

# JOURNAL CENTER 2

## Land Development Design Guidelines

Revised December 2003

A Supplemental Document to the

- Covenants
- Sign Code
- Project Standards
- Park Development Standards

of the JOURNAL CENTER

**prepared by**

Sites Southwest, Inc. and Dekker/Perich/Sabatini, Ltd.

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## Description

Journal Center 2 is a mixed-use office/industrial park located on the west side of Jefferson Boulevard, north of Ellison Street and South of Paseo del Norte. This project contains approximately 80 acres of land and is bordered on the north by the AMAFCA North Pino Drainage right-of-way, on the south by the Interstate Industrial Park and on the west by the North Diversion Channel. Journal Center 2 was planned as a high quality community of businesses with a balanced auto/pedestrian orientation. There are currently several properties in the north I-25 area that are being developed and redeveloped with Class A office space. Journal Center 2 will provide additional sites for continued growth.

Journal Center 2 is a business park with three distinct land use areas or categories. These areas follow a hierarchy from larger office sites generally near the east and the west end of the project to smaller office sites internally with office/warehouse uses near the park's center. The areas include:

- Large Office Campus (4+ acre lots)
- Small Office (1/2+ acre lots)
- Office/Warehouse (1.0+ acre lots)

## Purpose

The purpose of these Design Guidelines is to establish a code for site planning, landscaping and architecture with which all property owners must comply. The goal is the creation of an office/industrial park that is based upon sound principles of land use, transportation, aesthetics and sustainability and that highlights the unique characteristics of the desert southwest. In order to ensure attractive transitions between different land uses and lot sizes this document includes design guidelines for building and parking setbacks, screening, material use, and other development considerations.

The overall vision for Journal Center 2 is created by:

- Establishing a contemporary and integrated architectural design theme throughout
- Establishing screening, landscaping and pedestrian requirements
- Establishing a color palette and a materials list to compliment contemporary architecture
- Incorporating updated landscaped design and providing a list of acceptable plants in order to comply with the new City Water Conservation and Pollen Ordinances

These Design Guidelines are the "Phase 2 Standards" as defined in the Amended Declaration (defined below).

## Relationship of Journal Center to Journal Center 2

Journal Center 2 shares the Journal Center planning concept of an integrated office/industrial campus with a park-like setting. The Journal Center 2 Design Guidelines were developed to supplement the Journal Center Standards [and Sign Code] for Journal Center 2. The Journal Center Standards and the Journal Center 2 Design Guidelines must be read in

conjunction with each other. Planning and design in Journal Center 2 is therefore addressed in the Journal Center 2 Documents, Journal Center Documents and the City of Albuquerque code and ordinances.

In addition to being subject to these Journal Center 2 Design Guidelines and the Amended Declaration, Journal Center 2 is subject to all of the Journal Center Documents. In the event of a conflict between the Journal Center Standards and the Journal Center 2 Design Guidelines, the Journal Center 2 Design Guidelines will control for Journal Center 2 property. Any prospective lot developer or property owner must meet all of the requirements and standards set forth in both the Journal Center Standards and the Journal Center 2 Design Guidelines.

Property developed in Journal Center must be approved by the Journal Center ARC, which, among other items, reviews for compliance with the Journal Center Standards. Property developed in Journal Center 2 also must be approved by the Journal Center 2 ARC, which, among other items, reviews for compliance with the Journal Center 2 Design Guidelines. Any prospective lot developer or property owner must follow the approval processes for both Journal Center and Journal Center 2 (see Section 3, Design Approval Process).

## Role Of Journal Center 2 Architectural Review Committee

Journal Center 2 ARC may retain review responsibilities (unless relinquished earlier) for four years after the release of their ownership in the property of Journal Center 2. The Journal Center 2 ARC is responsible for reviewing plans for compliance with all of the Journal Center Documents and Journal Center 2 Documents, and then recommending approval or disapproval of plans to the ARC. The review of plans by Journal Center 2 ARC shall be in addition to, and will not in any way affect or abridge the review by the Journal Center ARC under the Journal Center Documents or any other requirement under the Journal Center Documents. No plans shall be finally approved unless and until the Journal Center ARC has approved such plans pursuant to the terms of the Declaration. In the event of any conflict between the decisions of the Journal Center ARC and the Journal Center 2 ARC, the decision of the Journal Center ARC shall control.

Review of, and recommendation concerning, the plans by the Journal Center 2 ARC shall be based, among other things, and in addition to those items enumerated in the Journal Center Documents, on conformity of the plans to the Journal Center 2 Design Guidelines and the Amended Declaration.

Any matter requiring review and approval by the Journal Center 2 ARC, should be submitted directly to the Journal Center 2 ARC.

Pursuant to the Amended Declaration., the Journal Center 2 ARC has the power to amend these Journal Center 2 Design Guidelines, as it deems appropriate.

Four years after the time that Tiburon no longer owns property in Journal Center 2, the Journal Center 2 ARC shall cease to function and exist. At that time all reviews shall be made by the Journal Center ARC. Journal Center ARC will review plans for compliance with all of the Journal Center Documents and Journal Center 2 Documents and Journal Center 2 shall continue to be subject to the Journal Center 2 Documents. Tiburon may terminate the existence of the Journal Center 2 ARC prior to the time described above by executing a written instrument in recordable form and having the document recorded in the real estate records of Bernalillo County.

# Definitions

**AMAFCA.** Albuquerque Metropolitan Area Flood Control Authority maintains and owns the adjacent North Pino Drainage Right-of-Way, and the North Diversion Channel.

**Amended Declaration.** The First Amended Declaration of Protective Covenants for Journal Center Industrial Park (Journal Center Phase 2) recorded on March 20, 2001 as document 2001031047 in Book AIG, page 9531, records of Bernalillo County, New Mexico relating to Journal Center 2.

**Americans with Disabilities Act (ADA).** A Federal Act requiring appropriate design for accessibility via wheelchair. This effects exterior grades along walks, doorway openings and circulation / movement standards.

**Architectural Theme.** A consistent type of architecture throughout. At Journal Center 2 the architectural theme shall be of a "contemporary" style (No Pueblo revival, Territorial or Northern NM or other "historical styles" of architecture are allowed).

**Bollard.** A thick post used to discourage or block vehicular access. Typically of a concrete or masonry material. May contain a light.

**Building Setbacks.** Minimum distance required from the street right of way or property lines to the parking lot or the building.

**City.** City of Albuquerque, New Mexico

**City Zone Code IP (Industrial Park) Standards.** The City of Albuquerque Zone Code which sets forth all minimum standards for development within Journal Center 2. Journal Center 2 is zoned IP.

**Common Areas and Private Areas.** Journal Center 2 will install landscaping in the most critical "Common Areas" along the street and at intersections. Individual property owners will be responsible for all "Private and Common Area" improvements including landscaping in parkway strips, front and side yards, and public sidewalks. The common area parkway strip (between the street curb and the sidewalk) is to be connected to the common area landscape irrigation and then is to be turned over to Journal Center 2 for maintenance.

**Design Development Plan.** The Site Plan and the Plans and Specifications to be submitted and reviewed by the Journal Center 2 ARC and the Journal Center ARC pursuant to the Journal Center Documents and Journal Center 2 Documents.

**Floor Area Ratio (FAR).** That ratio between the total building size and the lot size. (For example, a 10,000 SF building on a 50,000 SF lot = an FAR of .20).

**Journal Center 2.** An office/industrial park, located on the west side of Jefferson Boulevard, north of Ellison Street and south of Paseo del Norte. The second "Phase" of the Journal Center.

**Journal Center 2 ARC.** The architectural review committee established pursuant to the Journal Center 2 Documents responsible for reviewing building plans, alterations, signage etc. for Journal Center 2.

**Journal Center 2 Common Properties.** Those "Phase 2 Common Properties" as defined in the Amended Declaration.

**Journal Center 2 Documents.** In addition to the Journal Center Documents, the First Amended Declaration of Protective Covenants for Journal Center Industrial Park (Journal Center Phase 2) recorded or to be recorded in the records of Bernalillo County, New Mexico, and these Design Guidelines, as amended and supplemented.

**Journal Center ARC.** The architectural review committee established pursuant to the Journal Center Documents responsible for reviewing building plans, alterations, signage etc. for Journal Center and, pursuant to the Journal Center 2 Documents, responsible for reviewing building plans, alterations, signage etc. for Journal Center 2.

**Journal Center Documents.** The Journal Center Master Plan prepared by Langdon & Wilson Architects and Amendment to Master Site Plan amended on August 24, 2000, the Declaration of Protective Covenants for Journal Center Industrial Park recorded in Bernalillo County New Mexico on July 26, 1984 as document no. 84-56323, the Journal Center Park Development Standards, the Journal Center Sign Guidelines/Sign Code, Journal Center Standards as amended and supplemented.

**Landscape Plan.** The Landscape Plan available from Journal Center 2 and a part of these Design Guidelines.

**Landscaping.** Typically pervious surfaces which are to be landscaped, not including driveways, sidewalks, parking lots and streets.

**Lighting - Shoebox.** A style of light that is rectangular.

**Lighting.** Shielded horizontal cut-off lamps are required.

**Mansard Roof.** A type of roof that acts also as fascia on a building facade. These types of roofs are not allowed.

**Massing.** The relationship between the volumes of space within a building made up of height, width and length, as visible from adjacent properties.

**Maximum Building Height.** The maximum height of buildings as established in these Design Guidelines.

**Parking Requirements.** Parking requirements shall be per the IP zoning district in the City Zone Code.

**Parkway.** That portion of the public right of way located between the street curb and the sidewalk, improved with landscaping.

**Reflexivity Value.** A value given to colors based on its inability to absorb light.

**Schematic Site Plan.** An initial or conceptual plan as submitted to the ARC of the Journal Center 2.

**Signs/Building Wall Signs.** Signs mounted directly on a building face.

**Signs/Permanent Ground Signs.** Signs that are detached from a building wall, sometimes called monument signs.

**Solar Gain Restriction.** A restriction of the City of Albuquerque Zone Code from the northern boundary of a property that further limits the location of a building to reduce the shadow effect on property to the north during winter months.

**Stormwater Treatment Device.** A device which is installed on the site which is intended to filter stormwater of noxious materials such as suspended solids. Suspended solids include trash and other debris as small as 1/8" in size.

**Tiburon.** Tiburon Investment LLC, which is the owner of Journal Center 2 at the time of promulgation of these Design Guidelines and which is the developer of Journal Center 2.

**Vehicular Access and Circulation.** Areas on individual sites designed to accommodate vehicles for entering the site, parking, loading and unloading and exiting.

**Water Features.** Fountains, waterfalls, ponds, etc. (Not allowed within Journal Center 2).

**Water harvesting.** The collection of storm water from roof tops, parking areas and other impervious surfaces through swales and / or underground piping, and routing it for the supplement of landscape irrigation.

**Zero Lot Line Building.** A zero lot line building is a building located on a lot line with no setbacks. In the case of Journal Center 2, these buildings would straddle a property line and each half may be owned by two (2) separate entities.

## Section 1. Land Use and Character

The character of Journal Center 2 is an aesthetically pleasing, well landscaped mixed use business campus. Contemporary architecture and native or adapted plantings should be used throughout the campus in order to integrate the various land uses and businesses with one another and with the environment. To ensure that Journal Center 2 design goals are met the guidelines are organized around the following improvement categories.

- Site Planning
  - Parking and Vehicular Circulation
  - Pedestrian Connections
  - Landscaping
  - Landscape Area Designations
  - Building Setbacks
  - Screening and Shade
  - Lighting
  - Signage
  - Employee Spaces: Plazas, Storage, and Miscellaneous Space
  - Maintenance
  
- Architecture
  - Massing
  - Building Heights
  - Materials
  - Colors
  - Screening Equipment

Journal Center 2 is divided into three land use types. Each is defined below, including applicable lot numbers.

### Large Office Campus (4+ Acre Lots)

Parcels of 4 or more acres provide an opportunity for clustered or multi-story office buildings and campuses.

### Small Office (1/2+ Acre Lots)

These 1/2+ acre parcels are clustered to provide private campus-like buildings. The buildings are smaller and intended to be architecturally integrated. Pedestrian connections between the offices as well as shared parking is encouraged.



## Office/Warehouse (1+ Acre Lots)

These 1+ acre parcels are intended for offices or offices with warehouses as a transition between the Journal Center 2 office core and surrounding industrial land uses. Therefore, the street-facing elevations of these parcels shall feature offices or showrooms, leaving warehouses toward the back of the lot. This site design will aid in the integration with nearby offices. Parcels may be combined and assembled to form longer tracts with the potential to cluster buildings and share access and parking to maximize truck circulation.

## Section 2. Design Guidelines

These Design Guidelines apply to all land use areas: Large Office Campus, Small Office Campus and Office/Warehouse. However, there may be additional or different design guidelines for particular land uses within the three main land use areas. In such cases, there will be special guidelines or exceptions provided for such land uses.

### 2.1. Site Planning

#### 2.1.1. General

#### 2.1.2. Parking and Vehicular Circulation

- Parking is per Journal Center Development Standards and City of Albuquerque parking requirements.
- Parking along the sides of buildings is strongly encouraged. Where parking fronts on streets, a 3 foot solid wall or screening of mature landscaping is required (see Figures 1 and 2).
- Large truck parking shall be separated from automobile and light truck parking.

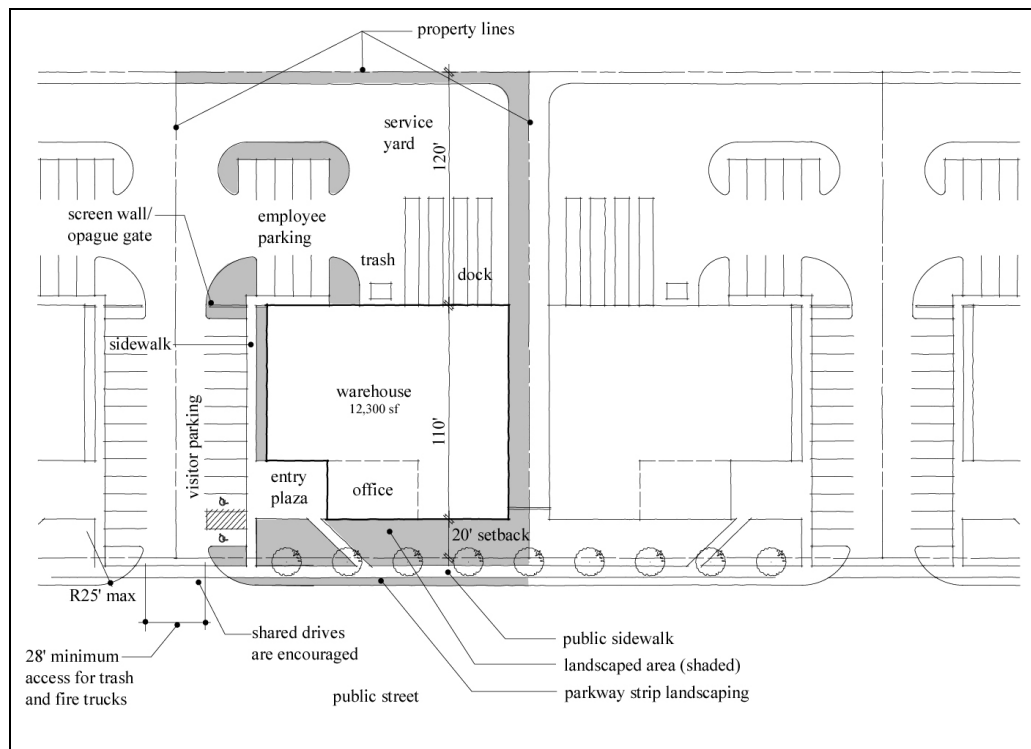


Figure 1. Building Typical Layout Traffic Circulation and Parking with Setbacks

- Allowable materials for parking surfaces include asphalt, concrete, pigmented, stamped or textured concrete, concrete pavers, stone pavers, and brick (no gravel or crusher fines are allowed). Use of pigmented paving is encouraged on the streetside of parcels.
- Large truck parking shall be screened from view from adjacent office buildings by tall mature landscaping and/or solid walls. Landscaping or wall must be tall enough to screen truck trailers (see Figures 1 and 2).
- Carports are allowed if materials are integral to building architecture.
- Access to storage yards & refuse containers shall be provided while being screened from the street.

- A 10' setback from the right-of-way is required for parking spaces and circulation drives.
- Site planning shall provide for pedestrian circulation that is separated from drive aisles (i.e. does not include storage yards at the rear of buildings) (see Figures 1 and 2).
- Turning movements for large trucks shall be directed by bollard placement or other devices. Such bollard or device placement shall indicate safe pedestrian circulation.
- Clearly demarcated Car / van pool preferred parking spaces are to be located near building entrances to encourage carpooling.

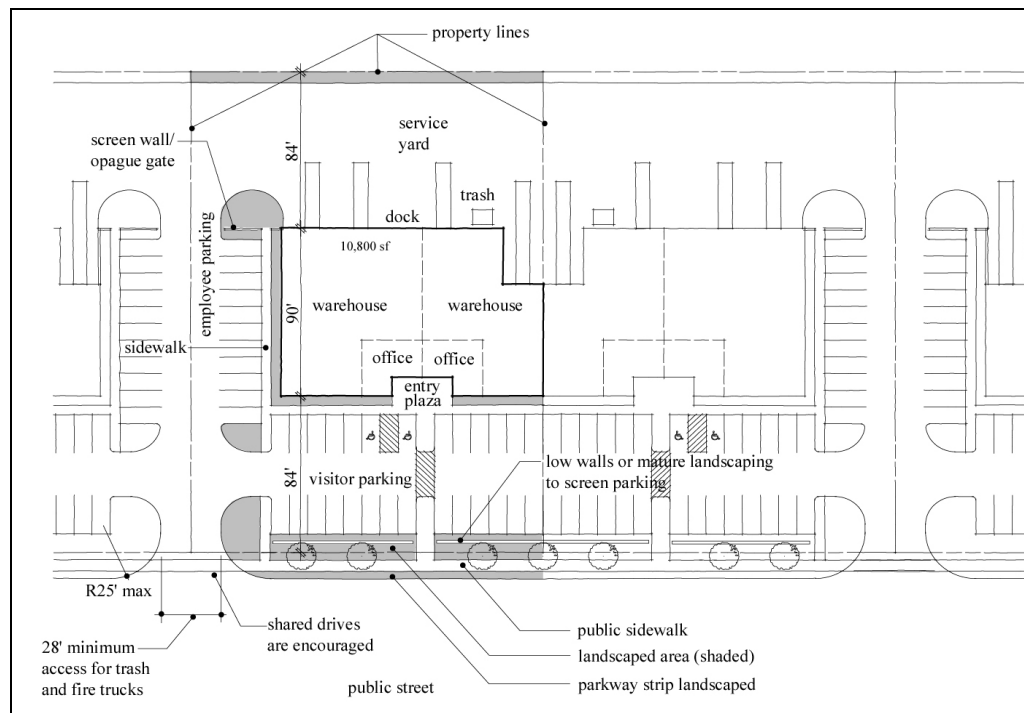


Figure 2. Zero Lot Line Layout Traffic circulation and Parking with Setbacks

### 2.1.3. Pedestrian Connections

- Pedestrian access along streets within Journal Center 2 shall be provided according to the Streetscape Plan (see Appendix B).
- Pedestrian access shall be separated from vehicles traveling on the internal streets of Journal Center 2. This will occur in the form of landscaping or wider sidewalks (See Appendix B).
- Pedestrian connections shall be made from the street to the building entrance.
- Where pedestrian paths cross vehicular entrances and drive aisles, crossings shall be a minimum width of 6-feet and clearly demarcated with slightly raised and/or textured paving, or accented with brick trim, pigmented concrete, etc. (see Figure 7).
- Where sidewalks cross drivepads and curb returns at parking lot entrances, sidewalk cross slope shall be a maximum of 2% (see Figure 7).
- A sidewalk with a minimum horizontal clearance of 6' shall be provided for all office buildings and office warehouse buildings (8' for multiple entry and/or multiple tenant buildings) along building sides where needed to provide

direct connections from the public pedestrian circulation system to the building entrance. In all cases, a 4' landscaping area shall be provided between the building and the walk.

- Americans with Disabilities Act (ADA) compliant parking shall be located adjacent to main building entries.
- All handicapped (HC) ramps constructed in common areas such as those at lot corners and drive pads are to be constructed during individual lot site development (see Figure 7).

**OFFICE USE ONLY:** Each office building exceeding 50,000 square feet shall have a clearly defined, highly visible entrance with features such as canopies or porticos, arcades, arches, wing walls and/or integral planters. Office buildings exceeding 5,000 square feet shall also provide a "plaza area" at the main entrance of no less than 400 square feet. Visible areas shall be accented with color concrete, pavers, etc.

#### 2.1.4. Stormwater Treatment Device

Every parcel within Journal Center 2 which lies directly adjacent to the North Pino Arroyo is required to treat any stormwater surface flow which falls onto that parcel, prior to release into that AMAFCA controlled storm channel by way of a stormwater treatment device. The Treatment Device would be used to filter stormwater of noxious materials such as suspended solids. These solids include Styrofoam, cigarette butts, and other trash. No chicken wire, untreated metal wire or other non decorative fencing can be used. These Stormwater Treatment Devices can also be used to separate silt from stormwater. A graphic showing the general concept is shown in Figures 3 and 4. Examples of devices that may be used for this purpose are shown in Figures 5 through 6.

