

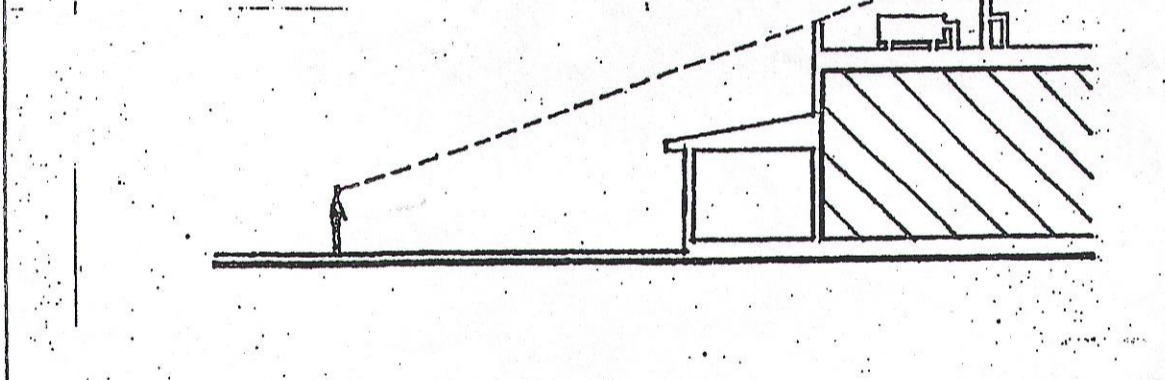
REGULATION OF BUILDINGS AND IMPROVEMENTS

Building Regulations. All buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes. Building design and construction shall be used to create a structure with attractive fronts of quality materials. The quality materials to be used on exterior walls on the front of the building and materials include the following: face brick, stone, stone, masonry, stucco, granite, or other materials, tile or concrete, or their equivalent. Each material must be compatible with the natural surroundings and other buildings and structures in the general vicinity. The remaining exterior walls which do not require quality materials may be of masonry construction or its equivalent or better, or it may also include pre-engineered metal skins.

Design techniques which can be utilized to help overcome typical unattractive and monotonous facades generally associated with industrial structure are as follows: Employ variety in structural forms that create visual character and interest. Avoid long, undifferentiated facades. Facades shall have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 2 foot minimum offset, fenestration, material change, etc.)

Design for roofs shall be as follows: No part of the roof may project above the parapet, except with the consent of the Architectural Control Committee. If material is used on the roof, they shall wrap around the front perimeter of the building as well as that part of the side of the building that falls within the 100 foot set back from curb.

All roof-mounted mechanical equipment, ductwork and ventilators are to be painted consistent with the color scheme of the building or screened from view. Gutters, downspouts, vents, louvers, exposed loading lanes, stucco, overhead doors, rolling doors and service doors are to be painted consistent with the color scheme of the building.



Building Site Coverage. At all sites buildings constructed on the site shall contain at least ten percent (10%) of the total site area and shall occupy no more than fifty percent (50%) of the total area of the site. A site may not be subdivided without the prior written consent of the Architectural Control Committee.

Building front yard setback lines: Principal Arterial 30 feet, Collector Street 20 feet, Local Street 15 feet.

Parking area setback lines: Principal Arterial 30 feet, Collector Street 20 feet, Local Street 15 feet.

Side and Rear Yard Setbacks. To act as a buffer between uses, buildings shall be set back a minimum of ten (10) feet at both the side and rear yard locations. Unless the space in the side yard setback is used for paved access or parking areas, refuse containers, loading areas, mechanical or utility equipment or the like, all areas within the side yard setback, within 100 feet from the curb, shall be landscaped.

Landscaped Area. The front yard setback of every site and the side yard setbacks within 100 feet from the curb shall be a landscaped area (the "Landscaped Area"). The entire front yard setback less the paved access way and parking areas shall be landscaped, and the side yard setbacks within 100 feet from the curb which are not used for paved access or parking areas, refuse containers, loading areas, mechanical or utility equipment or the like shall be landscaped.

