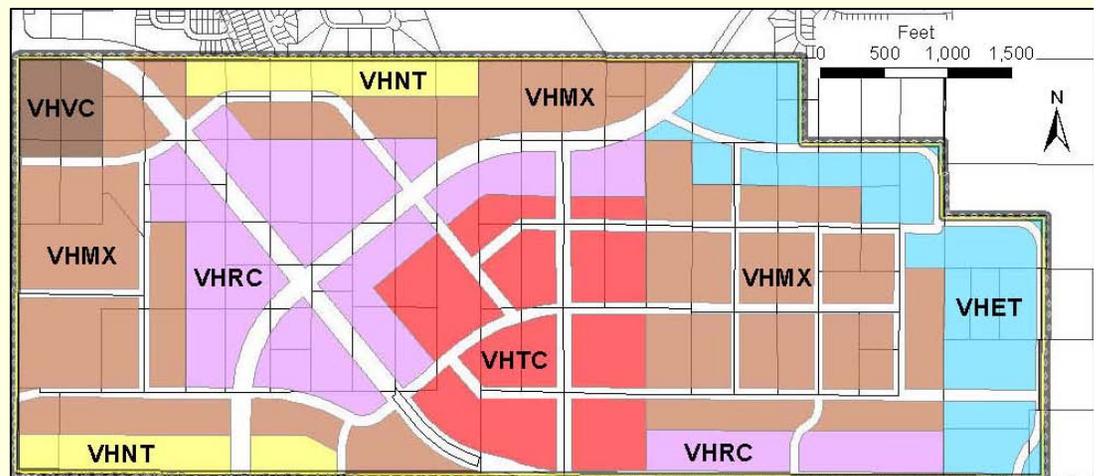


2012 Volcano Heights SDP: Vision

Vision

- 1. Major Activity Center** focused on employment and regional and local goods and services in walkable distance.
- 2. Protections for natural environment** including rock outcroppings, Petroglyph National Monument, views, and other sensitive lands.
- 3. Street network grid** to coordinate development, ensure access, & ease congestion.
- 4. Pedestrian & bike-friendly, transit-ready streets & development pattern** to support viable alternative transportation choices over time.

Volcano Heights (VH) Zones	
	Town Center (VHTC)
	Regional Center (VHRC)
	Village Center (VHVC)
	Mixed-Use (VHMX)
	Neighborhood Transition (VHNT)
	Escarpment Transition (VHET)



2012 Volcano Heights SDP: Approach

Flexibility



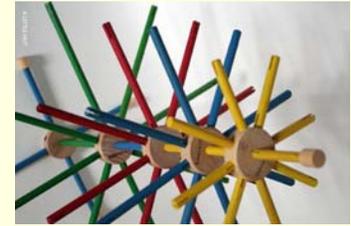
1. **Flexibility of land use** in mixed-use zones.
2. **Bonus-height system** to balance need for density and quality built environment with responsibility to natural environment.
3. **Non-mandatory street options** to best serve local development.

Predictability



4. **Streamlined development review** to encourage quality development projects.
5. **Detailed site development and building design standards** to ensure predictable, high-quality development across property lines, along corridors, and over time.
6. **Built-in protections** for existing single-family neighborhoods and open space.
7. **Mandatory streets** to ensure local access and disperse regional traffic.

Strategic Engagement: Separate, Parallel Planning Efforts



■ Mid Region Council of Governments

- High-capacity Transit Study for Paseo del Norte - Rio Rancho to Journal Center/I-25

■ City Department of Municipal Development (DMD) & Planning

- Access-modification process for intersections along Paseo del Norte & Unser Boulevard

■ City ABQ Ride

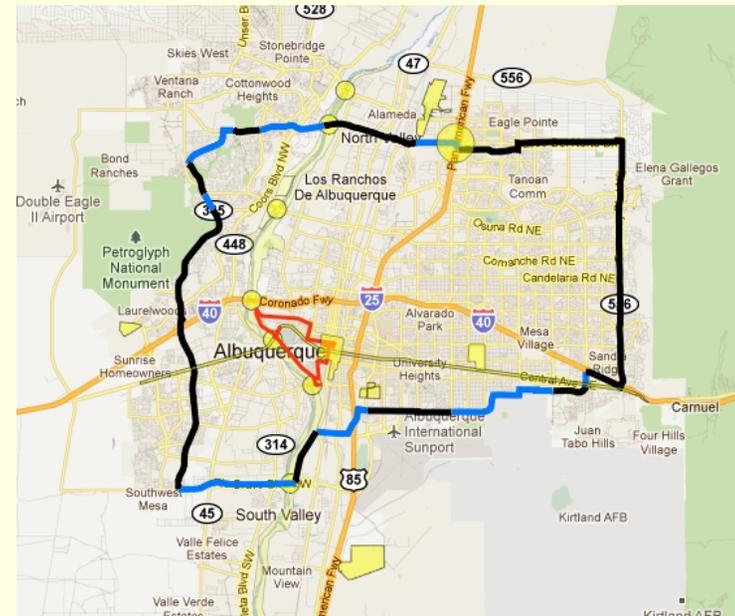
- Park & Ride location – short-term
- Transit Center – long-term

■ City Mayor's Office

- 50-mile bike loop

■ City Planning

- Update Comprehensive Plan Centers & Corridors Map



2012 Volcano Heights SDP:

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Review EPC Draft:

<http://www.cabq.gov/planning/residents/sector-development-plans/volcano-mesa-area-sector-development-plans/volcano-heights-sector/>

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Strategic Engagement:

Next Steps: 2012 Sector Development Plan



■ Adoption Process*

- October 4, 1 p.m.: EPC Hearing #1
- December 6: EPC Hearing #2
- Spring 2013: Land-Use Planning and Zoning (LUPZ) Committee (~2 hearings)
- Spring/Summer 2013*: City Council (~ 2 hearings)

** Dates/times subject to EPC action and public support*

■ Strategic Engagement: Your Part

- Written comments
- Testimony
 - Support for Plan strategies and/or details
 - Suggestions for improvements



Volcano Heights Sector Development Plan

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City's Project Webpage:

<http://www.cabq.gov/planning/residents/sector-development-plans/volcano-mesa-area-sector-development-plans/volcano-heights-sector/>