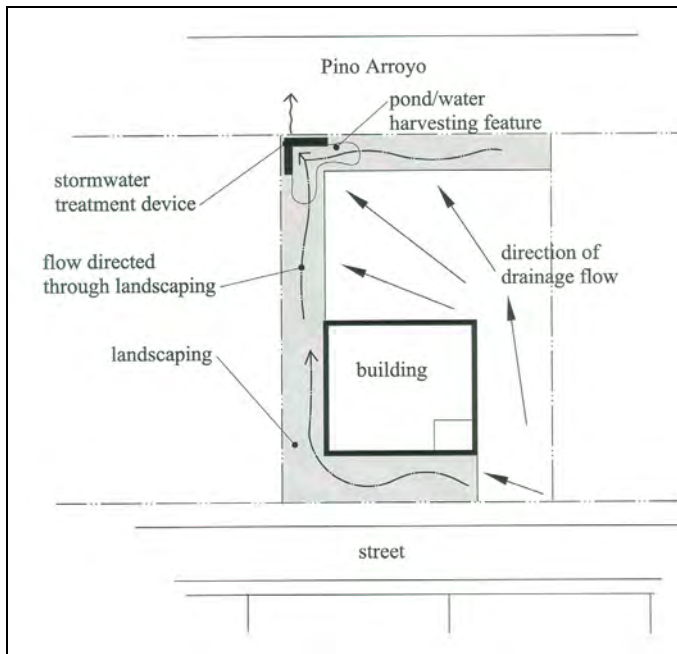


Figure 3. Screening Device

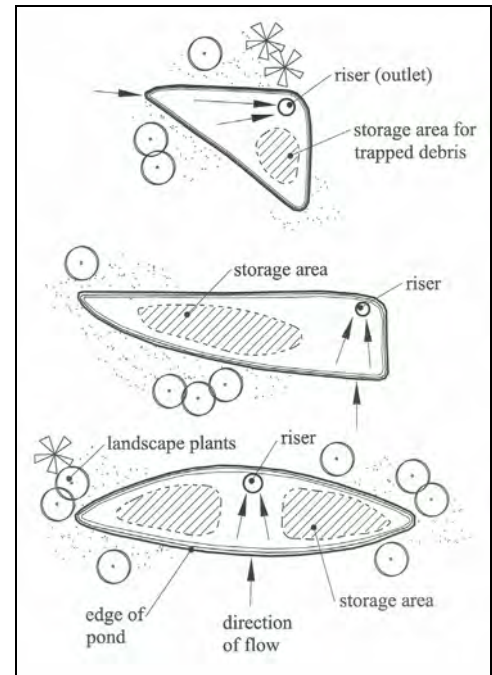


Figure 4. Various shapes for storage areas within basins

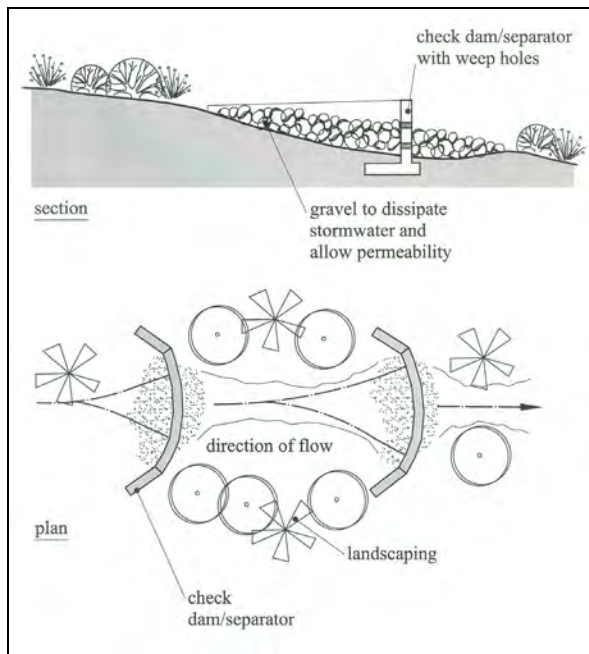


Figure 5. Check Dam Device

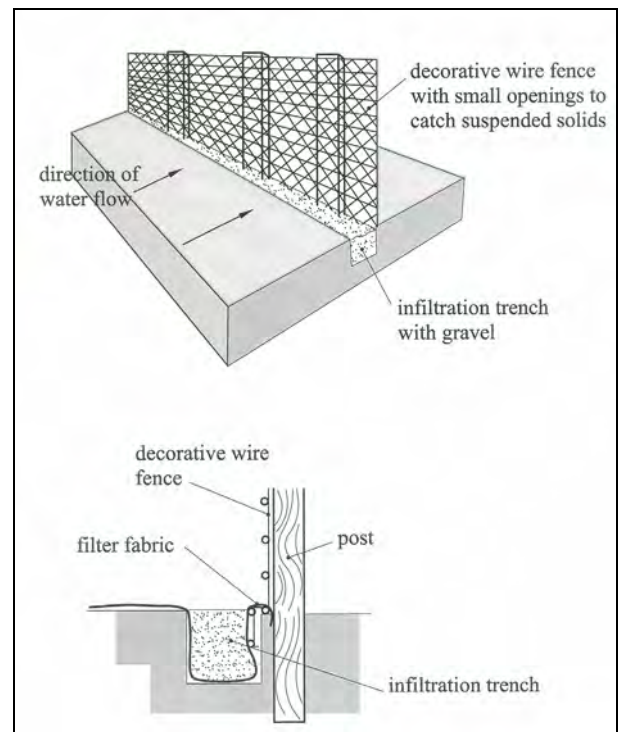


Figure 6. General diagram showing direction of flow and relationship to channel

### 2.1.5. Landscaping

#### Treatment of Landscaped Areas

In general, landscaped areas shall be treated with consistency and environmental appropriateness using water and other resources as conservatively as possible. Journal Center 2 has been developed to promote this approach with a Streetscape Plan landscape concept (see Appendix B), Acceptable and Prohibited Plants/Acceptable Irrigation Equipment (see Appendix C), the Landscape Plan, and a range of suitable development options. Irrigation shall be consistent throughout all common areas in regard to equipment used and in design. It is also important to implement landscapes which are relatively mature at time of installation and dense in terms of their coverage to try to provide an enhanced curb appeal. Use of amenities such as sculpture and other features in the landscape is also encouraged. In all cases landscape design and construction shall meet the requirements of the City.

#### Densities and Coverage

Living plant material shall cover 75% of all landscape areas at maturity. The use of mulch is encouraged, not as a landscape feature, but as a temporary surface treatment until plant materials mature. No motifs or designs made entirely out of gravel are allowed. No designs using multiple colors of gravel are allowed, and at least one color shall match that used in the parkway strip. Other ground treatments could include turfgrasses from the approved plant list and hardscape. Native grass reclamation is only to be used as an interim step in development.

**A minimum of 15% of the site must be landscaped.**

**Minimum size requirements from the approved plant list are as follows:**

- Deciduous Trees – 2" Caliper or 20 gallon
- Evergreen trees shall be at least 6' tall at time of installation.
- Shrubs – 5 gal.

- Ground Covers and Perennials – 1 gal.

*Note: No plants smaller than 1 gal. are allowed unless planted as annual color or as massings of ground cover with densities of 12" on center or greater.*

**Acceptable mulch materials are as follows, others can be used with approval:**

- Gravel
- Cobblestone
- Bark
- Pecan Shells

**All landscape plans for Journal Center 2 shall be submitted to the Journal Center 2 ARC, following procedures as described in Section 3 of these Guidelines.**

#### **Use of Site Building Materials**

All building materials used in landscaping Journal Center 2, whether in common or private areas, shall maintain contextual integration with the architecture for a given parcel, in material and style (see Appendix E).

#### **Amenities**

- Water Features are not allowed within Journal Center 2
- Sculptural Elements: The character of Journal Center 2 is derived from the character of the land and its people. Sculptural elements, if used, shall reflect the cultural, climatic, historic, and geographic influence of the southwest in form, materials and color and should complement building materials. Sculptures must be submitted to the Journal Center 2 ARC for review and approval.
- Sustainability and Water Use: Responsible use of water is highly desirable. Water harvesting is encouraged.

### **2.1.6. Landscape Area Designations**

Parcel owners are required to install landscaping in certain common areas pursuant to the Landscaping Master Plan for Journal Center 2.

#### **Streetscape Common Areas**

The landscaping at Journal Center 2 has been separated into two main divisions: common areas and private areas. Under common areas (refer to Appendix D for Phase I), there are two distinctions: developer installed landscaping and parcel owner installed landscaping. The developer will install landscaping along portions of street and at critical intersection areas; all other areas are the parcel owner's responsibility (refer to Appendix D for Phase I property). However, the parcel owner must install landscaping matching that of the developer in the common area between the back of curb and the sidewalk and that landscape irrigation is to be connected to the common area irrigation system installed by the developer. In the private areas (outside common area) the parcel owner will be responsible for all improvements, including parkway, landscaping, sidewalks, common area and private area landscaping for each lot, see Appendix B. Throughout Journal Center 2, all streetscape shall be consistent with the Landscaping Master Plan. It is required that plants and material selection for all landscaping be drawn from the list of Acceptable Plants and Materials in Appendix C.

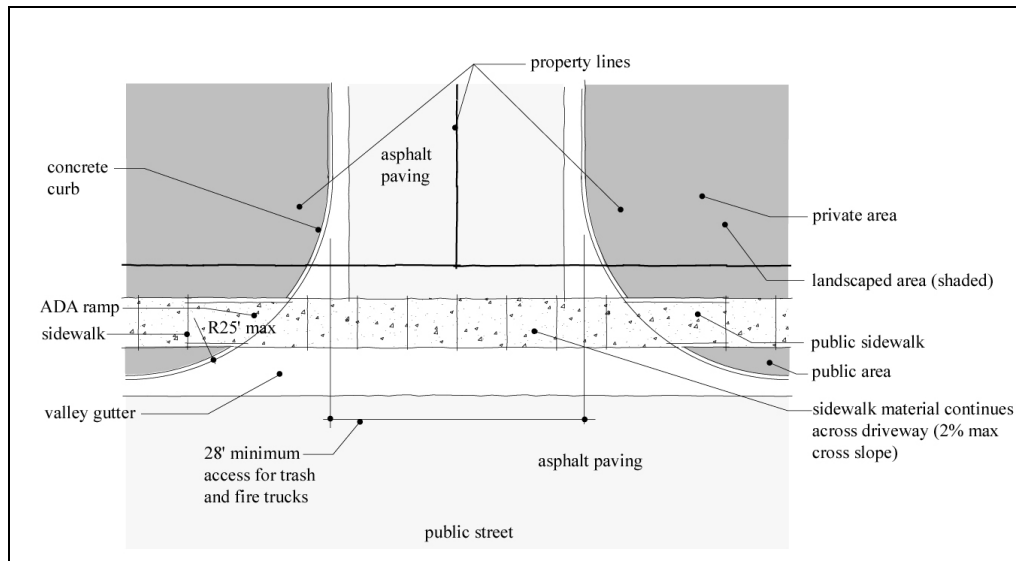


Figure 7. Drive-cut Sidewalk Entrance Detail

### Private Area Landscapes

Landscaping of private areas shall follow the design guidelines including the list of Acceptable and Prohibited Plants/Acceptable Irrigation Equipment in Appendices C and D. However, individuation is encouraged within these parameters. Further, the landscape in the common or private areas of individual lots should integrate aesthetically with the landscaping in the parkway strip.

#### **2.1.7. Building Setbacks**

- Building setbacks from front right-of-way line shall be 20' and at side and rear shall be 10'.
- Locating the building at the 20' building setback is encouraged, in order to provide parking at building sides rather than within the front yard. In no case shall parking be within 10' of the right of way (see Figures 1 and 2).
- Zero lot line buildings attached / straddling property lines are compatible with these design guidelines, however, it may require a variance from the City Zone Code. In those instances where zero lot line development is proposed, all other screening and design guidelines shall apply (see Figure 2).

#### **2.1.8. Screening and Shade**

- All walls visible from an adjacent street within Journal Center 2 shall be solid, integral with building architecture, and consistent with the Wall Design as shown in Figure 8.
- No chain link, razor wire (concertina), wood, grape stake, or plastic vinyl fencing is permitted. Side yard fencing shall be opaque where office/warehouse (land use 3) abuts office lots (land uses 1, 2).
- No chain link, razor wire (concertina), wood grape stake, or plastic vinyl fencing is permitted when visible from the street.
- Low walls 3' high or mature landscaping shall be used to screen parking spaces adjacent to streets. If a wall is used it shall integrate with building materials/colors and shall be consistent with the Wall Design in Figure 8.
- Refuse enclosures shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain link gates or enclosures are not allowed.

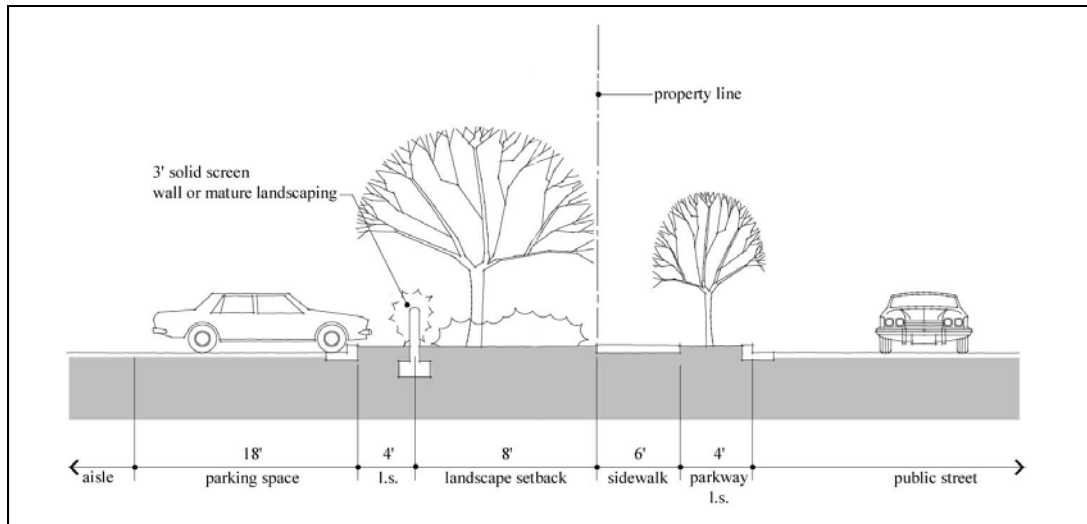


Figure 8. Wall Design

- A 6' high solid wall used to screen loading, and delivery/storage areas is required where visible from adjacent streets.
- Utility boxes shall be located inconspicuously, away from pedestrian and vehicular entrances, and screened with either mature landscaping or approved screen walls.
- Drive through facilities shall be shaded with architecturally integrated canopies.

#### 2.1.9. Lighting

- See Appendix F for light standards to be located within the front yard common areas. This standard will be consistent throughout the development. Private area parking lot lighting is discretionary.
- For pedestrian lighting a maximum height of 16' and fully shielded horizontal cut-off lamps are required.
- Building lighting shall be no higher than 20' and shall be shielded / cut-off lighting.
- Pedestrian scale light bollards are encouraged along walkways.
- No "wall pack" lights are allowed in front or side yards.
- No flood lights are allowed.
- Parking lot lights shall be cut-off type and no taller than 24' from grade.

#### 2.1.10. Signage

- Monument signs are allowed in Journal Center 2. They shall not exceed 60 square feet, and shall be no taller than 6' in height from grade. See Figure 9 for detail on materials, colors and signage sizes and configurations. Sign width may vary with the approval of the Journal Center 2 ARC, however overall style must remain the same.
- All other signage is building mounted (see section 2.2.7).



### 2.1.11. Employee Spaces: Plazas, Storage, And Miscellaneous Space

- Any outdoor patio space shall provide shade for users.
- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- All outdoor storage shall be limited to 20 feet in height. Storage buildings must be architecturally compatible with main building or parcel. No portable buildings will be allowed. Storage units shall not be visible from the street, although they may be visible from adjacent businesses, unless in large office campus or small office land use categories. Outdoor storage tanks shall be limited in height to no taller than 10' below the top of the building parapet and they must not be visible from adjacent properties or street rights-of-way.

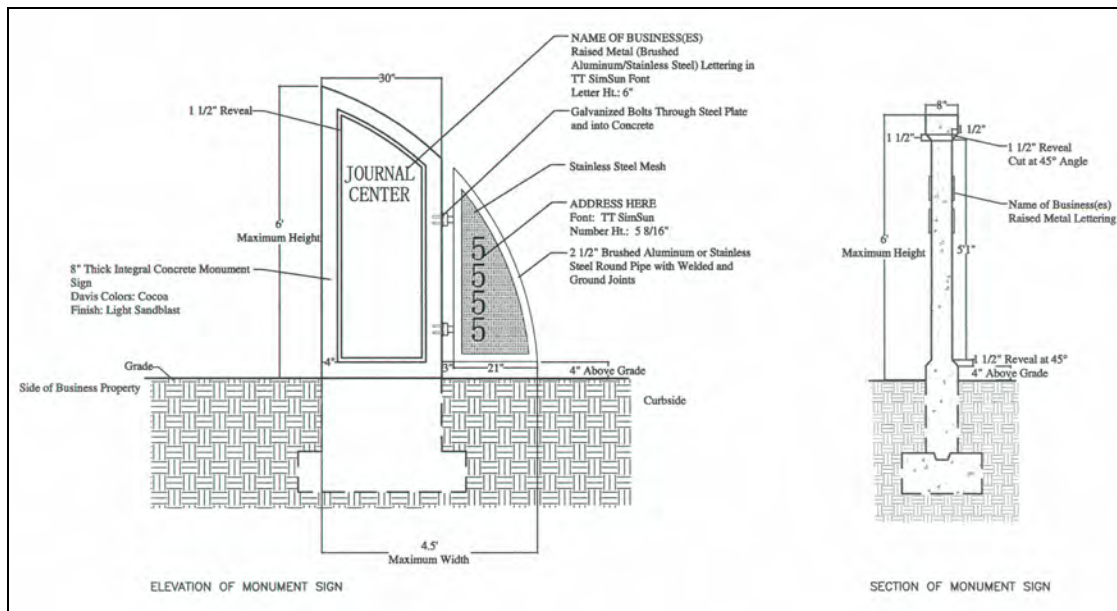


Figure 9. Journal Center 2 Monument Sign

### 2.1.12. Maintenance

- The Journal Center documents and Journal Center 2 documents apply to the maintenance of Journal Center 2 buildings, landscape, and site.
- Parcel owners at Journal Center 2 are responsible for the maintenance of their Stormwater Treatment Devices. Maintenance includes general upkeep, landscape maintenance (if the device is part of the landscape), removal of any material that would block the flow of stormwater, and the removal of suspended solids and silt which blocks stormwater flows. Clean-up must occur within seven (7) days of the time which the undesirable material is deposited.

## 2.2. Architecture

### 2.2.1. General

- The architectural theme is contemporary. No Pueblo revival, Territorial or Northern NM or other “historical styles” of architecture are allowed.
- No “off the shelf” metal buildings are allowed.
- No gutters or down spouts shall be located on the front elevations of buildings.
- No pitched roofs are allowed.
- No Mansard roofs are allowed.
- No “Double T” or “Single T” buildings are allowed.
- Building design shall be architecturally integrated within the site and contextually related to buildings within the vicinity.
- No generic franchise building elevations or canopies are permitted.
- Columns and beams should be kept to a minimum. Only simple and clean column designs are allowed. Prohibited column & beam types are those with historical references such as Greco Roman, Victorian, Rope Vigas, etc.
- No exposed metal ribbed panels are allowed on building exteriors.
- All canopies and ancillary structures shall be architecturally integrated with main buildings. Special consideration shall be given to covered parking canopies, where they occur.
- ATM’s shall be architecturally integrated with building design, materials and colors.
- Any garage doors are to be reviewed and approved by the Journal Center 2 ARC. Garage or overhead doors shall be consistent with the color palette of the building and must not be visible from the street.
- Decks
  - Deck support columns must have visual strength and size to give the appearance of mass, unless hidden from view. Columns must meet design guideline requirements.
  - Second story or elevated decks shall be of materials and colors integral to the main building.
  - Undersides of decks shall be finished. No exposed framing is allowed if visible.
  - Deck lighting shall comply with Journal Center 2 lighting standards in these guidelines.
- No freestanding cell or microwave tower antenna shall be permitted. Roof-or wall mounted antenna or microwave equipment shall be screened or integrated into building architecture.
- No clock towers or flagpoles are allowed without the written approval of the Journal Center 2 ARC. If allowed, these elements must be in scale with the building and the location and height must be approved by the ARC.
- Loading dock doors are required on buildings 10,000 square feet or larger.
- Energy Conservation is encouraged.
- Mail boxes: The postal service shall have final approval of the mail receptacle and delivery system for each business. In general, large multi story office buildings will require a mailroom, single business offices may have in-office delivery or a built-in mailbox. Small businesses in close proximity to one another may have grouped mailboxes.

### 2.2.2. Massing

- Office/Warehouse massing shall be “softened” by locating the office at the front/street side and stepping the height up. Offices shall be integrated into building design, not simply “stuck on” the front or completely within the building footprint (see Figure 10 below for examples of intent).

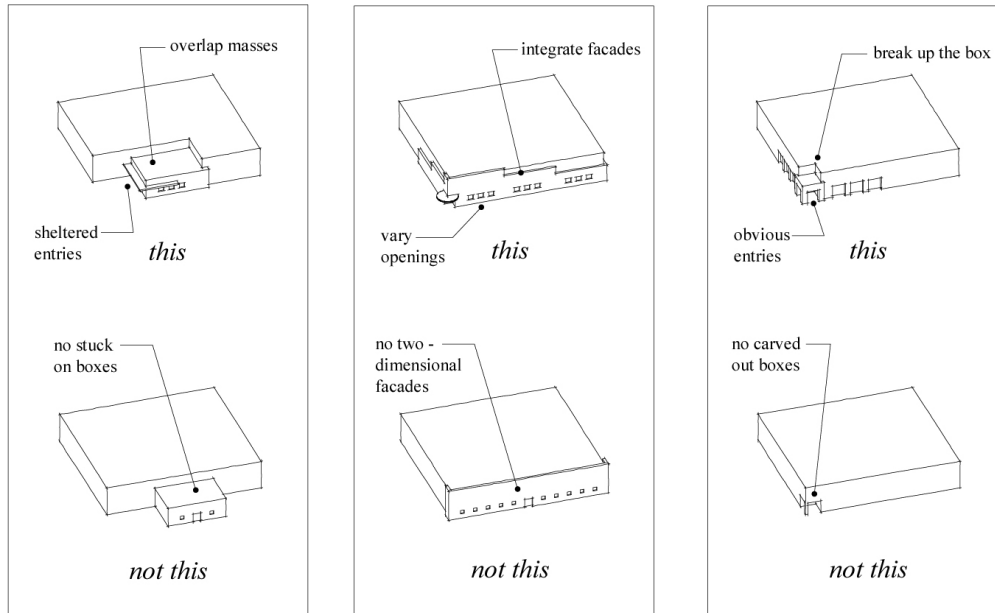


Figure 10. Stepped down Massing Detail

### 2.2.3. Building Heights

#### Large Office Buildings

Large office buildings shall comply with the City of Albuquerque Zoning Code.