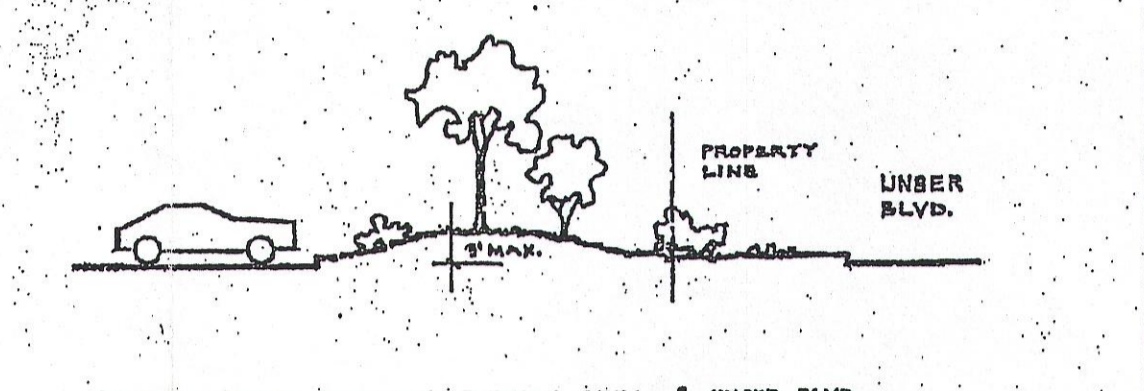
Required Landscaped Area. On every site on which a building shall have been placed, the Landscaped Area and any other portion of the front yard, which is not paved parking area and vehicle access way, shall be landscaped in accordance with the following guidelines and thereafter shall be maintained in a well-kept condition.

Maintenance. Each undeveloped site, and the grounds, buildings and improvements of each developed site shall be kept in a safe, clean, wholesome condition, and all unpaved areas shall be maintained in a weed-free condition. Each owner or tenant shall remove at his own expense any rubbish or trash which may collect on his site. Such trash shall not be disposed of on the premises by burning in open fires or incinerators.

In addition to street trees, one tree for every eighty (80) linear feet of the remaining site perimeter is required along the perimeter. The location of these trees shall be in the front, sides or rear setback areas. They may be clustered and should include a mix of deciduous, evergreen trees. To shade and mitigate visual impact of large expanses of pavement, off-street parking areas shall have one tree for each ten (10) parking stalls with no stall being more than 100 feet from a tree.

Plant Materials. See the plant list for Atresco Business Park on the approved City of Albuquerque plant list. Storage Area and Service Areas/Refuse Collection Areas. All outdoor storage areas and service yards shall be limited to the rear of the front yards and screened from view from streets adjacent to the site through the use of an opaque visual barrier, at least six (6) feet in height. Where screening is required, it should be a combination of masonry pillars or short solid wall segments. The use of chain link fencing is not acceptable in front of the site.

Parking Areas. For those sites which front on Unser Boulevard, the parking area shall be screened from Unser Boulevard with a combination of plant materials and earthen berms. Such screening, utilizing an earthen berm, shall have a minimum height of 3 feet. To add interest and diversity to the screening function, the berm may be broken up occasionally with breaks in the design of the berm.

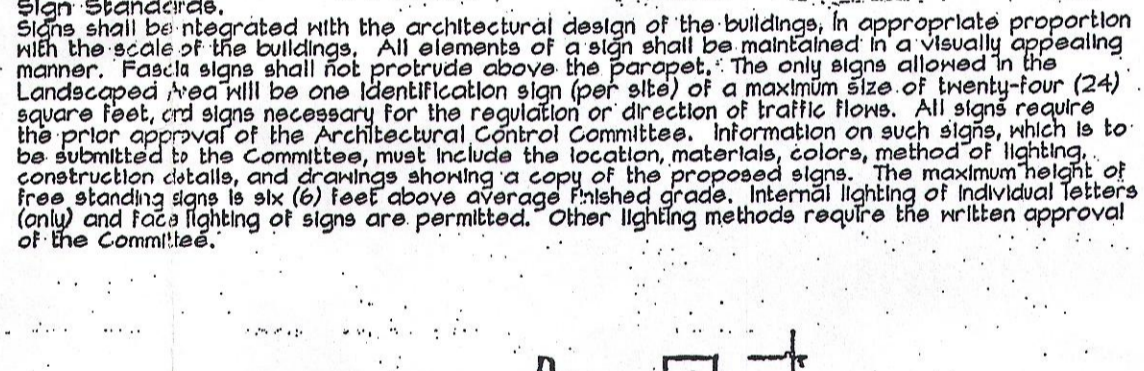


At all times the Owner of each site shall maintain on that site the number of parking spaces required by the City of Albuquerque. At all times the off-street parking provided on each site shall adequately accommodate the parking needs for all employees, customers, visitors, and company vehicles for that site.

Drainage Requirements. All construction on and any alterations to any site, upon the completion thereof, shall conform to the requirements contained in the Master Drainage Report for the site.

Sign Standards. Signs shall be integrated with the architectural design of the building. In appropriate proportion with the scale of the building, all elements of a sign shall be maintained in a visually appealing manner. Facade signs shall not protrude above the parapet. The only signs allowed in the Landscaped Area will be one identification sign per site of a maximum size of twenty-four (24) square feet, and signs necessary for the regulation or direction of traffic flows.

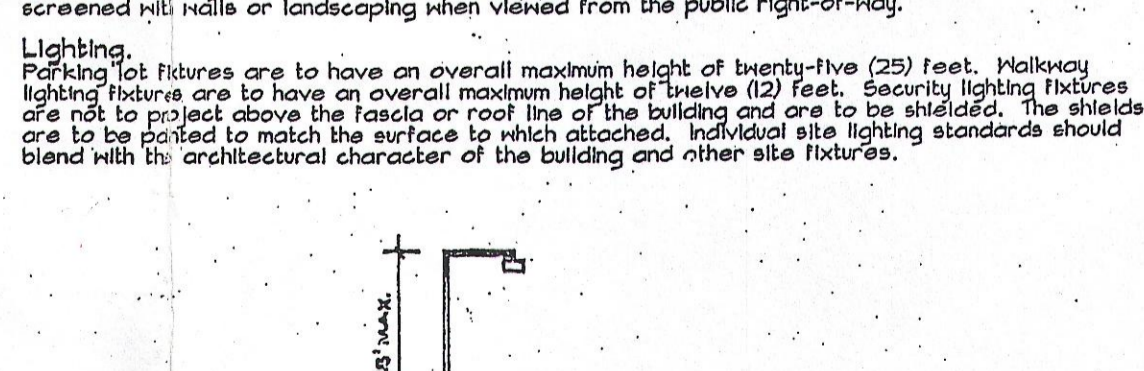
Lighting. Parking lot fixtures are to have an overall maximum height of twenty-five (25) feet. Halogen lighting fixtures are to have an overall maximum height of twelve (12) feet. Security lighting fixtures are not to project above the fascia or roof line of the building and are to be shielded. The fixtures are to be painted to match the surface to which attached. Individual site lighting standards should blend with the architectural character of the building and other site fixtures.



Utilities. All utility lines and associated facilities furnishing service to the Property shall be installed and maintained underground. Transformers, utility pads and telephone boxes shall be appropriately screened with walls or landscaping when viewed from the public right-of-way.