#### Small Office Building

Small office buildings shall have a maximum height of 26'.

#### Office Warehouse Building

Office / Warehouse buildings shall have a maximum height of 34'.

### 2.2.4. Materials

The purpose for limiting materials and color palettes within Journal Center 2 is to establish an overall level of quality and a consistency in visual appearance. The basic color concept is to provide an overall appearance of predominantly darker, earth tone buildings with small, well placed areas of accent color to provide interest and variety between individual buildings. However, larger warehouse structures can utilize a lighter earthtone color (see Appendix E).

Basic building materials allowed are:

- Exterior materials / finishes include tilt-up integrally pigmented concrete panels, stucco, masonry including brown and dark red brick (no gray, yellow, beige or used brick), stone, cultured stone or integral color CMU (no slump block or plain gray CMU block allowed.) Other materials may be considered by the Journal Center 2 ARC. No painted masonry is allowed.
- Office: Front elevations of office buildings shall have a minimum of 5% and no more than 80% glazing.
- Office Warehouse: Front elevations of office warehouse buildings shall include glazing as follows: on the office portion, 5% to 80% shall have glazing; on the warehouse portion facing the street, at least 5% shall be glazing.
- Recessed windows are encouraged to provide depth and shadows.
- Windows shall be commercial grade. Glass colors are limited to clear, light green, and light amber. Tinted glass for the sake energy efficiency is allowed, however “mirror” windows are not allowed.
- No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- Metal / steel articulation is allowed, including white, bronze, nickel, clear anodized aluminum, copper, or accent colors. No highly polished metals are allowed; they shall be brushed or matte finish.
- Details of the flashing and scuppers are subject to review by the Journal Center 2 ARC. Visible sheet metal shall be coated by an approved method, such as powder coating.
- Door materials and colors should be consistent with the building’s color palette. Wood doors are not encouraged for Large Office Campus and Office Warehouse land uses and shall be reviewed and approved by the Journal Center 2 ARC.

### 2.2.5. Colors

The Journal Center 2 color scheme includes up to three (3) colors per building: 1) the main building color; 2) an accent building color which may be applied on up to 10% of the facade; and 3) metal /trim finishes including windows, doors, metal appendages / portals. See Appendix E for acceptable main building colors.

- Colors for predominant building finishes include medium “earth” tones ranging from tan, khaki, to dark browns and dark reds.
- Colors for accent building finishes are at the architect’s discretion; however, accent colors are subject to review and approval by the Journal Center 2 ARC.
- Colors for building lighting are to match walls and / or site lighting fixtures.
- Stucco shall have a maximum reflexivity value of 40.
- No bright white building finishes are allowed as main building colors. Warehouse portions of buildings may be lighter than the office fronts to reduce their visual bulk (see Appendix E).

### **2.2.6. Screening Equipment**

- Parapets shall screen all rooftop equipment and appurtenances (solar panels, mechanical, etc.) from view from all property lines. Alternatively, rooftop equipment shall be screened by rooftop screen walls that are treated to match the predominant building color. In addition, all rooftop equipment shall be painted to match the predominant building color.
- Satellite dishes shall be located on the roof, and shall not exceed 36" in diameter. Dishes shall be screened by the parapet or rooftop screen walls.
- All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.

### **2.2.7. Building Mounted Signage**

- Wall mounted signs shall be reviewed and approved by the Journal Center 2 ARC. They should be proportional to the wall area and visible to the setback distance from the street. Signs are limited to a single building and shall be limited to two (2) elevations. Individual channel letters are encouraged. No illuminated plastic panel signs are allowed with the exception of logos. All building signage shall be limited to a maximum area of 6% of the wall area the sign is mounted on, but shall not exceed 100 square feet.

## Section 3. Design Approval Process

### 3.1. Submittals and Approvals to the Journal Center 2 Architectural Review Committee

During the time that Tiburon owns any property in Journal Center 2, Journal Center 2 property development must be approved by both the Journal Center ARC and Journal Center 2 ARC.

For Journal Center 2 Property, and as set forth in the Amended Declaration, lot developers are required to make those submittals required under the Journal Center Documents first to the Journal Center 2 ARC. Lot developers are required to submit plans prepared by a licensed architect, landscape architect and engineer. All submittals must include five copies of all plans, specifications and other documents submitted. The submittals must be sent to:

Journal Center 2  
c/o Tiburon Investment , LLC  
13000 Academy Road NE  
Albuquerque, New Mexico 87111  
Attention: Administrative Manager

Five sets of drawings are required for each stage of the submittal process to the Journal Center 2 ARC. The Journal Center 2 ARC will initially review the submittals and make a recommendation to the Journal Center ARC for approval or disapproval. Reference is made to the Amended Declaration and Declaration for details of the approval process.

The required submittals and stages of review will be the same as for Journal Center, as set forth in the Journal Center Documents, a brief outline of which is set forth as follows (please refer to the Journal Center Standards):

#### 3.1.1. First Stage

- Review Basic Covenants/Guidelines for Journal Center and Journal Center 2 (reference)
- Submit Schematic Plans to Journal Center 2 ARC showing:
  - Location of Building
  - Egress and Ingress
  - Parking and Circulation
  - Landscape
  - Preliminary Building Elevations
  - Building Footprint or Floorplan
  - Grading Concepts

#### 3.1.2. Second Stage

- Submit Design Development Plans to Journal Center 2 ARC Showing:
  - Exact Location of Building

- Service Areas (Trash, Loading Docks, etc.)
- Utility Locations
- Exact Egress and Ingress
- Signage
- Parking and Circulation
- Landscape
- Building Elevations
- Building Materials
- Building Colors
- Pedestrian Circulation on Site
- Mechanical Screening
- Stormwater Treatment Device
- Grading and Drainage Plans
- Floorplans (show doorways and windows)

### **3.1.3. Third Stage/Final Approval**

- Submit final set of development plans to Journal Center 2 ARC including:
  - Site Plan
  - Landscape Plan
  - Grading and Drainage Plan
  - Building Elevations
  - Building Floorplans
  - Details of Signage

Final approval will be granted in writing and submittal package will be forwarded to Journal Center 2 ARC, following approval applicant may submit plans to the City of Albuquerque. Contact Administrative Manager for Tiburon Investment LLC to set up inspection date.

### **3.1.4. Final Inspection by Journal Center 2 ARC**

Final inspection of the entire landscape, site and building must be conducted at the completion of construction activities.

### **3.1.5. City of Albuquerque Approval**

After approval of the plans by both the Journal Center ARC and Journal Center 2 ARC, plans must be submitted to the City of Albuquerque for approval. All Journal Center development is subject to the City of Albuquerque ordinances and zoning code. The parcel owner is responsible to obtain such approval.

These Guidelines may not address every site plan, building, design or approval issue at Journal Center 2, The Journal Center 2 ARC may impose requirements or conditions that are additional to those requirements and conditions specifically indicated in these Journal Center 2 Design Guidelines.

Four years after the time that Tiburon no longer owns property in Journal Center 2, the Journal Center 2 ARC shall cease to function and exist. At that time all reviews shall be made by the Journal Center ARC. Journal Center ARC will review

plans for compliance with all of the Journal Center Documents and Journal Center 2 Documents and Journal Center 2 shall continue to be subject to the Journal Center 2 Documents. Tiburon may terminate the existence of the Journal Center 2 ARC prior to the time described above by executing a written instrument in recordable form and having the document recorded in the real estate records of Bernalillo County.

### **3.2. Variance from Design Guidelines**

A variance from the Journal Center 2 Land Development Design Guidelines is possible and may be granted with the approval of the Journal Center 2 ARC.

The variance will only be granted when in the opinion of the Journal Center 2 ARC an unusual or unique condition exists in the site context, topography, environmental condition or other circumstance that affect the development of the lot. A variance will only be considered when unusual or unique conditions exist and when in the opinion of the Journal Center 2 ARC, the variance requested is preferable to the requirements of the Journal Center 2 design guidelines.

The variance submittal process must include a letter of "Request for Variance" from the parcel owner sent to the Journal Center 2 ARC with any pertinent plans or graphics used as back-up information.

### **3.3. Construction and Modifications After Initial Construction**

No structure shall be placed, erected, or installed on any lot, and no improvements (including excavation, grading and other site work, exterior alteration of existing improvements, and planting or removal of landscaping materials) shall take place except in compliance with these guidelines and with written approval of the Journal Center ARC or its successor.

Any owner may remodel, paint or redecorate the interior of structures on his property without approval. However, modifications to areas visible from outside the structure shall be subject to approval by the Journal Center ARC or its successor.

The process for approval of modifications shall follow the three stage process used for initial plan approval (Sections 3.11, 3.12 and 3.1.3) including final inspection (3.1.4)



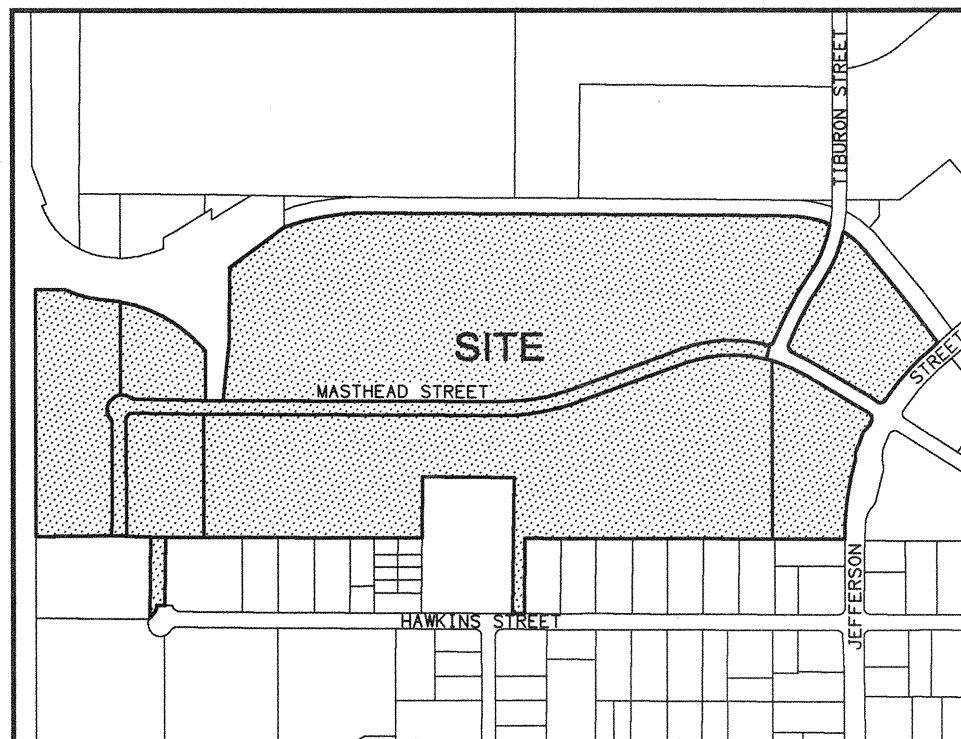
## Section 4. Designation of Journal Center 2 Common Properties

Pursuant to the Amended Declaration, Tiburon may designate the Journal Center 2 Common Properties pursuant to the Design Guidelines. The Journal Center 2 Common Properties are those areas shown in Appendix D, which presently are all located within public rights-of-way. Tiburon and the other Declarants (as defined in the Amended Declaration) may amend Appendix D to designate new, or redesignate the existing, Journal Center 2 Common Properties. The Journal Center 2 Common Properties are subject to the terms of the Amended Declaration.

# Appendices

# Appendix A Final Plat

SP-00120614510406



## LOCATION MAP

ZONE ATLAS MAP NO. D-17-Z  
NOT TO SCALE

## SUBDIVISION DATA

1. DRB Project # 1000633 Appl. # 01440-00000-00277
2. Zone Atlas Index No. D-17-Z
3. Gross Subdivision Acreage: 96.9654 Acres.
4. Total Number of Tracts/Lots created: Three (3) Tracts and Sixteen (16) Lots
5. Total mileage of full width Streets created: 0.7179 Mile.
6. Total mileage of partial width Streets created: 0.2141 Mile.
7. This Plat shows existing easements.
8. Date of Survey: February, 1999
9. Plat is located within the Elena Gallegos Grant, within Projected Section 23, T11N, R3E, N.M.P.M.
10. Record Bearings and Distances of JOURNAL CENTER, recorded June 30, 1983 in Volume C21, Folio 126 are shown in parenthesis ( )
11. Record Bearings and Distances of Lot 9A & 7A-1A, JOURNAL CENTER, recorded September 7, 1999 in Book 99C, Page 262 are shown in brackets [ ]

## DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tracts 6A, 8A, 8F-1, 8G-1, 10A, Snappall Street right-of-way and a portion of Masthead Street right-of-way of the JOURNAL CENTER, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 30, 1983 in Volume C21, Folio 126 as Document No. 83-43105 together with all of Tracts 9A-1 of the JOURNAL CENTER, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 8, 1987 in Volume C34, Folio 127 as Document No. 87-93767, together with all of Tract 7A-1A of the AMENDED PLAT OF LOT 9A & 7A-1A, JOURNAL CENTER, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 29, 1999 in Book 99C, Page 274 as Document No. 1999125318 into Three (3) Tracts, and sixteen (16) Lots to dedicate Public Street Right-of-way to the City of Albuquerque, to dedicate additional drainage rights-of-way to AMAFCA, to vacate Public Street Rights-of-way, to vacate Public Utility Easements and to grant Public Utility Easements.

## TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC#

UPC Codes See attached Tax Certificate  
PROPERTY OWNER OF RECORD: Journal Center Corporation  
Tiburon Investment Corp.Jesse A. Albarran 3-15-2001  
BERNALILLO COUNTY TREASURER'S OFFICE DATE

## FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Elena Gallegos Grant, within projected Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts 6A, 8A, 8F-1, 8G-1, 10A, Snappall Street right-of-way and a portion of Masthead Street right-of-way of the JOURNAL CENTER, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 30, 1983 in Volume C21, Folio 126 as Document No. 83-43105, together with all of 9A-1 of the JOURNAL CENTER, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 8, 1987 in Volume C34, Folio 127 as Document No. 87-93767, together with all of Tract 7A-1A of the AMENDED PLAT OF LOT 9A & 7A-1A, JOURNAL CENTER, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 29, 1999 in Book 99C, Page 274 as Document No. 1999125318, now comprising Tracts 6A-1, 8A-1, 9A-1A and Lots 1 through 16 inclusive of JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby dedicate drainage rights-of-way shown hereon to AMAFCA in Fee Simple and do hereby grant: All access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead Utilities where shown or indicated, and in the event Grantor, its successors and assigns, constructs and improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purpose of performing the Work. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

Owner of Tract 8A-1 and Lots 1 through 16 inclusive  
TIBURON INVESTMENT CORP.

BY: Steven K. Moise, President

BY: Richard G. Elkins, Treasurer

State of New Mexico)

County of Bernalillo )

This instrument was acknowledged before me on 26 day of Feb. 2001 by Steven K. Moise, President and Richard G. Elkins, Treasurer of Tiburon Investment Corp.

My Commission Expires: 4-15-01

OWNERS OF TRACTS 6A-1 AND 9A-1A

BY: T. H. Lang, President

State of New Mexico)

County of Bernalillo )

This instrument was acknowledged before me on 26 day of February 2001 by T.H. Lang, President of Journal Center Corporation.

My Commission Expires: 4-12-2003

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

## PUBLIC UTILITY EASEMENTS

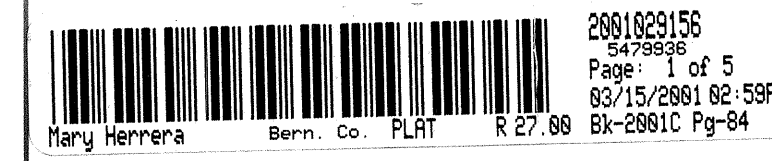
PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are for the common joint use of:

- PNM Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

## NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 27).
2. Distances are ground distances.
3. All easements of record are shown.
4. A variance of waiver from certain subdivision requirements has been granted by the City and Albuquerque Metropolitan Arroyo Flood Control Authority in condition with this plat.
5. Future subdivision of lands within this plat, zoning site development plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies. In effect at the time for any specific proposal.
6. The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed with future plats or site development plans are approved.
7. Existing 150 foot wide Public Service of New Mexico Easement granted by Grant of Right-of-Way dated August 8, 1956, recorded August 10, 1956 as Document No. 3174 in Book D359, Pages 275-282, and Grant Right-of-Way dated January 9, 1959, recorded January 15, 1959 as Document No. 98462 in Book D459, Pages 329-333 and amended by Document recorded January 15, 1959 in Book D459, Pages 359-361, of the County Records, Bernalillo County, New Mexico.
8. Centerline (in lieu of R/W) Monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a four-inch (4") aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS #6544".  
A Temporary Blanket Drainage Easement is granted within Tract 8A-1. This easement is subject to adjustment in size, shape, dimension and location as plans for future development of Tract 8A-1 become more firm. Reversion of any Temporary Easement or portion of Easement not required for Drainage Improvements shall require the approval of The City of Albuquerque by way of a Vacation Action.
10. In the event Grantor constructs any City-approved temporary improvements (i.e. ponds) within the Temporary Blanket Drainage easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the work affects any improvements or Encroachments made by the Grantor, the City will not be financially or otherwise Responsible for rebuilding or repairing of Improvements or Encroachments. If, in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or Encroachments. Maintenance of any Grantor temporary improvement is the responsibility of the Grantor.
11. A 50' wide floating sanitary sewer easement is granted to the City of Albuquerque with the filing of This plat for the purposes of constructing a future sanitary sewer line within tract 8A-1. The exact Location of this easement will be further defined by future platting actions and will likely be located within or covered by future public street right-of-way.

PLAT OF  
JOURNAL CENTER  
PHASE 2, UNIT 1ALBUQUERQUE, NEW MEXICO  
JANUARY, 2001

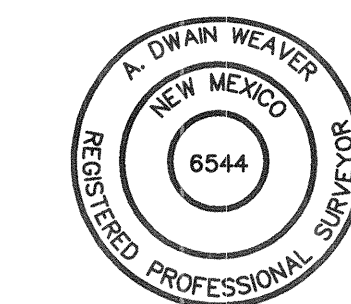
## APPROVALS

PLAT NUMBER 1000633

PLANNING DIRECTOR	3/15/01
CITY ENGINEER	3/7/01
A.M.A.F.C.A.	3/8/01
TRAFFIC ENGINEER	3-07-01
CITY SURVEYOR	2-26-01
PROPERTY MANAGEMENT	3-14-01
UTILITY DEVELOPMENT DEPARTMENT	3/8/01
PLANNING & POLICY SECTION	3/07/01
QWEST COMMUNICATIONS	3-6-01
COMCAST CABLE	3/6/01
PNM ELECTRIC SERVICES	3-6-01
PNM GAS SERVICES	3-6-01

## SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October 1, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

A. Dwain Weaver  
A. Dwain Weaver  
New Mexico Professional Surveyor 6544

Date: January 30, 2001

Bohannon &amp; Huston

Court yard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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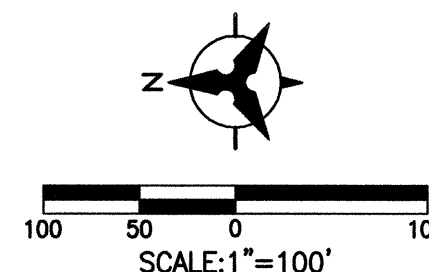
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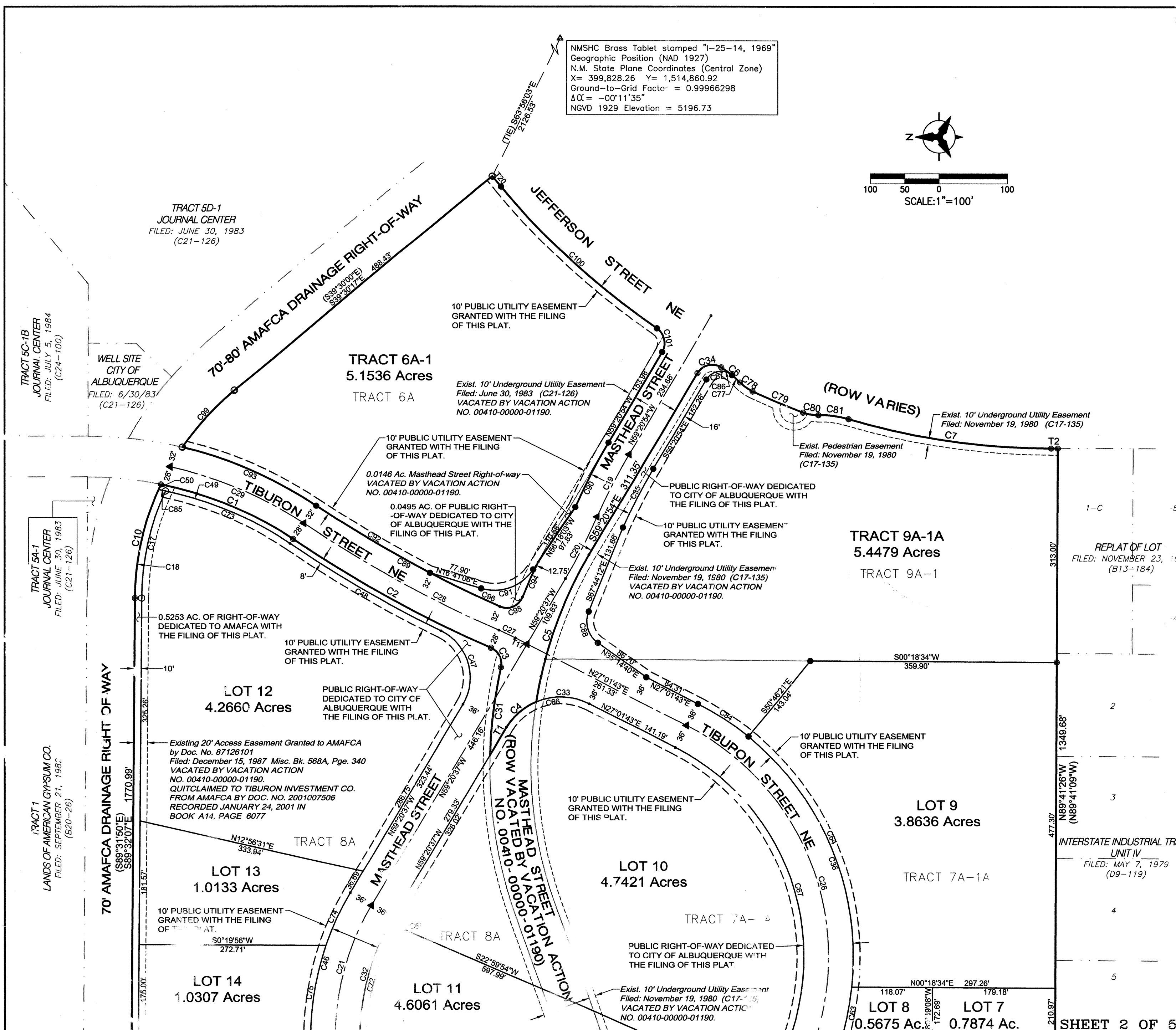


# PLAT OF JOURNAL CENTER PHASE 2, UNIT 1

ALBUQUERQUE, NEW MEXICO  
JANUARY, 2001



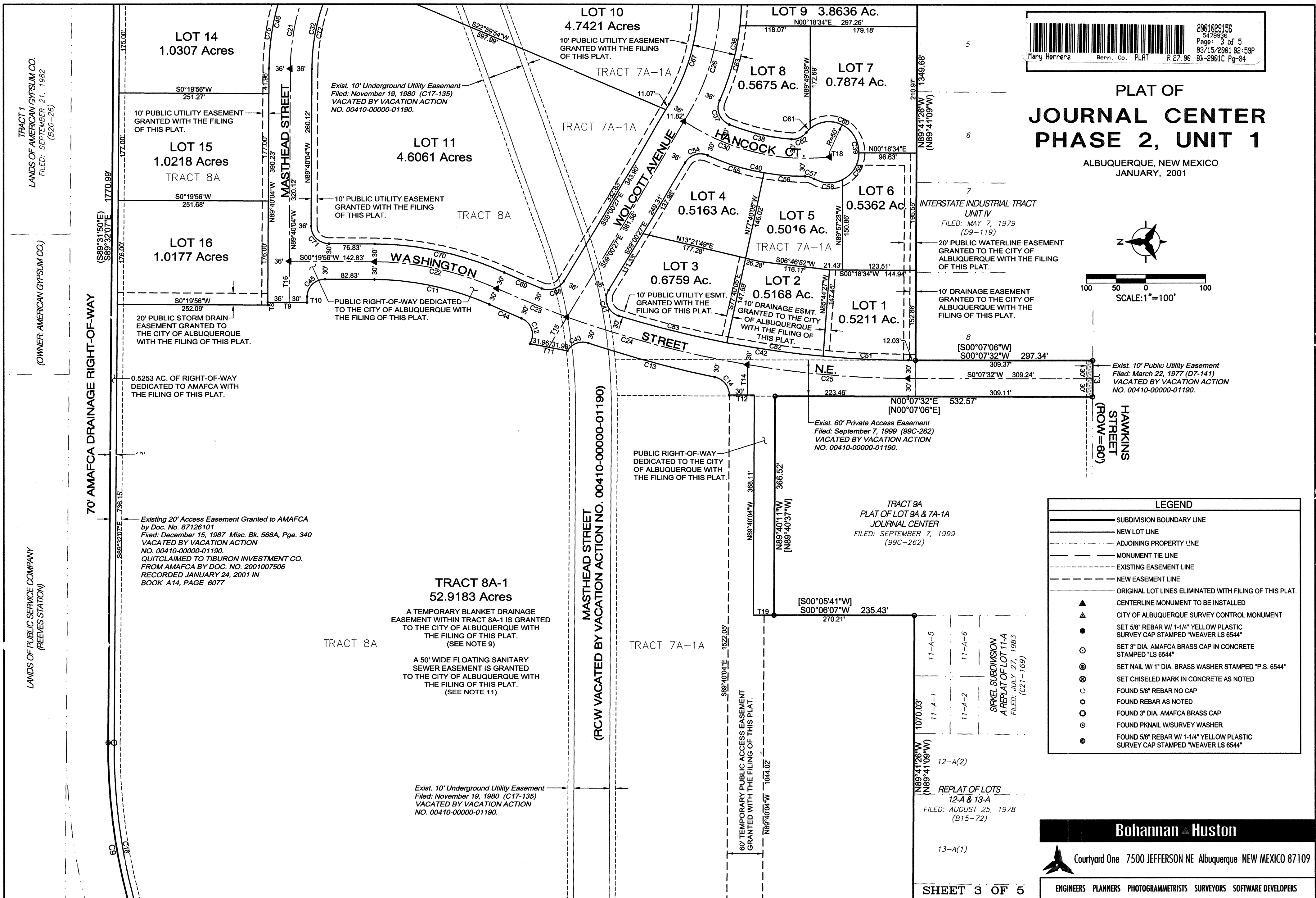
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N.M. State Plane Coordinates (Central Zone)  
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Ground-to-Grid Factor = 0.99966298  
 $\Delta\alpha = -00^{\circ}11'35''$   
NGVD 1929 Elevation = 5196.73



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
	ORIGINAL LOT LINES ELIMINATED WITH THE FILING OF THIS PLAT.
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 5/8" REBAR W/ 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 6544"
	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 6544"
	SET CHISELED MARK IN CONCRETE AS NOTED
	FOUND 5/8" REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND PKNAIL W/SURVEY WASHER
	FOUND 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

**Bohannon & Huston**  
Court yard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109  
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

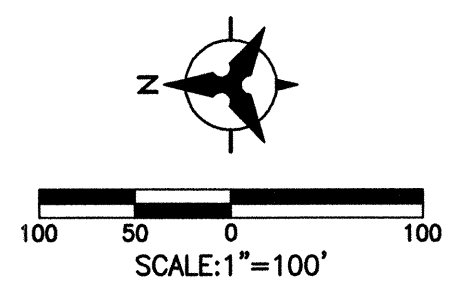




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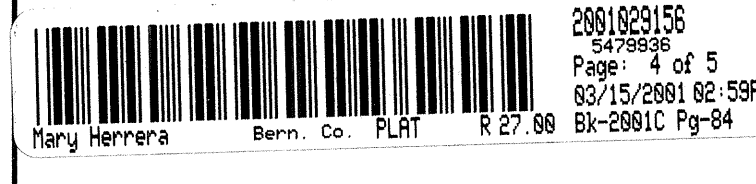
Mary Herrera Bern. Co. PLAT R 27.00 Bk-2001C Pg-84

**PLAT OF**  
**JOURNAL CENTER**  
**PHASE 2, UNIT 1**  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2001



HAWKINS STREET  
(ROW=60')

2578

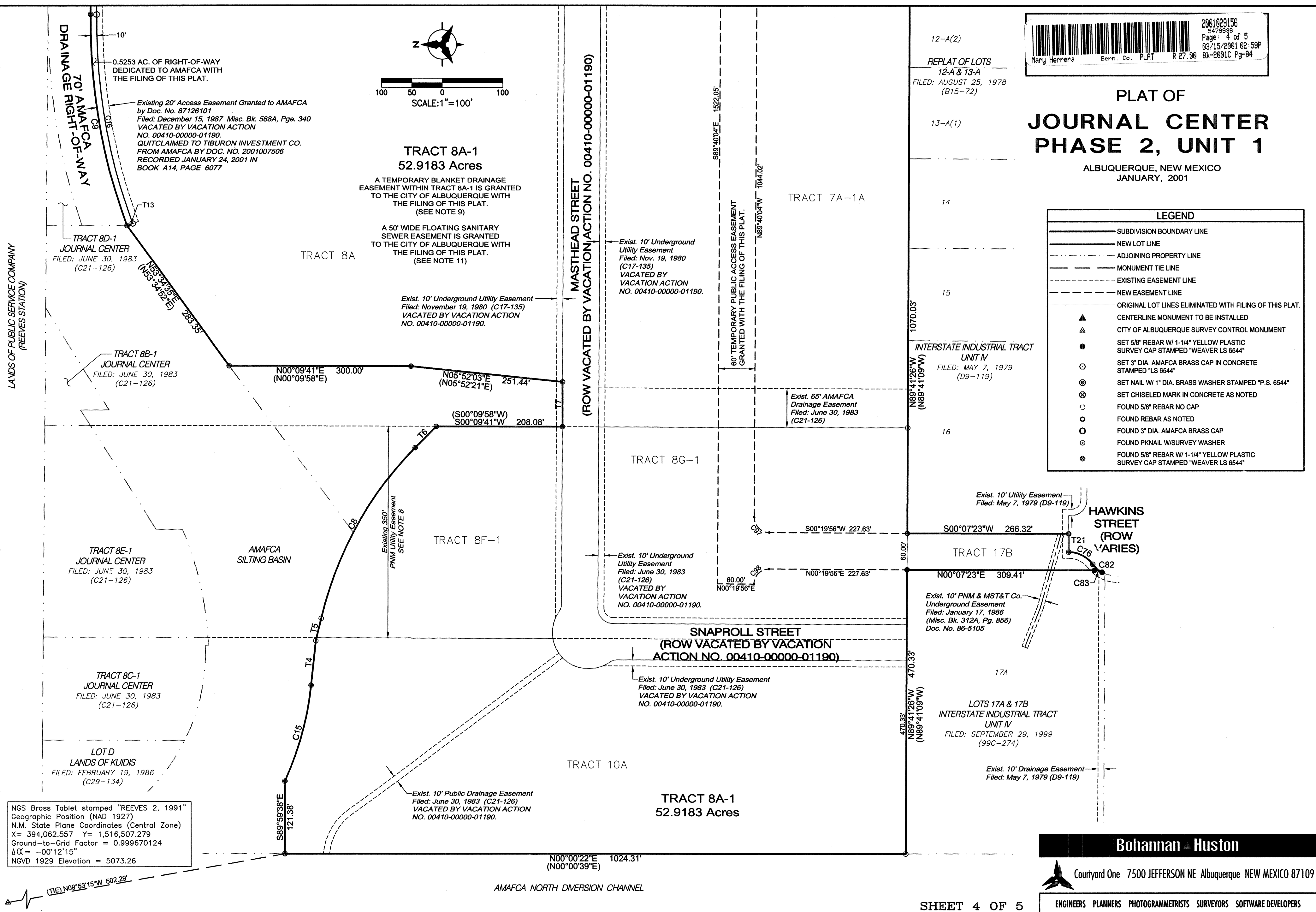


# PLAT OF JOURNAL CENTER PHASE 2, UNIT 1

ALBUQUERQUE, NEW MEXICO  
JANUARY, 2001

## LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- MONUMENT TIE LINE
- EXISTING EASEMENT LINE
- NEW EASEMENT LINE
- ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- SET 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- ⊙ SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 6544"
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- ⊙ FOUND PKNAIL W/SURVEY WASHER
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SHEET 4 OF 5

Bohannon & Huston

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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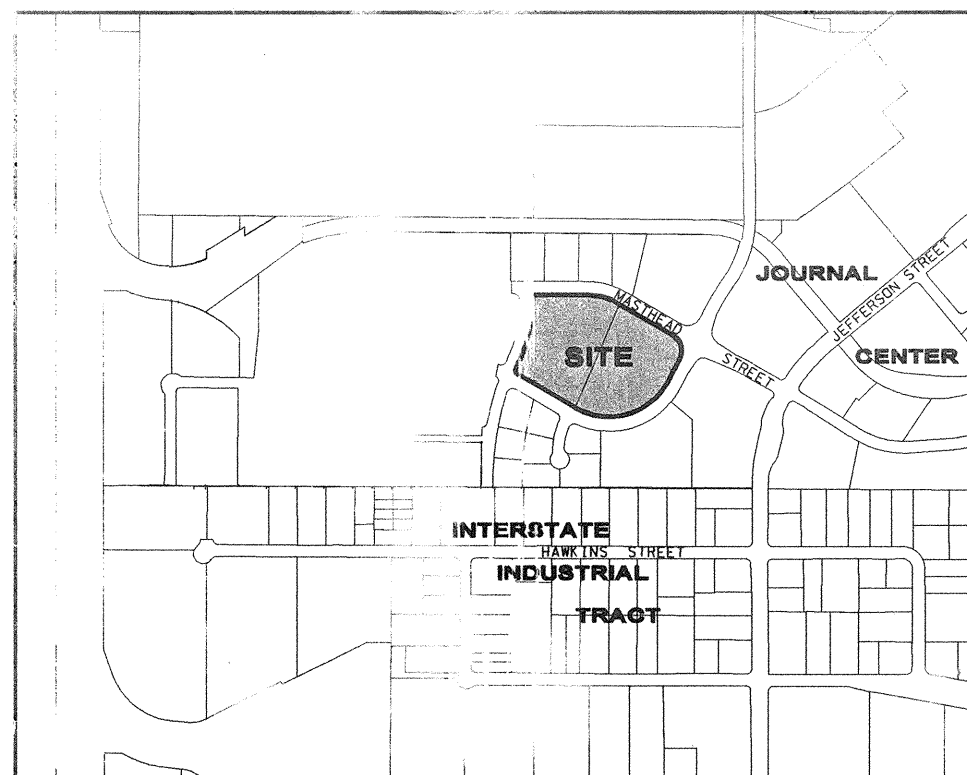
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CURVE						
No.	Delta	Tangent	Arc	Radius	Chord	Chord Bearing
C1	22° 34' 36"	106.73	210.68	534.68	209.32	S22° 53' 21" W
C2	11° 06' 43"	165.24	329.44	1698.66	328.92	S28° 37' 17" W
C3	79° 34' 34"	20.82	34.72	25.00	32.00	S62° 51' 12" W
C4	36° 36' 37"	30.44	58.79	92.00	57.79	S41° 02' 19" E
C5	21° 32' 38"	115.11	227.50	605.04	226.16	S70° 07' 13" E
C6	14° 30' 32"	17.82	35.45	140.00	35.36	S39° 04' 07" W
C7	16° 28' 23"	150.98	299.87	1043.00	298.84	S08° 19' 36" W
C8	30° 45' 00"	166.69	325.34	606.20	321.45	S61° 07' 47" E
C9	20° 24' 18"	179.57	355.34	997.76	353.46	N80° 15' 44" E
C10	24° 48' 20"	87.81	172.87	399.30	171.53	S77° 07' 57" E
C11	24° 14' 45"	100.96	198.89	470.00	197.41	S12° 27' 19" W
C12	98° 23' 49"	34.75	51.52	30.00	45.42	S71° 47' 39" W
C13	07° 24' 44"	110.03	219.76	1698.66	219.60	S14° 50' 41" W
C14	79° 11' 38"	24.82	41.47	30.00	38.24	S50° 44' 07" W
C15	18° 39' 37"	82.97	164.47	505.00	163.74	S74° 39' 50" E
C16	20° 24' 18"	177.77	351.77	987.76	349.92	N80° 15' 44" E
C17	23° 56' 35"	82.55	162.69	389.30	161.50	N77° 33' 50" W
C18	23° 37' 35"	83.52	164.66	399.30	163.49	S77° 43' 19" E
C19	07° 24' 06"	51.81	103.48	800.99	103.40	N63° 02' 57" W
C20	07° 17' 27"	50.97	101.80	800.00	101.73	N62° 59' 20" W
C21	30° 19' 27"	102.97	201.12	380.00	198.78	N74° 30' 20" W
C22	24° 14' 45"	107.40	211.59	500.00	210.01	S12° 27' 19" W
C23	04° 22' 38"	63.77	127.48	1668.66	127.45	S22° 23' 22" W
C24	10° 45' 44"	157.18	313.43	1668.66	312.97	S14° 49' 12" W
C25	09° 18' 48"	135.92	271.24	1668.66	270.94	S04° 46' 56" W
C26	93° 57' 50"	407.24	623.19	380.00	555.67	N74° 00' 38" E
C27	03° 59' 34"	13.25	26.48	380.00	26.48	N25° 01' 56" E
C28	11° 08' 30"	162.95	324.88	1670.66	324.36	N28° 36' 24" E
C29	21° 46' 26"	108.22	213.83	562.68	212.55	N23° 17' 26" E
C30	38° 33' 04"	132.89	255.68	380.00	250.88	S13° 17' 02" W
C31	11° 07' 08"	64.73	129.06	665.04	128.86	N82° 55' 05" W
C32	30° 19' 27"	93.22	182.06	344.00	179.95	N74° 30' 20" W
C33	49° 45' 43"	42.67	79.90	92.00	77.42	N02° 08' 52" E
C34	91° 09' 44"	25.51	39.78	25.00	35.71	S13° 46' 01" E
C35	07° 24' 06"	49.16	98.18	759.99	98.11	N63° 02' 57" W
C36	87° 13' 09"	396.28	633.26	416.00	573.86	S70° 38' 18" W
C37	92° 42' 08"	31.45	48.54	30.00	43.42	S67° 53' 48" W
C38	17° 33' 57"	54.08	107.30	350.00	106.88	S12° 45' 45" W
C39	259° 59' 50"	*****	226.89	50.00	76.61	S80° 10' 07" W
C40	23° 33' 54"	85.52	168.63	410.00	167.44	N11° 56' 57" E
C41	103° 36' 22"	38.13	54.25	30.00	47.15	S69° 11' 22" W
C42	17° 15' 38"	2+8.71	493.66	1638.66	491.79	S08° 45' 21" W
C43	77° 33' 30"	24.10	40.61	30.00	37.58	S20° 13' 42" E
C44	01° 58' 57"	29.39	58.78	1698.66	58.78	S23° 35' 13" W
C45	90° 00' 00"	30.00	47.12	30.00	42.43	S44° 40' 04" E
C46	30° 19' 27"	112.73	220.17	416.00	217.61	S74° 30' 20" E
C47	95° 01' 24"	81.88	124.39	75.00	110.61	N73° 08' 41" E
C48	08° 32' 40"	127.49	254.51	1706.66	254.27	N29° 54' 19" E
C49	22° 46' 44"	106.10	209.39	526.68	208.01	N22° 47' 16" E
C50	01° 10' 44"	4.11	8.22	399.30	8.22	S65° 19' 11" E
C51	05° 00' 29"	71.66	143.23	1638.66	143.18	N02° 37' 46" E
C52	05° 42' 15"	81.64	163.14	1638.66	163.07	N07° 59' 09" E
C53	06° 32' 55"	93.75	187.29	1638.66	187.18	N14° 06' 43" E
C54	82° 44' 21"	26.42	43.32	30.00	39.65	N17° 38' 16" W
C55	13° 52' 33"	49.89	99.29	410.00	99.05	S16° 47' 38" W
C56	09° 41' 21"	34.75	69.33	410.00	69.25	S05° 00' 40" W
C57	30° 00' 02"	8.04	15.71	30.00	15.53	N15° 10' 01" E
C58	56° 30' 04"	26.87	49.31	50.00	47.33	S01° 55' 00" W
C59	63° 21' 24"	30.85	55.29	50.00	52.51	S58° 00' 44" E
C60	130° 02' 33"	107.33	113.48	50.00	90.65	N25° 17' 18" E
C61	10° 05' 49"	4.42	8.81	50.00	8.80	N44° 46' 53" W
C62	53° 48' 35"	15.22	28.17	30.00	27.15	S22° 55' 30" E
C63	18° 05' 46"	66.25	131.39	416.00	130.84	S74° 48' 01" E
C64	56° 55' 27"	225.51	413.30	416.00	396.51	N67° 41' 23" E
C65	01° 33' 08"	4.66	9.32	344.00	9.32	S60° 07' 10" E
C66	86° 22' 20"	86.35	138.69	92.00	125.92	S16° 09' 27" E
C67	33° 57' 50"	368.66	564.15	344.00	503.02	N74° 00' 38" E
C68	81° 11' 17"	25.71	42.51	30.00	39.04	S18° 24' 48" E
C69	02° 23' 52"	34.29	68.57	1638.66	68.57	S23° 22' 46" W
C70	24° 14' 45"	113.84	224.28	530.00	222.61	S12° 27' 19" W
C71	90° 00' 00"	30.00	47.12	30.00	42.43	S45° 19' 56" W
C72	28° 46' 19"	88.23	172.74	344.00	170.94	S75° 16' 55" E
C73	21° 39' 56"	100.78	199.16	526.68	197.97	S23° 20' 41" W
C74	11° 40' 24"	42.52	84.76	416.00	84.61	N65° 10' 49" W
C75	18° 39' 03"	68.31	135.42	416.00	134.82	N80° 20' 32" W
C76	52° 53' 52"	24.87	46.17	50.00	44.54	S26° 34' 28" W
C77	06° 29' 53"	7.95	15.88	140.00	15.87	S43° 04' 25" W
C78	21° 49' 37"	11.57	22.86	60.00	22.72	S35° 24' 35" W
C79	04° 19' 45"	39.88	79.72	1055.00	79.70	S22° 19' 54" W
C80	21° 49' 36"	11.57	22.86	60.00	22.72	S09° 15' 12" W
C81	18° 13' 23"	22.45	44.53	140.00	44.34	S07° 27' 06" W
C82	23° 28' 14"	10.39	20.48	50.00	20.33	S41° 17' 35" W
C83	29° 27' 21"	6.57	12.84	25.00	12.70	N14° 50' 30" E
C84	12° 11' 56"	44.45	88.57	416.00	88.40	N33° 07' 41" E
C85	01° 06' 48"	5.12	10.23	526.68	10.23	S11° 57' 17" W
C86	08° 00' 38"	9.80	19.57	140.00	19.56	S35° 49' 11" W
C87	99° 10' 24"	29.36	43.27	25.00	38.07	N09° 45' 42" W
C88	77° 01' 07"	30.24	51.08	38.00	47.32	S73° 45' 14" W
C89	10° 42' 48"	153.65	306.40	1638.66	305.95	N28° 49' 15" E
C90	07° 20' 38"	53.65	107.15	835.99	107.08	N63° 01' 13" W
C91	72° 59' 06"	50.30	86.62	68.00	80.88	N19° 48' 28" W
C92	06° 45' 59"	96.87	193.52	1638.66	193.41	N30° 47' 39" E
C93	20° 41' 17"	108.54	214.72	594.68	213.56	N23° 50' 00" E
C94	04° 46' 17"	27.71	55.38	665.04	55.37	N65° 46' 44" W
C95	91° 37' 43"	25.72	39.98	25.00	35.85	N22° 21' 00" W
C96	03° 56' 48"	56.46	112.88	1638.66	112.85	N25° 26' 15" E
C97	90° 00' 00"	25.00	39.27	25.00	35.36	S45° 19' 56" W
C98	90° 00' 00"	25.00	39.27	25.00	35.36	N44° 40' 04" W



SP-2001380499



## LOCATION MAP

ZONE ATLAS INDEX MAP No. D-17-Z  
NOT TO SCALE

## SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index No. D-17-Z.
3. Gross Subdivision Acreage: 9.3482 Acres.
4. Total Number of Lots created: Two (2) Lots
5. No streets were created.
6. Date of Survey: September, 2001.
7. Plat is located within the Elena Gallegos Grant, within Projected Section 23, T11N, R3E, NMPM.

## DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Lots 10 & 11, Plat of JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, Page 84 as Document No. 2001029156 into Two (2) new lots, and to grant easements.

## PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are for the common joint use of:

- PNM Electric Services for the installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Qwest for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

## DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, within projected Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 10 and 11 of the PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, Page 84 as Document No. 2001029156 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927 Datum) and ground distances as follows:

BEGINNING at the northwest corner of said Lot 11, a point of curvature on the easterly right-of-way line of Washington Street NE, whence the Albuquerque City Survey (ACS) "REEVES 2, 1991", a standard NOS 3 1/2 inch brass tablet set in a concrete apron (having New Mexico State Plane Grid Coordinates, Central Zone NAD 1927) of X=394,062.557 and Y=1,516,507.279 bears N76°42'13"W, a distance of 2373.47 feet and from said point of beginning running thence along the northwesterly boundary line of said Lot 11 and also along said right-of-way line, 47.12 feet along the arc of a curve to the right having a radius of 30.00 feet and a chord which bears N45°19'56"E, a distance of 42.43 feet to a point of tangency on the northerly boundary line of said Lot 11 and also being a point on the southerly right-of-way line of Masthead Street NE, thence running along the northerly boundary line of said Lot 11 and 10, and also along said right-of-way line, 389°40'04"E, a distance of 260.12 feet to a point of curvature; thence, 182.06 feet along the arc of a curve to the right having a radius of 344.00 feet and a chord which bears S74°30'20"E, a distance of 179.95 feet to a point of tangency; thence, 559°20'37"E, a distance of 326.02 feet to a point of curvature; thence, 138.69 feet along the arc of a curve to the right having a radius of 92.00 feet and a chord which bears S16°09'27"E, a distance of 125.92 feet to a point on the southeasterly boundary line of said Lot 10 and also being a point on the northwesterly right-of-way line of Tiburon Street NE, thence running along the southeasterly boundary line of said Lot 10, the southwesterly boundary line of said Lot 11, the northwesterly right-of-way line of said Tiburon Street NE and also along the northwesterly right-of-way line of Wolcott Avenue NE, 527°01'43"W, a distance of 141.19 feet to a point of curvature; thence, 564.15 feet along the arc of a curve to the right having a radius of 344.00 feet and a chord which bears S74°00'38"W, a distance of 503.02 feet to a point of tangency; thence, N59°00'27"W, a distance of 343.90 to a point of curvature; thence, 42.51 feet along the arc of a curve to the right having a radius of 30.00 feet and a chord which bears N18°24'48"W, a distance of 39.04 feet to a point of compound curvature on the westerly boundary line of said Lot 11 and also being a point on the easterly right-of-way line of Washington Street NE, thence running along the westerly boundary line of said Lot 11 and also along said right-of-way line, 68.57 feet along the arc of a curve to the right having a radius of 1638.66 feet and a chord which bears N23°22'46"E, a distance of 68.57 feet to a point of reverse curvature; thence, 224.28 feet along the arc of a curve to the left having a radius of 530.00 feet and a chord which bears N12°27'19"E, a distance of 222.61 feet to a point of tangency; thence, N00°19'56"E, a distance of 76.83 feet to the point and place of beginning.

Tract contains 9.3482 acres, more or less.

## NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 27) and also the same as shown on the plat of the JOURNAL CENTER PHASE 2, UNIT 1, Albuquerque, New Mexico, recorded March 15, 2001 in Book 2001C, Page 84 as Document No. 2001029156.
2. Distances are ground distances.
3. All easements of record are shown.
4. A variance of waiver from certain subdivision requirements has been granted by the City and Albuquerque Metropolitan Arroyo Flood Control Authority in condition with this plat.
5. Future subdivision of lands within this plat, zoning site development plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies. In effect at the time for any specific proposal.
6. The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed with future plats or site development plans are approved.
7. By its approval the City makes no representative or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items. It is understood that a separate notice of these conditions has been recorded with the County Clerk at the time of final plat recorded September 8, 1987 in Book M531B, Page(s) 726-727.

## FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Elena Gallegos Grant, within projected Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lots 10 & 11 of the PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, Page 84 as Document No. 2001029156 now comprising Lots 10A and 11A, of the JOURNAL CENTER, PHASE 2, UNIT 1 is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant All access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and in the event Grantor, its successors and assigns, constructs and improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purpose of performing the Work. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

TIBURON INVESTMENT CORP.

By: Richard G. Elkins  
Richard G. Elkins, Treasurer

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 22 day of October, 2001  
2001 by Steven K. Motse, President and Richard G. Elkins, Treasurer of Tiburon Investment Corp.  
My Commission Expires: 4-12-04  
My Commission Expires: 4-12-04  
Notary Public

## SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver  
A. Dwain Weaver  
New Mexico Professional Surveyor 6544

Date: October 19, 2001



PLAT OF  
LOTS 10A & 11A  
JOURNAL CENTER  
PHASE 2, UNIT 1  
(A REPLAT OF LOTS 10 & 11,  
JOURNAL CENTER, PHASE 2, UNIT 1)  
ALBUQUERQUE, NEW MEXICO  
OCTOBER, 2001

## APPROVALS

PLAT NUMBER 1000633/01440-00000-01584

<u>Frank J. Bingham</u> PLANNING DIRECTOR	<u>11/16/01</u> DATE
<u>Charles J. Bingham</u> CITY ENGINEER	<u>11-7-01</u> DATE
<u>Steven K. Motse</u> A.M.A.E.C.P.	<u>11-8-01</u> DATE
<u>Mark J. Miller</u> TRAFFIC ENGINEER	<u>11-7-01</u> DATE
<u>John J. Miller</u> CITY SURVEYOR	<u>10-23-01</u> DATE
<u>Roger J. Miller</u> UTILITY DEVELOPMENT DEPARTMENT	<u>11-07-01</u> DATE
<u>Adrienne E. Cardenas</u> PARKS & RECREATION	<u>11-07-01</u> DATE
<u>Carol Miller</u> QUEST	<u>11-05-01</u> DATE
<u>Rita E. Miller</u> COMCAST CABLE	<u>11/5/01</u> DATE
<u>Paul Miller</u> PNM ELECTRIC SERVICES	<u>11-5-01</u> DATE
<u>Paul Miller</u> PNM GAS SERVICES	<u>11-5-01</u> DATE

## TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC # 1017-063-173193-30120

PROPERTY OWNER OF RECORD Tiburon Investments Corp.  
Quanta Caliente  
BERNALILLO COUNTY TREASURER'S OFFICE  
DATE 11-28-01

## PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston



Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

SHEET 1 OF 2

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020147PLAT.DGN

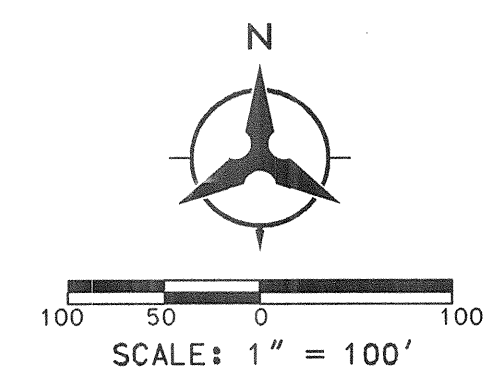
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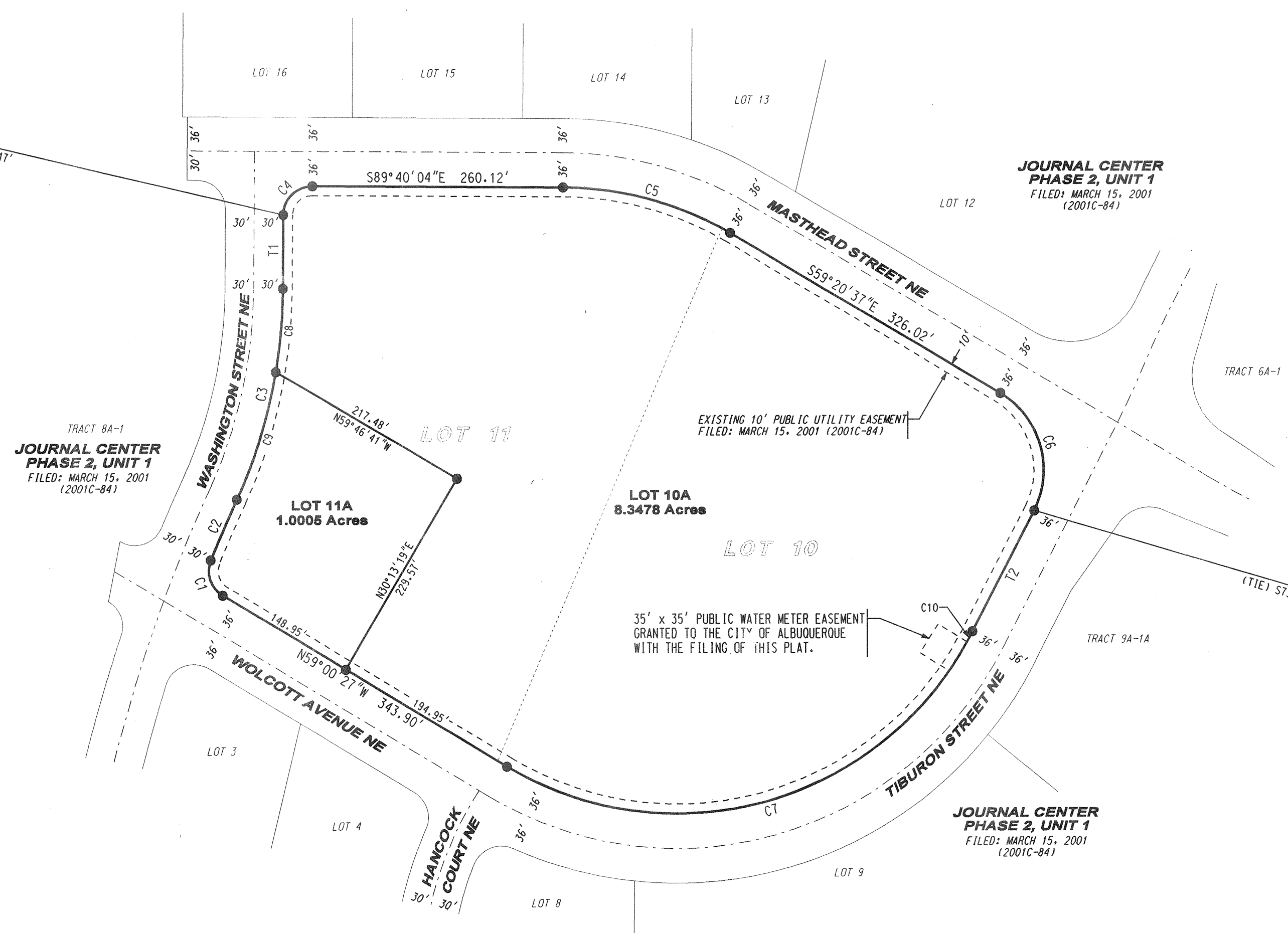
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Mary Herrera  
Bern. Co. PLAT

PLAT OF  
**LOTS 10A & 11A**  
**JOURNAL CENTER**  
**PHASE 2, UNIT 1**  
 (A REPLAT OF LOTS 10 & 11,  
 JOURNAL CENTER, PHASE 2, UNIT 1)  
 ALBUQUERQUE, NEW MEXICO  
 OCTOBER, 2001



NGS BRASS TABLE STAMPED "REEVES 2, 1991"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=394,062.557 Y=1,516,507.279  
 GROUND TO GRID FACTOR = 0.99991285  
 DELTA ALPHA = -00°12'15"  
 NGVD 1929 TRIG ELEVATION = 5074.0



NMSHC BRASS TABLE STAMPED "1-25-14, 1969"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=399,828.26 Y=1,514,860.92  
 GROUND TO GRID FACTOR = 0.99966298  
 DELTA ALPHA = -00°11'35"  
 NGVD 1929 ELEVATION = 5196.73

CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	81°11'17"	25.71'	42.51'	30.00'	39.04'	N18°24'48"W
C2	02°23'52"	34.29'	68.57'	1638.66'	68.57'	N23°22'46"E
C3	24°14'45"	113.84'	224.28'	530.00'	222.61'	N12°27'19"E
C4	89°59'59"	30.00'	47.12'	30.00'	42.43'	N45°19'56"E
C5	30°19'27"	93.22'	182.06'	344.00'	179.95'	S74°30'20"E
C6	86°22'20"	86.35'	138.69'	92.00'	125.92'	S16°09'27"E
C7	93°57'50"	368.66'	564.15'	344.00'	503.02'	S74°00'38"W
C8	09°21'59"	43.42'	86.64'	530.00'	86.55'	N05°00'56"E
C9	14°52'46"	69.21'	137.64'	530.00'	137.25'	N17°08'19"E
C10	02°04'08"	6.21'	12.42'	344.00'	12.42'	S28°03'47"W

TANGENT DATA		
ID	BEARING	DISTANCE
T1	N00°19'56"E	76.83'
T2	S27°01'43"W	141.19'

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- NEW EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (OLD) LOT LINE
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

**Bohannon & Huston**  
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

2627



This is a detailed plat map of a portion of the City of St. Louis, Missouri. The map shows various lots, streets, and industrial areas. Key features include:

- Streets:** BURON STREET (top right), JEFFERSON STREET (right), MASTHEAD STREET (curved), HAWKINS STREET (bottom), and INTERSTATE (bottom left).
- Industrial Areas:** AMAFCA SILLING BASIN (top left), JOURNAL SITE (center, shaded), and INDUSTRIAL TRACT (bottom center, shaded).
- Lots and Blocks:**
  - Block 8E-1 and 8C-1 (top left).
  - Block 8A-1 (center, containing JOURNAL SITE).
  - Block 16, 15, 14, 13, 12 (top right).
  - Block 6A-1 (far right).
  - Block 11A, 10A (center right, containing CENTER).
  - Block 9A-1A (bottom right).
  - Block 3, 4, 8, 2, 5, 7, 9 (center right).
  - Block 1, 6, 8, 7, 6, 5, 4, 3, 2 (bottom right).
  - Block 1A, 1B (bottom right).
  - Block 17A, 16, 15, 14, 13A1, 12A1, 11A1 (bottom left).
- Other Labels:** AMAFCA DRAINAGE RW (top center), MASTHEAD (curved label), and various lot numbers (e.g., 16, 15, 14, 13, 12, 11A, 10A, 9A, 8, 7, 6, 5, 4, 3, 2, 1A, 1B, 17A, 16, 15, 14, 13A1, 12A1, 11A1).

ZONE ATLAS INDEX MAP Nos. D-16-Z & D-17-Z  
NOT TO SCALE

App# 03 DRB-00478

1. DRB Project No. 1002321  
2. Zone Atlas Index Nos. D-16-Z & D-17-Z  
3. Gross Subdivision Acreage: 52,9679 Acres.  
4. Total Number of Lots/Tracts created: Twenty (20) Lots and One (1) Tract.  
5. Total Mileage of full width Streets created: 0.6367 mile.  
6. Total Mileage of partial width Streets created: 0.0697 mile.  
7. Date of Survey: December, 2002  
8. Plot is located within the Elena Gallegos Grant, within Projected Sections 22 & 23, T11N, R35E, NMEW.

THE purpose of this Plat is to subdivide all of Tract 84-1, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico on the same as is shown and designated on the plat hereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, page 84 as Document No. 2001029155 together with a portion of public street right-of-way into Twenty (20) Lots and One (1) Tract, to dedicate Public Street Right-of-way to the City of Albuquerque, to vacate Public Street Right-of-way, ~~to vacate Public Utility Easements~~ and to grant Public Utility Easements.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electrical Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees and shrubs which are located within the right of way or easement. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Association (N.E.S.A.) standards, or any structures adjacent to, on, or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet(10') in front of transformers/switchgear door and five feet (5') on each side.

A certain tract of land situated within the Elena Gallegos Grant, in projected Sections 22 and 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 8A-1 and a westerly portion of public street right-of-way of Washington Street NE, of the PLAT OF JOURNAL CENTER PHASE 2, UNIT 1, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on or about the 20th day of April, 2007, Page 84 of Document No. 20070291936, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927 Datum) and ground distances as follows:

BEGINNING the northwest corner of said Tract 8A-1, a point on the easterly right-of-way line of the A.M.A.F.C.A. North Division Channel and a point on the southerly right-of-way line of the A.M.A.F.C.A. Sifting Basin, whence the Albuquerque City Survey (ACS) Monument "REEVES 2", a NGS brass tablet set in the concrete lined Flood Channel, having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=394,062.557 and Y=1,516,507.279 bears N09°53'15"W, a distance of 502.29 feet from said point of beginning running thence along the northerly boundary line of said Tract 8A-1 and also along said southerly right-of-way line,  
 S89°59'38"E, a distance of 121.38 feet to a point of curvature (non-tangent); thence, 164.41 feet along the arc of a curve to the left having a radius of 505.00 feet and a chord which bears S61°30'47"E, a distance of 163.74 feet to a point of tangency; thence,  
 S83°59'38"E, a distance of 74.17 feet to a point of tangency; thence,  
 S76°30'17"E, a distance of 38.16 feet to a point of curvature; thence,  
 S25.34 feet along the arc of a curve to the right having a radius of 606.20 feet and a chord which bears S61°07'47"E, a distance of 321.45 feet to a point of tangency; thence,  
 S45°45'17"E, a distance of 49.94 feet to a point of tangency; thence,  
 S00°09'41"W, a distance of 208.08 feet to a point of tangency; thence,  
 S89°41'26"E, a distance of 75.00 feet to a point of tangency; thence,  
 N05°52'03"E, a distance of 251.44 feet to a point of tangency; thence,  
 N00°00'41"E, a distance of 300.00 feet to a point of tangency; thence,  
 N63°34'35"E, a distance of 283.35 feet to a point of tangency; thence,  
 S19°56'39"E, a distance of 10.00 feet to a point of curvature (non-tangent) on the southerly right-of-way line of an eighty (80) foot wide A.M.A.F.C.A. Drainage right-of-way, thence running along the northerly boundary line of said Tract 8A-1 and also along said right-of-way line,  
 351.77 feet along the arc of a curve to the right having a radius of 987.76 feet and a chord which bears N80°15'44"E, a distance of 349.92 feet to a point of tangency; thence,  
 S89°32'07"E, a distance of 736.15 feet to the northeast corner of said Tract 8A-1, thence leaving said right-of-way line and running thence along the easterly boundary line of said Tract 8A-1,  
 S00°19'56"W, a distance of 252.09 feet to a point of tangency; thence,  
 S89°40'04"E, a distance of 4.73 feet to a point on the northerly right-of-way line of Masthead Street NE, thence crossing said right-of-way,  
 S00°19'56"W, a distance of 66.00 feet to a point on the southerly right-of-way line of said Masthead Street NE; thence,  
 S89°40'04"E, a distance of 10.11 feet to a point of curvature; thence,  
 47.12 feet along the arc of a curve to the right having a radius of 30.00 feet and a chord which bears S44°40'04"E, a distance of 42.43 feet to a point of tangency on the westerly right-of-way line of Washington Street NE, thence running along the easterly boundary line of said Tract 8A-1 and along said right-of-way line,  
 S00°19'56"W, a distance of 82.83 feet to a point of curvature; thence,  
 198.89 feet along the arc of a curve to the right having a radius of 470.00 feet and a chord which bears S12°27'19"W, a distance of 197.41 feet to a point of reverse curvature; thence,  
 398.45 feet along the arc of a curve to the left having a radius of 1698.66 feet and a chord which bears S17°51'30"W, a distance of 397.54 feet to a point of reverse curvature; thence,  
 41.47 feet along the arc of a curve to the right having a radius of 30.00 feet and a chord which bears S50°44'07"W, a distance of 38.24 feet to a point of non-tangency; thence,  
 S00°19'56"W, a distance of 42.00 feet to a point, thence leaving said right-of-way line and running thence along the easterly boundary line of said Tract 8A-1,  
 N89°40'04"E, a distance of 368.11 feet to a point of tangency; thence,  
 S00°06'07"W, a distance of 270.21 feet to a point of tangency; thence,  
 N89°41'26"E, a distance of 1070.03 feet to a point of tangency; thence,  
 S00°07'23"W, a distance of 266.32 feet to a point on the northerly right-of-way line of Hawkins Street NE, thence running along the southerly boundary line of said Tract 8A-1 and also along said right-of-way line,  
 N89°52'37"W, a distance of 30.00 feet to a point of curvature (non-tangent); thence,  
 46.17 feet along the arc of a curve to the right having a radius of 50.00 feet and a chord which bears S26°34'28"W, a distance of 44.54 feet to a point of reverse curvature; thence,  
 20.48 feet along the arc of a curve to the left having a radius of 50.00 feet and a chord which bears S44°17'03"E, a distance of 19.33 feet to a point of compound curvature, thence leaving said right-of-way line and running thence along the southerly boundary line of said Tract 8A-1,  
 12.84 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N14°50'30"E, a distance of 12.70 feet to a point of tangency; thence,  
 N00°07'23"E, a distance of 309.41 feet to a point of tangency; thence,  
 N89°41'26"E, a distance of 470.33 to the southwest corner of said Tract 8A-1, a point on the easterly right-of-way line of the A.M.A.F.C.A. North Division Channel, thence running along the westerly boundary line of said Tract 8A-1 and also along said right-of-way line, N00°00'22"E, a distance of 1024.31 feet to the point and place of beginning.

Tract contains 52.9679 acres, more or less.

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 27) and also the same as shown on the plat of the PLAT of JUAL CERRIL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, page 84 as Document No. 2001029156
2. Distances are ground distances.
3. All easements of record are shown.
4. Record bearings and distances are shown in parenthesis ( ).
5. A variance of waiver from certain subdivision requirements has been granted by the City and Albuquerque Metropolitan Arroyo Flood Control Authority in condition with this plat.
6. Future subdivision of lands within this plat, zoning site development plan approvals, and development permits are to be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies. In effect at the time for any specific proposal.
7. The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed with future plats or site development plans are approved.
8. By its approval the City makes no representative or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is intended to investigate the status of the items. It is understood that a separate notice of these conditions has been recorded with the County Clerk at the time of final plat recorded September 8, 1987 in Book M5531B, Page(s) 726-727.
9. Tract 8A-1 is subject to a temporary blanket drainage easement filed: March 15, 2001 in Book 2001C, Page 84. Easement is vacated by vacation action V-
10. Tract 8A-1 is subject to a 50' wide floating sanitary sewer easement granted to the City of Albuquerque Filed: March 15, 2001 in Book 2001C, Page 84. Easement is vacated by Vacation Action V-02DRB-01724.
11. Tract A is subject to a temporary blanket drainage easement to be granted to the City of Albuquerque with the filing of this plat.
12. Existing "50' Right of Way" Sanitary Sewer easement granted by Grant of Right-of-Way, dated August 8, 1956, recorded August 10, 1956 as Document No. 3174 in Book D359, Pages 275-282, and Grant of Right-of-Way dated January 9, 1959, recorded January 15, 1959 as Document No. 98462 in Book D459, Pages 329-333 and amended by Document recorded January 15, 1959 in Book D459, Pages 359-361, of the County Records of Bernalillo County, New Mexico.

The foregoing Plat of and certain tract of land situate within the Elena Gallegos Grant, within proposed Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising all of Tract 8A-1, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 1, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 2001 in Book 2001C, page 84 as Document No. 2001029156 together with a portion of public street right-of-way, now comprising Lots 1 thru 20 inclusive and Tract A of the JOURNAL CENTER, PHASE 2, UNIT 2 is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, do hereby grant: All access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and in the event Grantor, its successors and assigns, constructs and improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purpose of performing the Work. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

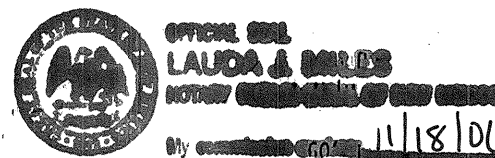
TIBURON INVESTMENT, LLC

BY: D. H. Collister  
Douglas H. Collister  
Administrative Manager of Tiburon Investment, LLC

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 24 day of MARCH, 2003 by Douglas H. Collister, Administrative Manager of Tiburon Investment, LLC.

My Commission Expires: 11/8/06 [Signature]  
Notary Public



CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°00'00"	30.00'	47.12'	300.0'	42.43'	S44°40'04"W
C2	24°14'45"	100.96'	198.89'	470.0'	197.41'	S12°27'19"W
C3	13°26'23"	200.15'	398.45'	1698.66'	397.54'	S17°51'30"W
C4	79°11'37"	24.82'	41.47'	30.0'	38.24'	S50°44'07"W
C5	52°54'10"	24.88'	46.17'	50.0'	44.54'	S26°34'28"W
C6	52°53'32"	(24.87')				
	12°10'25"	(10.39')	20.48'	50.00'	20.33'	S41°17'35"W
	(23°28'14")	(10.39')				
C7	29°26'14"	6.57'	12.84'	25.00'	12.70'	N14°50'30"E
	(29°27'21")					
C8	18°39'37"	82.97'	164.47'	505.0'	163.74'	S74°39'50"W
C9	30°45'00"	166.69'	325.34'	606.20'	321.45'	S61°07'31"W
C10	20°24'18"	177.77'	351.77'	780.20'	349.92'	N80°15'44"E
C11	21°10'25"	71.02'	140.43'	380.0'	139.63'	S79°44'43"W
C12	21°10'39"	71.44'	141.23'	380.0'	140.42'	S79°48'20"W
C13	90°07'10"	70.16'	117.77'	75.00'	128.61'	S42°23'34"W
C14	21°10'26"	65.42'	129.34'	350.0'	128.18'	S79°44'43"W
C15	21°17'39"	77.08'	152.38'	410.0'	151.50'	S79°48'20"W
C16	90°07'10"	45.09'	70.78'	45.00'	63.71'	S45°23'34"W
C17	90°00'03"	25.00'	39.00'	25.00'	35.36'	S44°40'02"W
C18	90°12'33"	25.09'	39.36'	25.00'	35.42'	S45°13'40"W
C19	89°47'27"	24.91'	39.18'	25.00'	35.29'	N44°46'20"E
C20	89°59'57"	25.00'	39.27'	25.00'	35.36'	N45°19'58"E
C21	90°07'10"	105.22'	165.15'	105.0'	148.65'	N45°23'34"E
C22	21°17'39"	65.80'	130.08'	350.0'	129.33'	N79°48'20"E
C23	21°10'26"	65.42'	117.77'	150.66'	150.66'	N79°44'43"E
C24	04°59'31"	15.26'	30.49'	350.0'	30.48'	N71°39'16"E
C25	00°57'17"	8.23'	16.46'	987.76'	16.46'	N89°59'14"E
C26	16°18'08"	50.13'	99.58'	350.0'	99.25'	S82°18'05"W
C27	08°18'47"	71.78'	143.32'	987.76'	143.19'	N85°21'12"E
C28	28°59'51"	27.15'	53.14'	105.0'	52.58'	S75°57'14"W
C29	11°08'13"	96.30'	192.00'	987.76'	191.70'	N75°37'42"E
C30	30°17'52"	28.43'	55.52'	105.0'	54.88'	S46°18'22"W
C31	30°49'26"	28.95'	56.49'	105.0'	55.81'	S15°44'42"E
C32	15°10'52"	88.15'	176.38'	350.0'	150.93'	N79°48'20"E
C33	90°25'47"	20.15'	31.57'	20.0'	28.30'	S80°31'02"E
C34	89°34'13"	19.85'	31.27'	20.0'	28.18'	S90°28'58"W
C35	14°35'09"	74.23'	147.65'	800.0'	147.25'	N69°39'39"E
C36	09°46'40"	45.76'	91.30'	535.0'	91.19'	N79°52'39"W
C37	11°14'28"	49.70'	99.08'	505.0'	98.92'	S78°22'24"E

TANGENT DATA			
ID	BEARING	DISTANCE	
T1	589°40'04"E	4.73'	
T2	500°19'56"W	66.00'	
T3	589°40'04"E	10.10'	
T4	500°19'56"W	82.83'	
T5	500°19'56"W	42.00'	
T6	889°52'37"W	30.00'	
T7	583°59'38"E	74.17'	
T8	576°30'17"E	38.16'	
T9	545°45'19"E	49.94'	
T10	589°41'26"E	75.00'	
T11	519°56'39"E	10.00'	
T12	500°09'41"E	30.06'	
T13	87°32'35"W	60.00'	
T14	500°19'56"W	60.00'	
T15	500°19'56"W	12.00'	
T16	500°06'07"E	18.00'	
T17	500°19'56"W	6.00'	
T18	889°32'51"E	27.15'	
T19	553°34'35"W	34.16'	
T20	500°19'59"W	25.75'	
T21	505°52'03"E	31.32'	
T22	535°18'09"E	76.97'	
T23	541°16'04"E	12.11'	
T24	535°43'56"E	20.00'	
T25	541°16'04"E	12.56'	
T26	535°18'09"E	62.81'	
T27	584°40'01"E	55.57'	
T28	535°18'09"E	64.52'	
T29	889°40'01"W	64.52'	
T30	N76°57'03"E	34.64'	
T31	N84°45'59"W	74.18'	
T32	N89°59'38"E	72.26'	
T33	N00°00'22"E	40.00'	
T34	N89°59'38"E	62.27'	

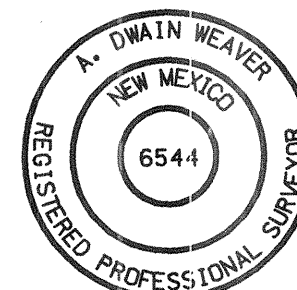
(A REPLAT OF TRACT 8A-1,  
JOURNAL CENTER PHASE 2, UNIT 1)

ALBUQUERQUE, NEW MEXICO  
MARCH, 2003

PLANT NUMBER	1002321	03DRRB-00478
PLANNING DIRECTOR	Shirley Watson	4/1/03
ENGINEER	Bruce L. Byham	4/2/03
CITY ENGINEER	Lynn M. Mager	4-3-03
A.M.A. F.S.A.	Richard Dawke	DATE
TRAFFIC ENGINEER	Michael Bat	3-02-03
CITY SURVEYOR	Scott M. Howell	DATE
PROPERTY MANAGEMENT	Roger J. Green	3-25-03
UTILITY DEVELOPMENT DEPARTMENT	Christina Sandora	DATE
PARKS & RECREATION	Dan J. R. Muller	4-1-03
OWEST	Rita Encke	DATE
COMCAST CABLE	Second 91. Mr. A	3-31-03
PWM ELECTRIC SERVICES	Second 91. Mr. A	DATE
PWM GAS SERVICES	Second 91. Mr. A	4-01-03

PROPERTY OWNER OF RECORD Talman Investment Corp  
perinite a company 04-10-03  
 BERNALILLO COUNTY TREASURER'S OFFICE DATE  
 1-017-063- 102208-30120

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was created by me or under my direct supervision, and that this plat is a true and correct copy of the original, and that the same conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver  
A. Dwain Weaver  
New Mexico Professional Surveyor 6544  
Date: March 21, 2003

# Bohannon ▲ Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
**ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES**

SHEET 1 OF 3

2723



TRACT E  
**AMAFCA NORTH DIVERSION CHANNEL & INLET CHANNELS RW**  
**PHASE 4**  
 FILED: OCTOBER 11, 1996 (96C-429)

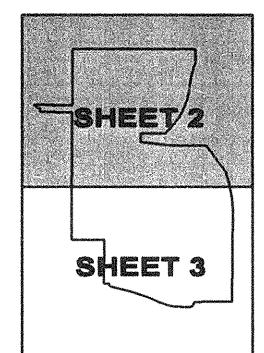
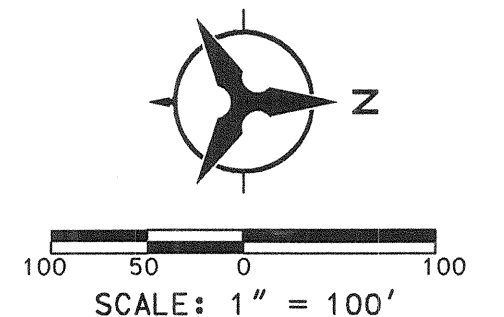
N00°00'22"E 1024.31'



**PLAT OF**  
**JOURNAL CENTER**  
**PHASE 2, UNIT 2**  
 (A REPLAT OF TRACT 8A-1,  
 JOURNAL CENTER PHASE 2, UNIT 1)  
 ALBUQUERQUE, NEW MEXICO  
 MARCH, 2003

NOTE: SEE SHEET 1 FOR CURVE & TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
10' PUE	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"



**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 2 OF 3

p:\020075\survey\010\plat\graphics\020075plat01-02.dgn 04-APR-2003 09:24 mcole JOB NO. 020075 010

2723

17A  
**INTERSTATE INDUSTRIAL TRACT**  
**UNIT IV**  
 FILED: SEPTEMBER 29, 1999  
 (99C-274)

EXISTING 10' PUBLIC  
 UTILITY EASEMENT  
 FILED: MAY 7, 1979  
 (09-119)

CENTERLINE EXISTING 10' PNM  
 AND M&T UNDERGROUND EASEMENT  
 FILED: JANUARY 17, 1986  
 (MISC. BK. 3124, PG. 856)  
 DOCUMENT NO. 86-5105)

15  
**INTERSTATE INDUSTRIAL TRACT**  
**UNIT IV**  
 FILED: MARCH 22, 1977  
 (07-141)

**TRACT A**  
**14.1686 Acres**  
 (SEE NOTE 11, SHEET 1)

EXISTING 60' TEMPORARY  
 PUBLIC ACCESS EASEMENT  
 FILED: MARCH 15, 2001  
 (2001C-84) VACATED BY  
 VACATION ACTION  
 V-02DRB-01724

EXISTING 65' AMAFCA  
 DRAINAGE EASEMENT  
 FILED: JUNE 30, 1983  
 (C21-126) VACATED BY  
 VACATION ACTION  
 V-02DRB-01724

25' PUBLIC DRAINAGE & PUBLIC  
 TRAIL EASEMENT TO BE GRANTED  
 TO THE CITY OF ALBUQUERQUE  
 WITH THE FILING OF THIS PLAT

EXISTING 350' PNM EASEMENT  
 (SEE NOTE 12, SHEET 1)

5' PRIVATE DRAINAGE EASEMENT FOR THE  
 BENEFIT OF LOTS 8, 9 & 10 TO BE GRANTED  
 WITH THE FILING OF THIS PLAT. EASEMENT  
 TO BE MAINTAINED BY OWNER OF SAID LOTS

45' PUBLIC DRAINAGE & PUBLIC  
 SANITARY SEWER EASEMENT  
 TO BE GRANTED TO THE CITY OF  
 ALBUQUERQUE WITH THE FILING  
 OF THIS PLAT

PUBLIC STREET RIGHT OF WAY  
 TO BE DEDICATED TO THE CITY  
 OF ALBUQUERQUE WITH THE  
 FILING OF THIS PLAT

HAWKINS ST. NE  
 (RW VARIES)

RUTLEDGE ROAD NE

BARTLETT STREET NE

MASTHEAD  
 ST. NE

80' AMAFCA  
 DRAINAGE RW

20  
 2.1971 Acres

19  
 1.0000 Acres

18  
 1.0000 Acres

10  
 1.0293 Acres

9  
 1.0000 Acres

8  
 1.0000 Acres

7  
 1.0000 Acres

6  
 1.0000 Acres

5  
 1.0014 Acres

4  
 1.0000 Acres

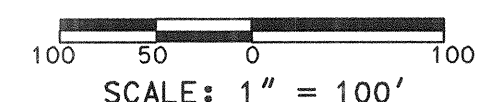
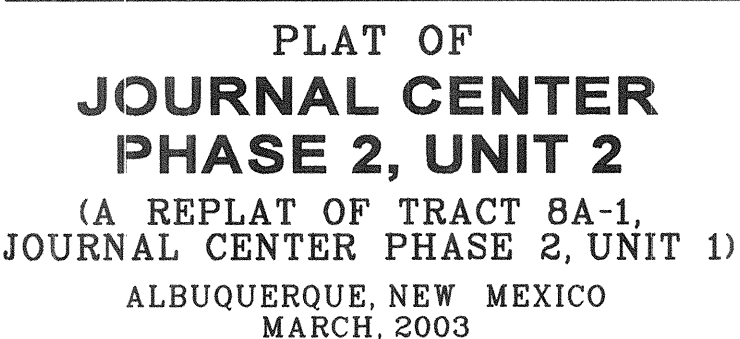
3  
 1.0000 Acres

15  
 1.1715 Acres











14  
 1.0000 Acres

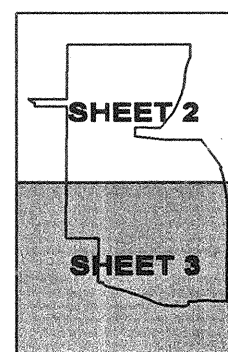
13  
 1.0000 Acres

12  
 1.1644 Acres



### LEGEND

	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
10' PUE	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER L.S. 6544"

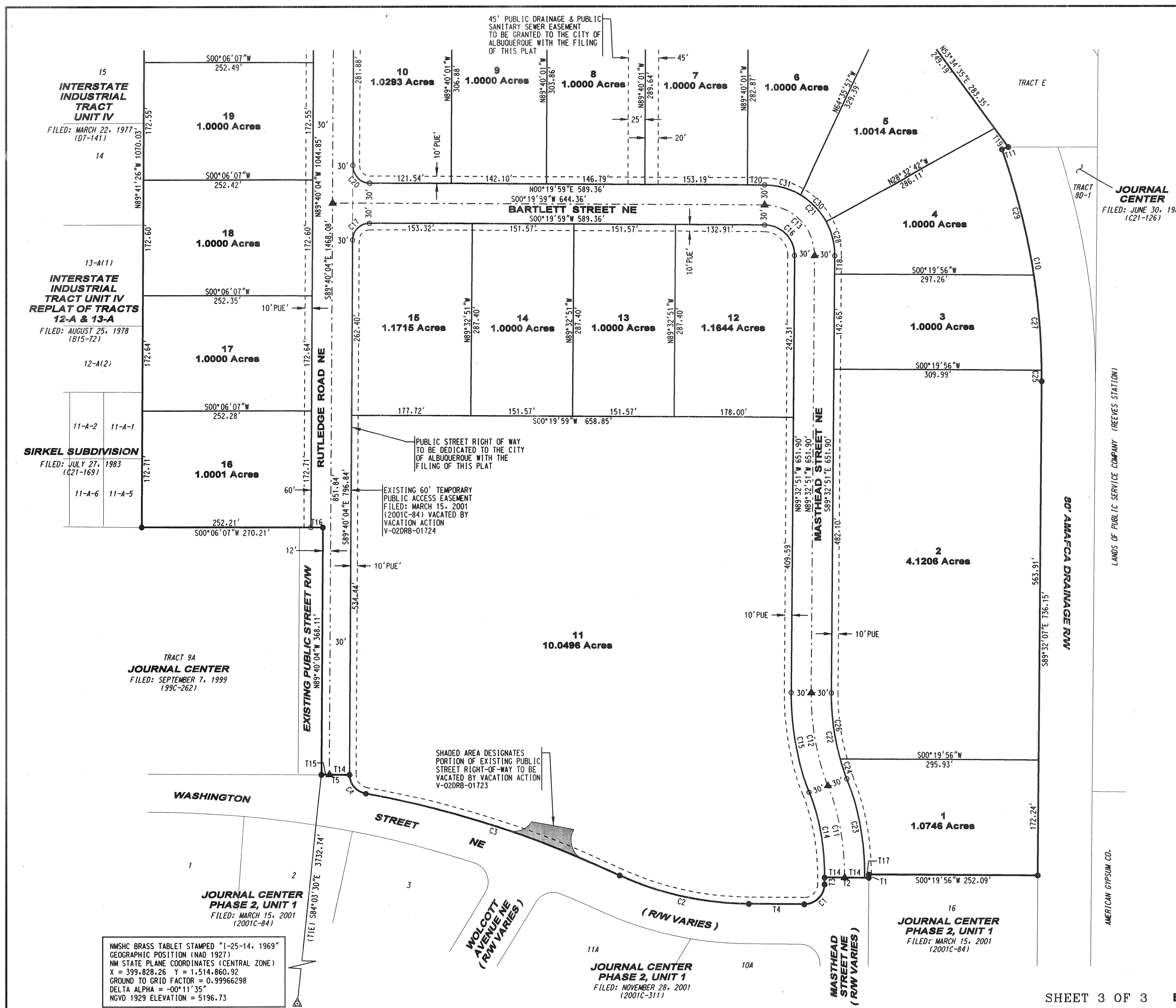


# Bohannon ▲ Huston

SHEET 3 OF 3

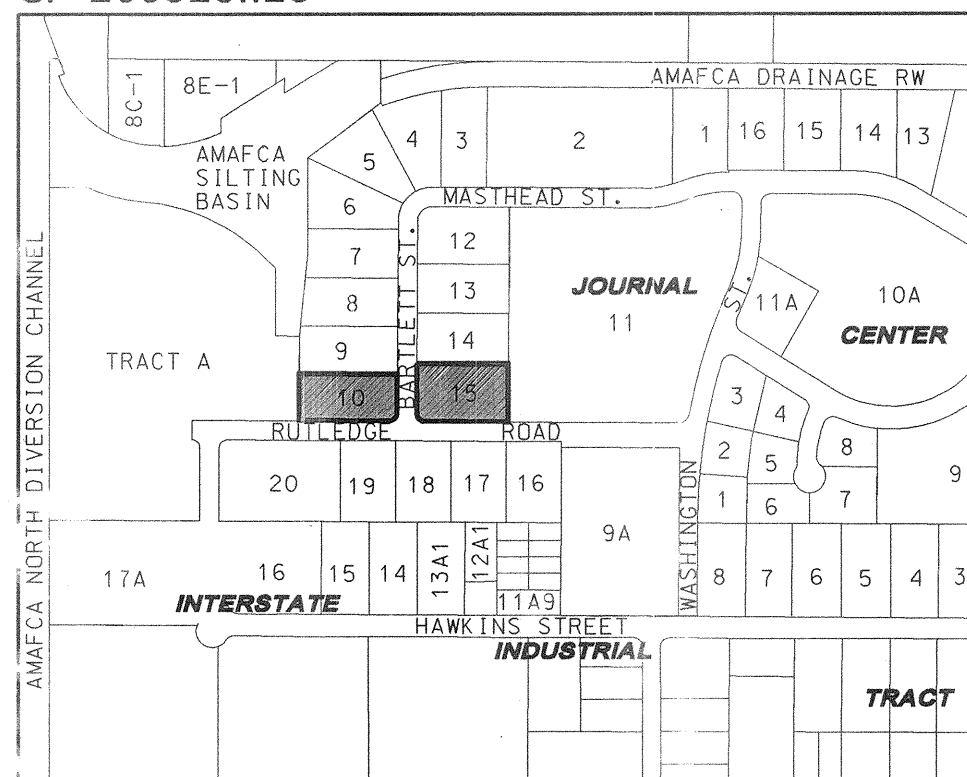
JOB NO. 020075 010

2723





SP-2003281123



## LOCATION MAP

ZONE ATLAS INDEX MAP No. D-17-Z  
NOT TO SCALE

## SUBDIVISION DATA

1. DRB No. 03028-01304
2. ZONE ATLAS INDEX No. D-17-Z
3. GROSS SUBDIVISION ACREAGE: 2.2008 ACRES.
4. TOTAL NUMBER OF LOTS CREATED: FOUR (4) LOTS.
5. NO STREETS WERE CREATED.
7. DATE OF SURVEY: JULY, 2003
5. PLAT IS LOCATED WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, T11N, R3E, N3PM.

## DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE ALL OF LOTS 10 & 15, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT No. 2003058753, INTO FOUR (4) LOTS.

## NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE NAD 27) AND ALSO THE SAME AS SHOWN ON THE PLAT OF THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT No. 2003058753.
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.
4. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THE LOTS CREATED BY THIS PLAT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

## PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON JOINT USE OF:

- A. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- B. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- C. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL, DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMERS/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

## DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, IN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF LOTS 10 & 15 OF THE PLAT OF JOURNAL CENTER PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT No. 2003058753.

LOT 10 CONTAINS 1.0293 ACRES, MORE OR LESS.

LOT 15 CONTAINS 1.1715 ACRES, MORE OR LESS.

## FREE CONSENT

THE FOREGOING PLAT OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, BEING AND COMPRISING ALL OF LOTS 10 & 15, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT No. 2003058753 NOW COMPRISING LOTS 10-A, 10-B, 15-A, & 15-B OF THE JOURNAL CENTER, PHASE 2, UNIT 2 IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF.

TIBURON INVESTMENT, LLC

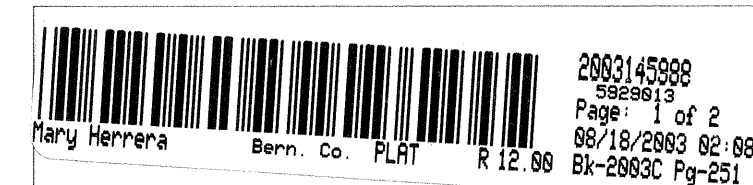
BY: Douglas H. Collister  
DOUGLAS H. COLLISTER  
ADMINISTRATIVE MANAGER OF TIBURON INVESTMENT, LLC

STATE OF NEW MEXICO )  
SS  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 29th DAY OF JULY, 2003 BY  
DOUGLAS H. COLLISTER, ADMINISTRATIVE MANAGER OF TIBURON INVESTMENT, LLC  
MY COMMISSION EXPIRES: 6-24-2007 Stephanie L. Stratton  
NOTARY PUBLIC



OFFICIAL SEAL  
STEPHANIE L. STRATTON  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My commission expires: 6-24-07



PLAT OF  
LOTS 10-A, 10-B, 15-A, & 15-B  
JOURNAL CENTER  
PHASE 2, UNIT 2

(A REPLAT OF LOTS 10 & 15, JOURNAL CENTER  
PHASE 2, UNIT 2)  
ALBUQUERQUE, NEW MEXICO  
JULY, 2003

PROJECT NUMBER 1002865  
APPLICATION NUMBER 03DRB01304

## PLAT APPROVAL

UTILITY APPROVALS:  
QWEST Dan R. Muller 7-30-03  
DATE  
COMCAST CABLE Rita Erickson 7-30-03  
DATE  
PNM ELECTRIC SERVICES Leand J. Munk 7-30-03  
DATE  
PNM GAS SERVICES Leand J. Munk 7-30-03  
DATE

CITY APPROVALS:  
CITY ENGINEER Robert D. Douthett 7-29-03  
DATE  
CITY ENGINEERING, TRANSPORTATION DIVISION Robert D. Douthett 8-13-03  
DATE  
UTILITIES DEVELOPMENT Christina S. Sandoval 8/13/03  
DATE  
PARKS & RECREATION DEPARTMENT Robert D. Douthett 8-13-03  
DATE  
A.M.A.F.C.A. Brad L. Bihm 8/13/03  
DATE  
CITY ENGINEER Sharon Naton 8/15/03  
DATE  
DRB CHAIRPERSON, PLANNING DEPARTMENT  
N/A  
REAL PROPERTY DIVISION  
N/A  
ENVIRONMENTAL HEALTH DEPARTMENT

## TAX CERTIFICATION

PROPERTY OWNER OF RECORD Tiburon Investment Corp  
Mark H. Hill 13 Aug 03  
BERNALILLO COUNTY TREASURER'S OFFICE DATE

## PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

## SURVEYOR'S CERTIFICATION

I, A. DWAIN WEAVER, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS IN OCTOBER, 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



A. Dwain Weaver  
A. DWAIN WEAVER  
NEW MEXICO PROFESSIONAL SURVEYOR 6544  
DATE: July 25, 2003

SHEET 1 OF 2

**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

P:\020075\survey\09\020075replat.dgn  
25-JUL-2003  
09:15  
dyabeny

JOB NO. 020075 09

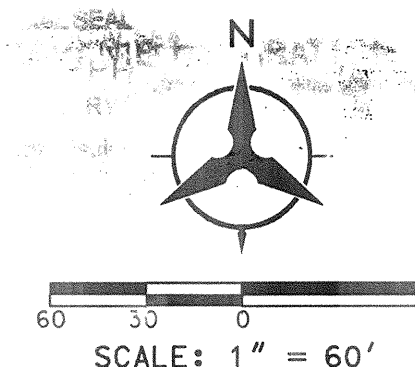
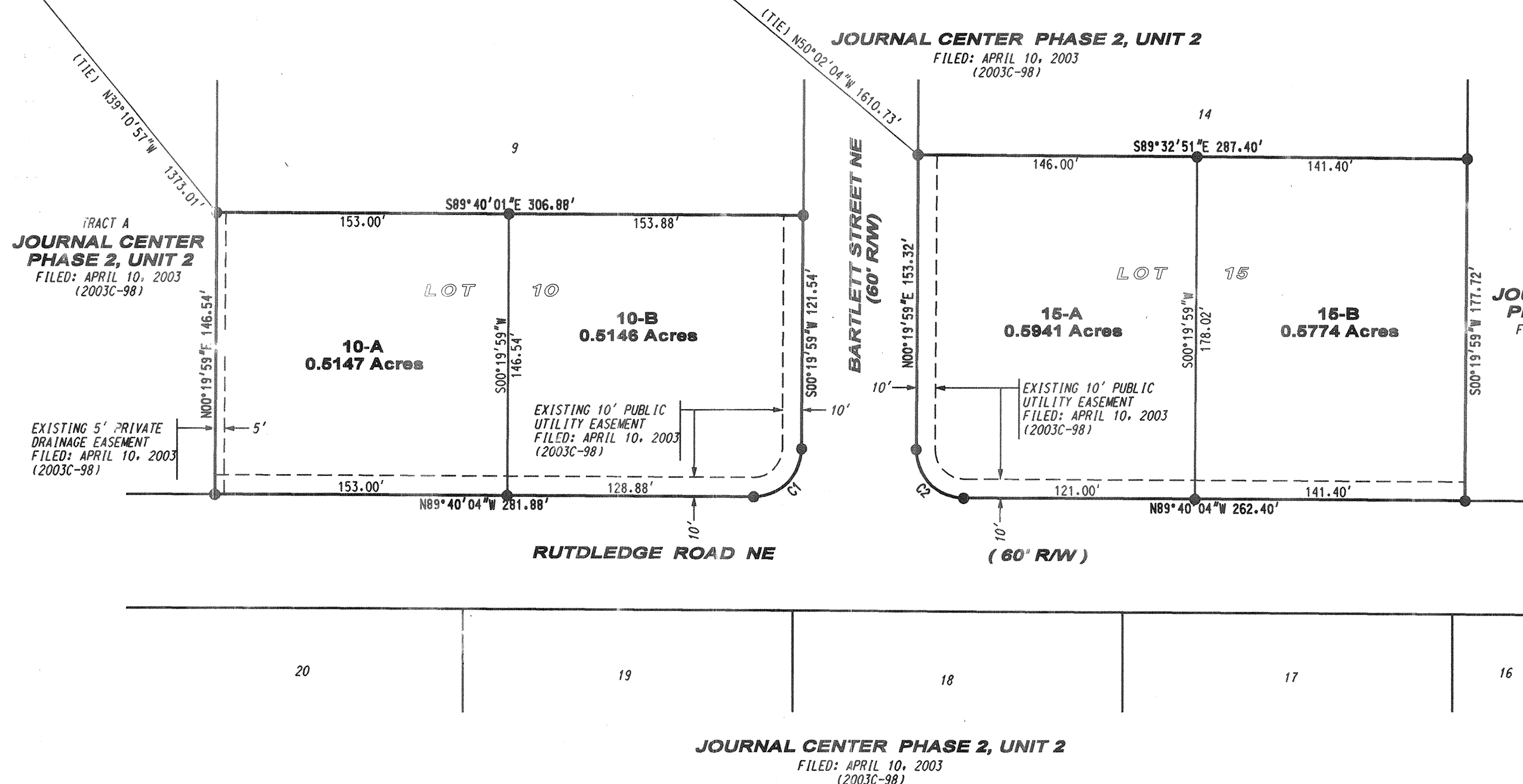
2758

NGS BRASS TABLET STAMPED "REEVES 2, 1991"  
 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X = 394,062.557 Y = 1,516,507.279  
 GROUND TO GRID FACTOR = 0.99967022  
 DELTA ALPHA = -00°12'15"  
 NGVD 1929 TRIG ELEVATION = 5074.0



2003145988  
 5828813  
 Page: 2 of 2  
 06/18/2003 02:08P  
 BK-2003C Pg-251

PLAT OF  
**LOTS 10-A, 10-B, 15-A, & 15-B**  
**JOURNAL CENTER**  
**PHASE 2, UNIT 2**  
 (A REPLAT OF LOTS 10 & 15, JOURNAL CENTER  
 PHASE 2, UNIT 2)  
 ALBUQUERQUE, NEW MEXICO  
 JULY, 2003



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	89°59'57"	25.00'	39.27'	25.00'	35.36'	S45°19'58"W
C2	90°00'03"	25.00'	39.27'	25.00'	35.36'	N44°40'02"W

**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 2 OF 2

2758



SP-2003360295



### LOCATION MAP

ZONE AT AS INDEX MAP NO. D-17-Z  
NOT TO SCALE

### SUBDIVISION DATA

1. DDB NO.
2. ZONE AT AS INDEX MAP NO. D-17-Z
3. GROSS SUBDIVISION ACRES: 1.1644 ACRES
4. TOTAL NUMBER OF LOTS: TWO (2) LOTS
5. NO STREETS WERE CREATED
6. DATE OF SURVEY: AUGUST, 2003
7. PLAT IS LOCATED WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, T11N, R3E, N11M.

### DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE ALL OF LOT 12, F.A.T. OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753, INTO TWO (2) LOTS AND EASEMENT.

### NOTES

1. BE 1/83 AND NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE - NAD 83) AND ALSO THE SAME AS SHOWN ON THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 93 AS DOCUMENT NO. 2003058753.
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.
4. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THE LOTS CREATED BY THIS PLAT MUST BE VERIFIED AND COORDINATED WITH PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

### PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON JOINT USE OF:

- A. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- B. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- C. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRY AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMERS/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

### DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, IN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF LOT 12 OF THE PLAT OF JOURNAL CENTER PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753.

LOT 12 CONTAINS 1.1644 ACRES, MORE OR LESS.

### FREE CONSENT

THE FOREGOING PLAT OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF LOT 12, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753 NOW COMPRISING LOTS 12-A, AND 12-B, OF THE JOURNAL CENTER, PHASE 2, UNIT 2 IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF.

TIBURON INVESTMENT, LLC

BY: Douglas H. Collister  
DOUGLAS H. COLLISTER  
ADMINISTRATIVE MANAGER OF TIBURON INVESTMENT, LLC

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 2 DAY OF September, 2003  
BY DOUGLAS H. COLLISTER, ADMINISTRATIVE MANAGER OF TIBURON INVESTMENT, LLC.  
MY COMMISSION EXPIRES: 6-24-07 Stephanie L. Stratton  
NOTARY PUBLIC

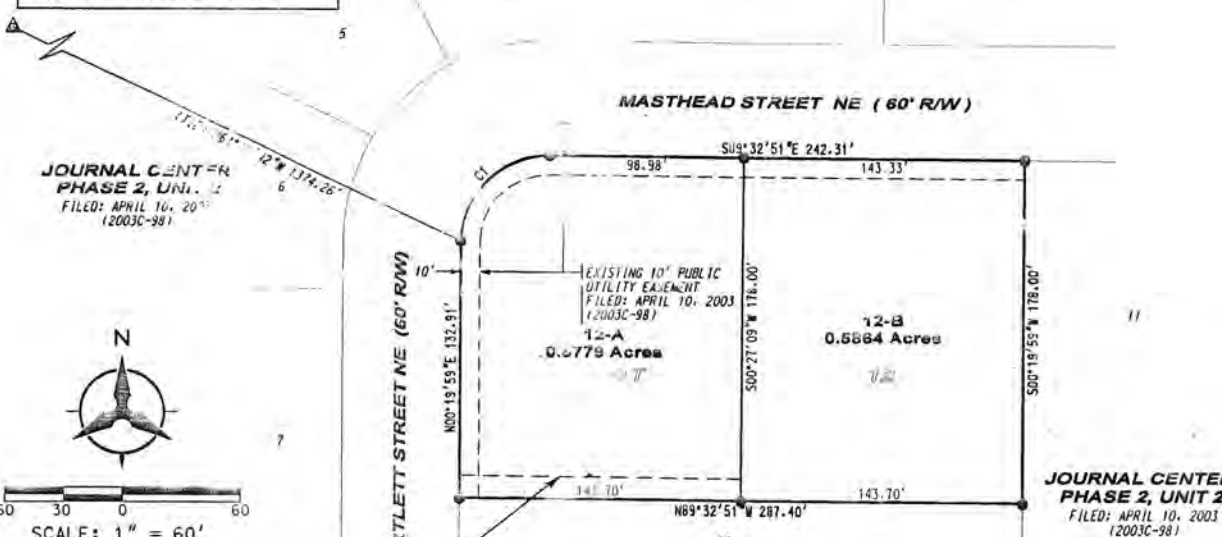


OFFICIAL REAL  
STEPHANIE L. STRATTON  
NOTARY PUBLIC - STATE OF NEW MEXICO  
My commission expires: 6-24-07

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

NGS BRASS TABLET STAMPED "REEVES 2. 1891"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 394,062.557 Y = 1,516,507.279  
GROUND TO GRID FACTOR = 0.99967022  
DELTA ALPHA = -00°12'15"  
NGVD 1929 TRIG ELEVATION = 5074.0

CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°07'10"	45.09'	70.78'	45.00'	63.71'	N45°23'34"E



10' PRIVATE DRAINAGE EASEMENT  
FOR THE BENEFIT OF LOT 12B TO  
MAINTAINED BY LOT 12A. GRANTED  
WITH THIS PLAT.

### SURVEYOR'S CERTIFICATION

I, A. DWAIN WEAVER, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS IN OCTOBER, 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



A. Dwain Weaver  
A. DWAIN WEAVER  
NEW MEXICO PROFESSIONAL SURVEYOR 6544  
DATE: August 29, 2003



PLAT OF  
LOTS 12-A & 12-B  
JOURNAL CENTER  
PHASE 2, UNIT 2  
(A REPLAT OF LOT 12, JOURNAL CENTER  
PHASE 2, UNIT 2)  
ALBUQUERQUE, NEW MEXICO  
AUGUST, 2003

PROJECT NUMBER 1000633  
APPLICATION NUMBER CB DRB-01504  
PLAT APPROVAL

UTILITY APPROVALS:  
QWEST Dan R. Muller 9-3-03  
DATE  
COMCAST CABLE Rita E. Sachs 9-9-03  
DATE  
PNM ELECTRIC SERVICES Leann D. Marks 9-3-03  
DATE  
PNM GAS SERVICES Leann D. Marks 9-3-03  
DATE

CITY APPROVALS:  
CITY ENGINEER Phil Danks 9-3-03  
DATE  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION Phil Danks 9-17-03  
DATE  
UTILITIES DEVELOPMENT Phil Danks 9-17-03  
DATE  
PARKS RECREATION DEPARTMENT Christina Sandoval 9/17/03  
DATE  
A.C.F.C.A. Phil Danks 9-17-03  
DATE  
CITY ENGINEER Brad J. Bigham 9/17/03  
DATE  
CITY ENGINEER Alexander Naton 9/25/03  
DATE  
ORB CHAIRPERSON, PLANNING DEPARTMENT

TAX CERTIFICATION  
10170631-220830120  
PROPERTY OWNER OF RECORD TIBURON INVESTMENT CORP  
BERNALILLO COUNTY TREASURER'S OFFICE SDS 9/21/03  
DATE

### PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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08:04  
bsanchez

JOB NO. 020075 039

2765



SP-2003360295



LOCATION MAP  
ZONE AT AS INDEX MAP No. D-17-Z  
NOT TO SCALE

**SUBDIVISION DATA**

1. DRB NO. \_\_\_\_\_
2. ZONE AT AS INDEX MAP No. D-17-Z.
3. GROSS SUBDIVISION ACRES: 1.1644 ACRES.
4. TOTAL NUMBER OF LOTS CREATED: TWO (2) LOTS.
5. NO STREETS WERE CREATED.
6. DATE OF SURVEY: AUGUST, 2003.
7. PLAT IS LOCATED WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, T11N, R5E, NMPM.

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE ALL OF LOT 12, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753, INTO TWO (2) LOTS AND EASEMENT.

**NOTES**

1. BEARINGS AND NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) AND ALSO THE SAME AS SHOWN ON THE PLAT OF THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753.
2. DISTANCES ARE GROUND DISTANCES.
3. ALL EASEMENTS OF RECORD ARE SHOWN.
4. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THE LOTS CREATED BY THIS PLAT MUST BE VERIFIED AND COORDINATED WITH PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON JOINT USE OF:

- A. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- B. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- C. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMERS/SWITCHEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

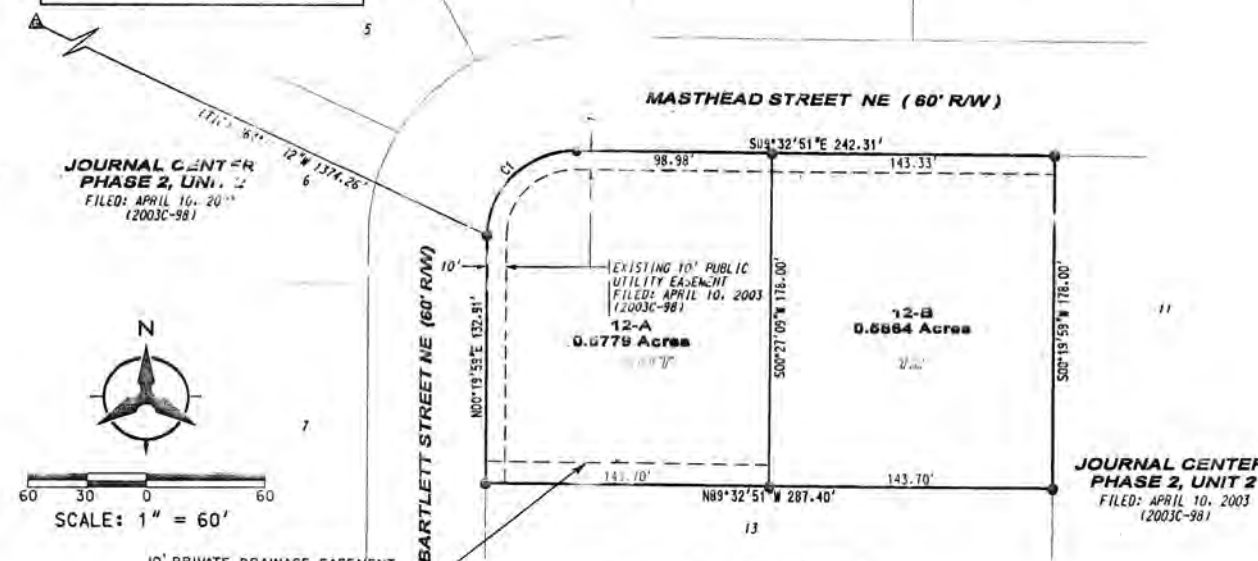
**DESCRIPTION**

A CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, IN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 5 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF LOT 12 OF THE PLAT OF JOURNAL CENTER PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753.

LOT 12 CONTAINS 1.1644 ACRES, MORE OR LESS.

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

NGS BRASS TABLET STAMPED "REEVES 2, 1991"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X = 394,062.557 Y = 1,516,507.273  
GROUND TO GRID FACTOR = 0.99967022  
DELTA ALPHA = -00°12'15"  
NGVD 1929 TRIG ELEVATION = 5074.0



**SURVEYOR'S CERTIFICATION**

I, A. DWAIN WEAVER, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS IN OCTOBER, 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



*A. Dwain Weaver*  
A. DWAIN WEAVER  
NEW MEXICO PROFESSIONAL SURVEYOR 6544  
DATE: August 29, 2003

**FREE CONSENT**

THE FOREGOING PLAT OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 5 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO, BEING AND COMPRISING ALL OF LOT 12, PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 10, 2003 IN BOOK 2003C, PAGE 98 AS DOCUMENT NO. 2003058753 NOW COMPRISING LOTS 12-A, AND 12-B, OF THE JOURNAL CENTER, PHASE 2, UNIT 2 IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF.

TIBURON INVESTMENT, LLC  
BY: *Douglas H. Collister*  
DOUGLAS H. COLLISTER  
ADMINISTRATIVE MANAGER OF TIBURON INVESTMENT, LLC

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 2 DAY OF September, 2003  
BY DOUGLAS H. COLLISTER, ADMINISTRATIVE MANAGER OF TIBURON INVESTMENT, LLC.  
MY COMMISSION EXPIRES: 02-24-07 *Stephanie L. Stratton*  
NOTARY PUBLIC



OFFICIAL SEAL  
STEPHANIE L. STRATTON  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My commission expires: 02-24-07

**CURVE DATA**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°07'10"	45.09'	70.78'	45.00'	63.71'	N45°23'34"E



PLAT OF  
LOTS 12-A & 12-B  
JOURNAL CENTER  
PHASE 2, UNIT 2  
(A REPLAT OF LOT 12, JOURNAL CENTER  
PHASE 2, UNIT 2)  
ALBUQUERQUE, NEW MEXICO  
AUGUST, 2003

PROJECT NUMBER 1000633  
APPLICATION NUMBER 03.DRB-01504  
**PLAT APPROVAL**

UTILITY APPROVALS:  
QWEST *Dan E. Muller* 9-3-03  
COMCAST CABLE *Rita Sanchez* 9-9-03  
PNM ELECTRIC SERVICES *Leonard G. Murto* 9-3-03  
PNM GAS SERVICES *Leonard G. Murto* 9-3-03

CITY APPROVALS:  
CITY ENGINEER *John B. Felt* 9-3-03  
CITY ATTORNEY *John B. Felt* 9-17-03  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION *John B. Felt* 9-17-03  
UTILITIES DEVELOPMENT *Christina Sandoval* 9/17/03  
PARKS AND RECREATION DEPARTMENT *John B. Felt* 9-17-03  
A.E.A.F.C.A. *John B. Felt* 9/17/03  
CITY ENGINEER *John B. Felt* 9/17/03  
CITY ATTORNEY *John B. Felt* 9/25/03  
DRB CHAIRPERSON, PLANNING DEPARTMENT *John B. Felt* 9/25/03

**TAX CERTIFICATION**  
10170671-2208 20120  
PROPERTY OWNER OF RECORD **TIBURON INVESTMENT CORP**  
BERNALILLO COUNTY TREASURER'S OFFICE *[Signature]* 9/25/03  
DATE

**PNM STAMP**

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown herein. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

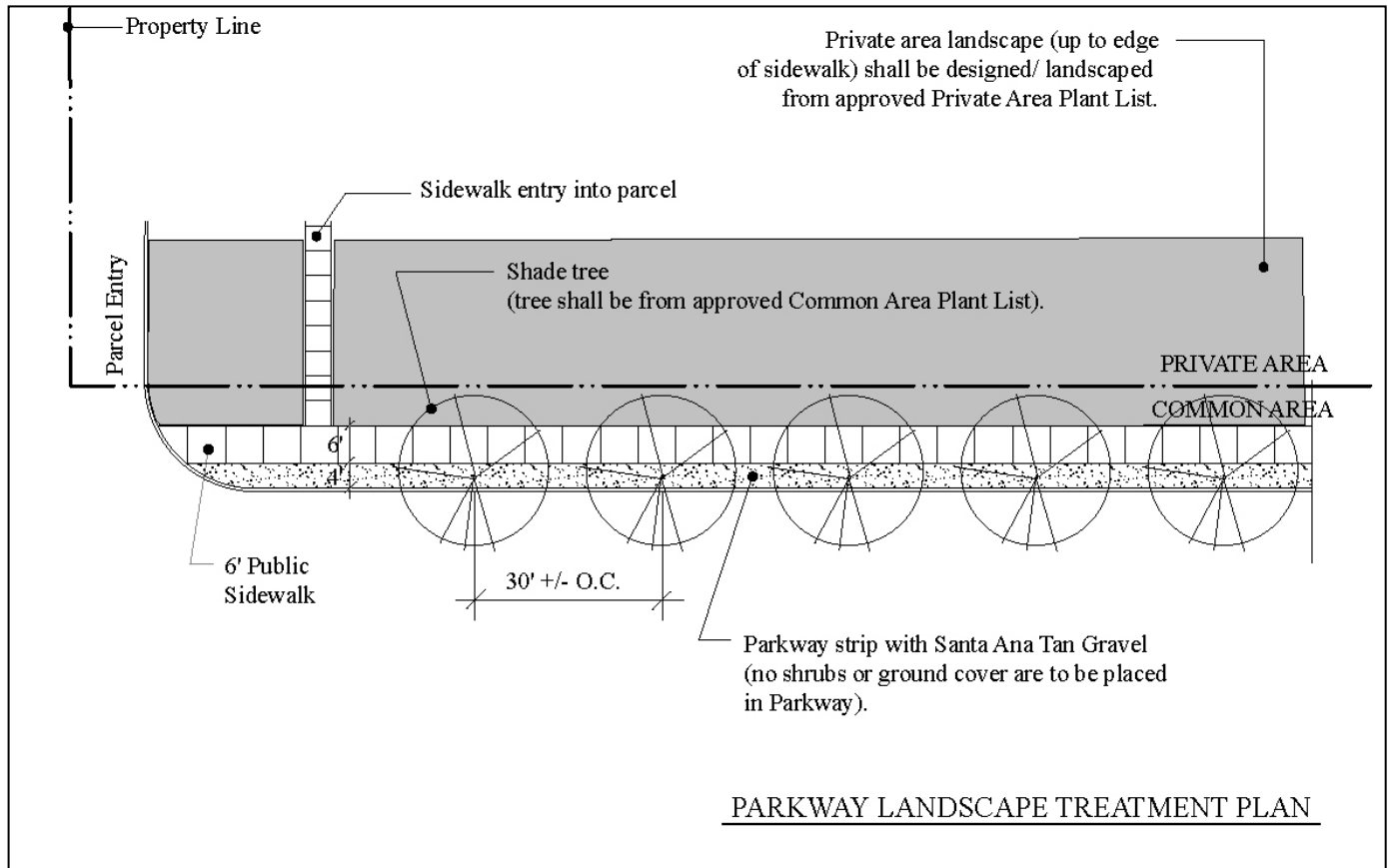
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## **Appendix B**

# **Streetscape Plan/Section**



Property Line

Private area landscape (up to edge of sidewalk) shall be designed/ landscaped from approved Private Area Plant List.

Public Sidewalk

Shade tree with Santa Ana Tan Gravel (tree shall be from approved Common Area Plant List).

Public Street

PRIVATE AREA

COMMON AREA

6'

4'

## PARKWAY LANDSCAPE TREATMENT SECTION

# Appendix C

## Acceptable and Prohibited Plants/

## Acceptable Irrigation Equipment

# "Acceptable and Prohibited Plant List"

for Journal Center 2

## Common Name

## Botanical Name

---

### Streetscape

#### Street Trees (Parkway Strip)

Berinda Ash

Fraxinus velutina vav. Berinda

#### Trees

Berinda Ash

Fraxinus velutina vav. Berinda

Chinese Pistache

Pistachia chinensis

Common Hackberry

Celtis occidentalis

#### Small / Specimen Trees

Arizona Rosewood

Vauquelinia californica

Escarpment or Emory Oak

Quercus fusiformis

Gambel Oak

Quercus gambelii

Oklahoma Redbud

Cercis reniformis

Thornless Hawthorne

Crataegus crus-galli Inermis

#### Shrubs

Curleaf Mountain Mahogany

Cercocarpus ledifolius

Manzanita

Arctostaphylos pungens

Apache Plume

Fallugia paradoxa

Silverberry

Elaeagnus pungens

Dwarf Mugo Pine

Pinus mugo mugo

#### Ground Cover

Prostrate Sumac

Rhus triobata Prostrata

Powis Castle Sage

Artemisia X Powis Castle

Kinnikinnick

Arctostaphylos uva-ursi

Thyme

Thymus spp.

#### Grasses

Buffalograss (sod)

Buchloe dactyloides

## Roundabout

### Trees

Rocky Mountain Juniper  
Vanderwulf's Limber Pine  
Arizona Rosewood (option)  
Oklahoma Redbud (option)  
Thornless Hawthorne (option)

Juniperus scopulorum  
Pinus flexilis var. Vanderwulf  
Vauquelinia californica  
Cercis reniformis  
Crataegus crus-galli Inermis

### Shrubs

Sotol  
Beargrass  
Banana Yucca

Dasyllirion wheeleri  
Nolina microcarpa  
Yucca baccata

### Ground Cover

Mexican Threadgrass

Stipa tenuisima

## Outparcel Buffer

### Trees

Rocky Mountain Juniper  
Limber Pine  
Southwestern White Pine

Juniperus scopulorum  
Pinus flexilis var. Vanderwulf  
Pinus strobiformis

### Shrubs

Winter Jasmine  
Three-leaf Sumac  
Apache Plume  
Grayleaf Cotoneaster  
English Lavender  
Upright Rosemary  
Rainsage

Jasminum nudiflorum  
Rhus trilobata  
Fallugia paradoxa  
Cotoneaster buxifolius  
Lavandula angustifolia  
Rosmarinus officinalis cultivars  
Leucophyllum spp.

## Private Space

### Trees

Berinda Ash  
Chinese Pistache  
Common Hackberry  
Arizona Rosewood  
Oklahoma Redbud

Fraxinus velutina var. Berinda  
Pistachia chinensis  
Celtis occidentalis  
Vauquelinia californica  
Cercis

Thornless Hawthorne  
Rocky Mountain Juniper  
Limber Pine  
Southwestern White Pine

#### **Small / Specimen Trees**

Arizona Rosewood  
Escarpment Live Oak  
Gambel Oak  
Oklahoma Redbud  
Thornless Hawthorne

#### **Shrubs**

Curleaf Mountain Mahogany  
Manzanita  
Silverberry  
Dwarf Mugo Pine  
Sotol  
Beargrass  
Banana Yucca  
Winter Jasmine  
Three-leaf Sumac  
Apache Plume  
Grayleaf Cotoneaster  
English Lavender  
Upright Rosemary  
Rainsage

#### **Ground Cover**

Prostrate Sumac  
Mexican Threadgrass  
Powis Castle Sage  
Kinnikinnick  
Thyme  
Buffalograss (sod)  
Autumn Joy Sedum  
Wooly Lamb's ear  
Germander  
Hummingbird plant  
Gayfeather

#### **Prohibited Plants**

Mulberry  
Russian Olive

Crataegus crus-galli Inermis  
Juniperus scopulorum  
Pinus flexilis var. Vanderwulf  
Pinus strobiformis

Vauquelinia californica  
Quercus fusiformis  
Quercus gambelii  
Cercis reinformis  
Crataegus crus-galli Inermis

Cercocarpus ledifolius  
Arctostaphylos pungens  
Elaeagnus pungens  
Pinus mugo mugo  
Dasylirion wheeleri  
Nolina microcarpa  
Yucca Baccata  
Jasminum nudiflorum  
Rhus trilobata  
Fallugia paradoxa  
Cotoneaster buxifolius  
Lavandula angustifolia  
Rosmarinus officinalis cultivars  
Leucophyllum spp.

Rhus trilobata Prostrata  
Stipa tenuisima  
Artemisia X Powis Castle  
Arctostaphylos uva-ursi  
Thymus spp.  
Buchloe dactyloides  
Sedum telephium  
Stachys lanata  
Teucrium chamaedrys  
Zauschneria californica  
Liatris punctata

Morus spp.  
Elaeagnus angustifolid



Tamarisk  
Purple Leaf Plum  
All Palm Trees

Tamarix spp.  
Prunus spp.

## "Acceptable Irrigation Equipment"

Following is acceptable equipment for any work done in the parkway strips of Journal Center 2. Any equipment used in private areas is up to the discretion of the lot owner.

Equipment	Supplier	Model #
Automatic Controller and Pedestal Enclosure	Tucor Stronbox	TWC-100-C SB-2455
Water Meter		Per Code
Backflow Preventer and Enclosure	Wilkins Strongbox	975 RPBA, SBBC-60 ALHP, COA
Standard Detail		
Flow Sensor Master Valve	Tucor Bermad	FS-200, 910-P
Remote Control Master Valve	Rainbird	PEB, COA Standard Detail #2703
Remote Control Valve	PEB	COA Standard Detail # 2703
Buffalo Grass Turf Spray	Hunter	Institutional 4" PCN-20
Tree Bubbler	Rainbird	1803-5H-PCS060, COA #2710
Drip Poly Pipe	Toro	Toro EZ DripTubing EZH-50
Pressure Regulator	Rainbird	PSI-L30x-075
Remote Drip Valve Disc Filter	Rainbird Netafim	PEB 1" DF100-200, COA # 2703
Manual Drain Valve	Nibco	Nibco 1"
Gate Valve	Nibco	Nibco 2"
Air Relief Valve	Crispin	Crispin UL , COA # 2705
Irrigation Sleeve		Class 200 w/12 ga.pull wire
Irrigation Main Line Piping		Sch 40 PVC
Irrigation Lateral Piping		Class 200 PVC

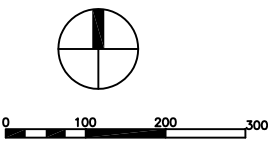
# Appendix D

## Journal Center 2 Common Properties



# JOURNAL CENTER 2

## OFFICE AND OFFICE/WAREHOUSE PROPERTIES



GRAPHIC PREPARED BY:  
January 19, 2004



Graphic depicts R.O.W.  
and Parcel Boundaries  
Only.

### LEGEND

JOURNAL CENTER 2 - COMMON PROPERTIES

- Developer Installed
- Parcel Owner Installed

Note:  
Dimensions and Acreages noted are  
approximate only; actual surveyed plat data will  
vary slightly from the plan as shown.

# Appendix E Color Palette

# List of Acceptable Stucco Colors

## El Rey Stucco

PF 817 Dry River

PF 1569 Taos

PF 272 Tierra

PF 806 Buffalo

PF 1566 Pottery

PF 825 Rio Bravo

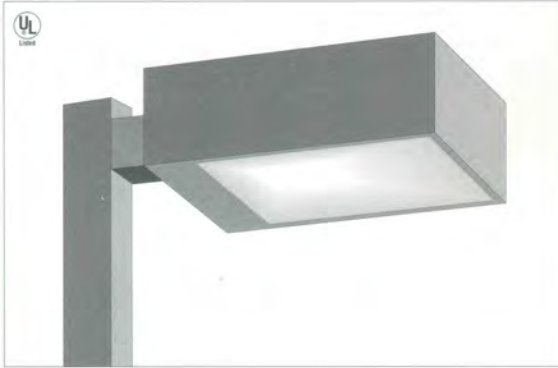
PF 1571 Clay

PF 816 Earth

*Note: matching colors by other manufacturers are acceptable*

# Appendix F Standards for Street Furniture

# Streetscape Light Poles

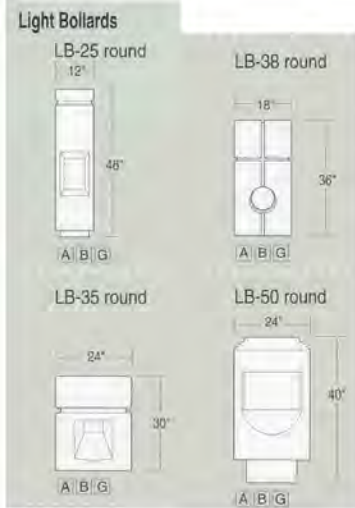


"Shoe Box" style lighting (approved by PNM)  
for all area lighting.

Bronze toned color is required for Journal Center2



# Front Yard-Light Bollards



Light Bollards  
by Dura Art Stone,  
Robert H. Boyer  
Woods Site and Playscapes  
6301 Menaul Blvd. NE #540  
Albuquerque, NM 87110  
1-505-881-4088



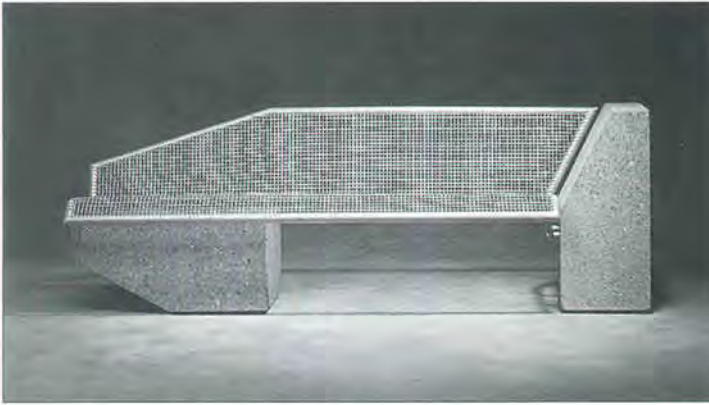
LB-50 Light Bollard

Light Bollard, Model # LB-50  
by Dura Art Stone,  
Robert H. Boyer  
Woods Site and Playscapes  
6301 Menaul Blvd. NE #540  
Albuquerque, NM 87110  
1-505-881-4088



# Street Furniture

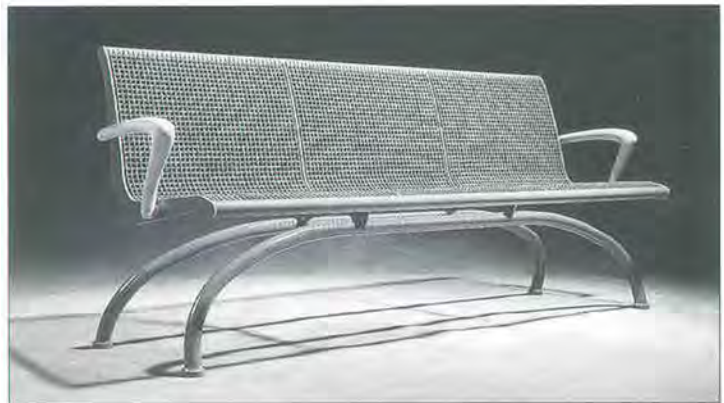
## Benches



"Artesit" bench by ERLAU  
Outer Space Landscape Furnishings, Inc  
7533 Draper Ave.  
La Jolla CA 92037  
1-800-338-2499



Cast Stone Bench, Model #S-6L,  
by Dura Art Stone,  
Robert H. Boyer  
Woods Site and Playscapes,  
6301 Menaul Blvd. NE  
Albuquerque, NM 87110  
505-881-4088



"Avenida" Bench,  
by ERLAU AG  
Outerspace Landscape Furnishings, Inc.  
7533 Draper Ave.  
La Jolla, CA  
1-800-338-2499  
[www.erlau.com](http://www.erlau.com)



Petoskey Full, backed bench,  
by Landscapeforms,  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-5212546  
[www.landscapeforms.com](http://www.landscapeforms.com)



"Arcata" backed bench,  
with metal and recycled plastic,  
by Landscapeforms,  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-521-2546  
[www.landscapforms.com](http://www.landscapforms.com)



"Scarborough" backed bench,  
horizontal strap seat,  
by Landscapeforms,  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-521-2546  
[www.landscapeforms.com](http://www.landscapeforms.com)





"Arcata" backless bench,  
by Landscapeforms,  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-521-2546



"Arcata" backed bench,  
with wood and metal,  
by Landscapeforms  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-521-2546  
[www.landscapeforms.com](http://www.landscapeforms.com)



Cast Stone Bench, Model# S-6A,  
by Dura Art Stone  
Robert H. Boyer  
Woods Site and Playscapes  
6301 Menaul Blvd. NE #540  
Albuquerque, NM 87110  
505-881-4088

## Bicycle Racks

▼ PI9005-SM-43, Surface Mount, Hollyberry powdercoat.



"PI rack" bike rack,  
by Landscape Forms, Inc.  
431 Lawndale Ave  
Kalamazoo, MI 49001  
1-800-521-2546  
[www.landscapeforms.com](http://www.landscapeforms.com)



"Heavy Duty Challenger" bike rack,  
by Madrax  
2210 Pinehurst Drive  
Middleton, WI 53562  
1-800-831-9040  
[www.madrax.com](http://www.madrax.com)

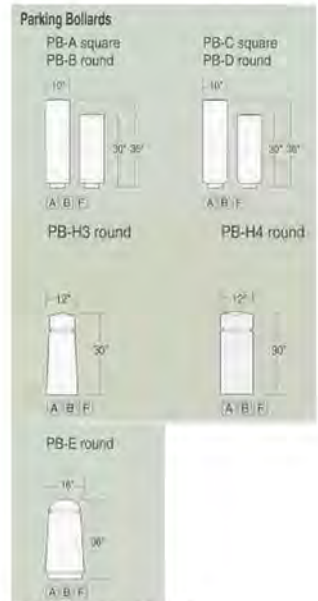
## Bollards



"Arcus" Bollard  
by ERLAU AG  
Outerspace Landscape Furnishings  
7533 Draper Ave.  
La Jolla, CA  
1-800-338-2499  
www.erlau.com



Parking Bollards  
by Dura Art Stone,  
Robert H. Boyer  
Woods Site and Playscapes  
6301 Menaul Blvd NE #540  
Albuquerque, NM 87110



Parking Bollards,  
by Dura Art Stone,  
Robert H. Boyer  
Woods Site and playscapes  
6301 Menaul Blvd. NE #540  
Albuquerque, NM 87110  
1-505-881-4088



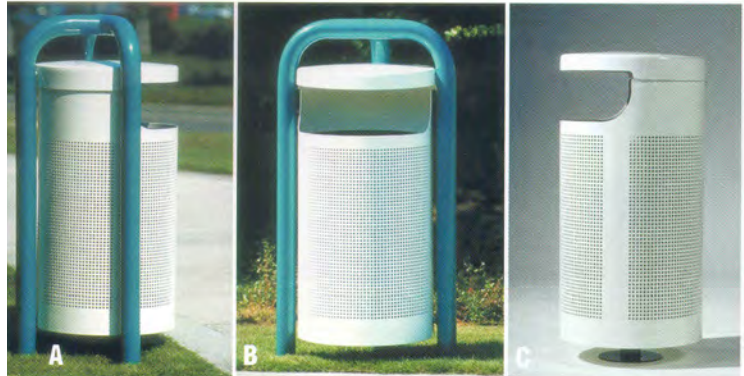
## Trash Receptacles



"Petosky" litter receptacle series,  
by Landscapeforms  
431 Lawndale Ave.  
Kalamazoo, MI 49048  
1-800-521-2546  
[www.landscapeforms.com](http://www.landscapeforms.com)



"Boulevard" Litter Container,  
by Timberform  
Robert H. Boyer  
Woods Site and Playscapes  
6301 Menaul Blvd. NE #540  
Albuquerque, NM 87110  
1-505-881-4088

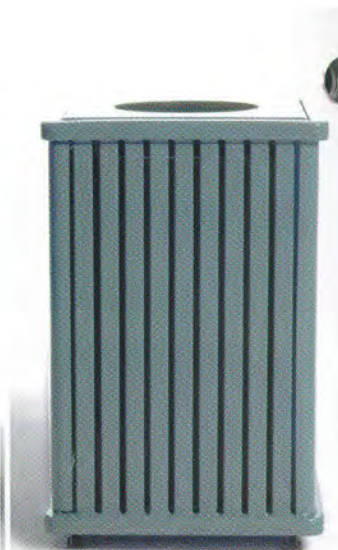


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