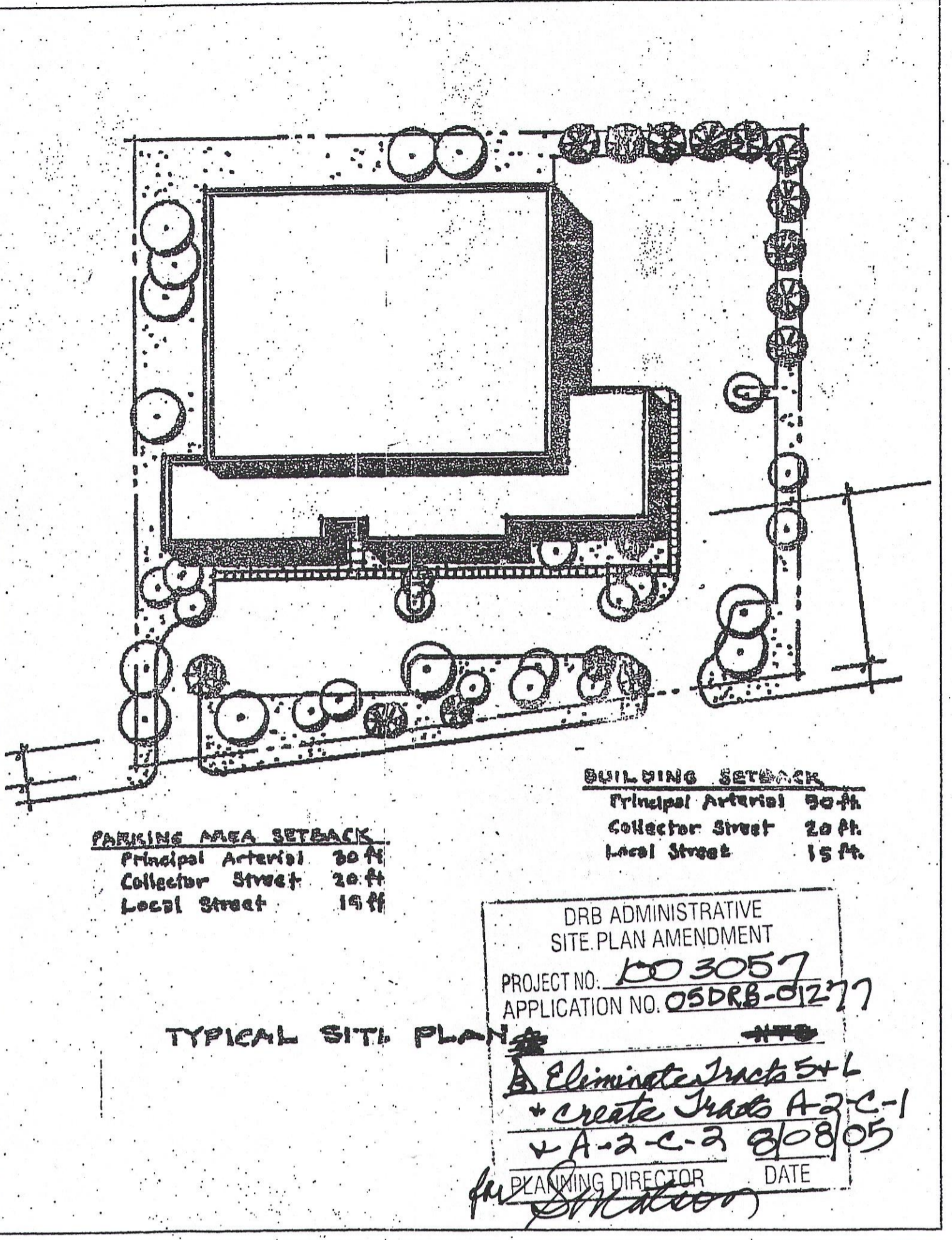
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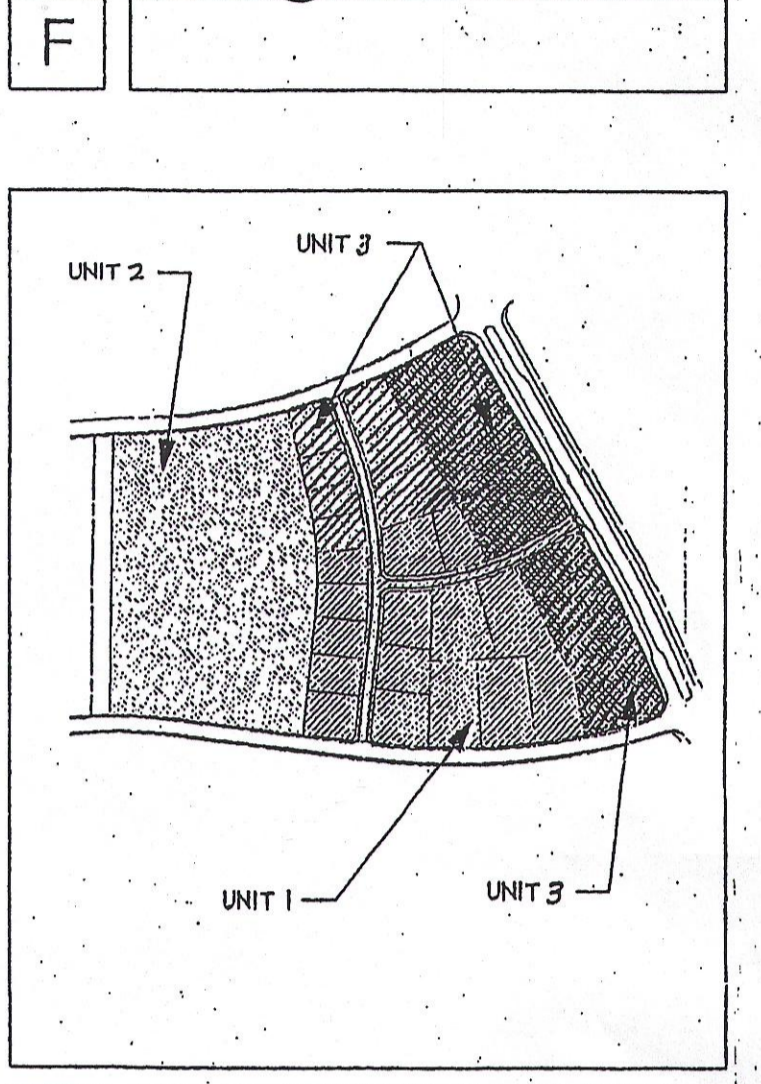
NOTE: FOR ALL LOTS WITHIN UNIT I, LOTS I-4, BLOCK 2, UNIT II (ALONG UNSER SOUTH OF SAUL BELL) AND LOTS 3 AND 4 BLOCK I UNIT II THE MAXIMUM BUILDING PAD ELEVATION SHALL BE 540'

NOTE: FOR ALL LOTS WITHIN UNIT I, LOTS I-4, BLOCK 2, UNIT II (ALONG UNSER SOUTH OF SAUL BELL) AND LOTS 3 AND 4 BLOCK I UNIT II THE MAXIMUM BUILDING PAD ELEVATION SHALL BE 540'



J TYPICAL SITE PLAN NO SCALE

PROJECT NUMBER: 1003057 Application Number: 03DRB-01902 Date: 11-19-03 Traffic Engineering, Transportation Division Date: 11-19-03 Utilities Department Date: 11/19/03 Parks and Recreation Department Date: 11-19-03 City Engineer Date: N/A Environmental Health Department Date: N/A Solid Waste Management Date: 11/19/03 DRB Chairperson, Planning Department Date: 11/19/03



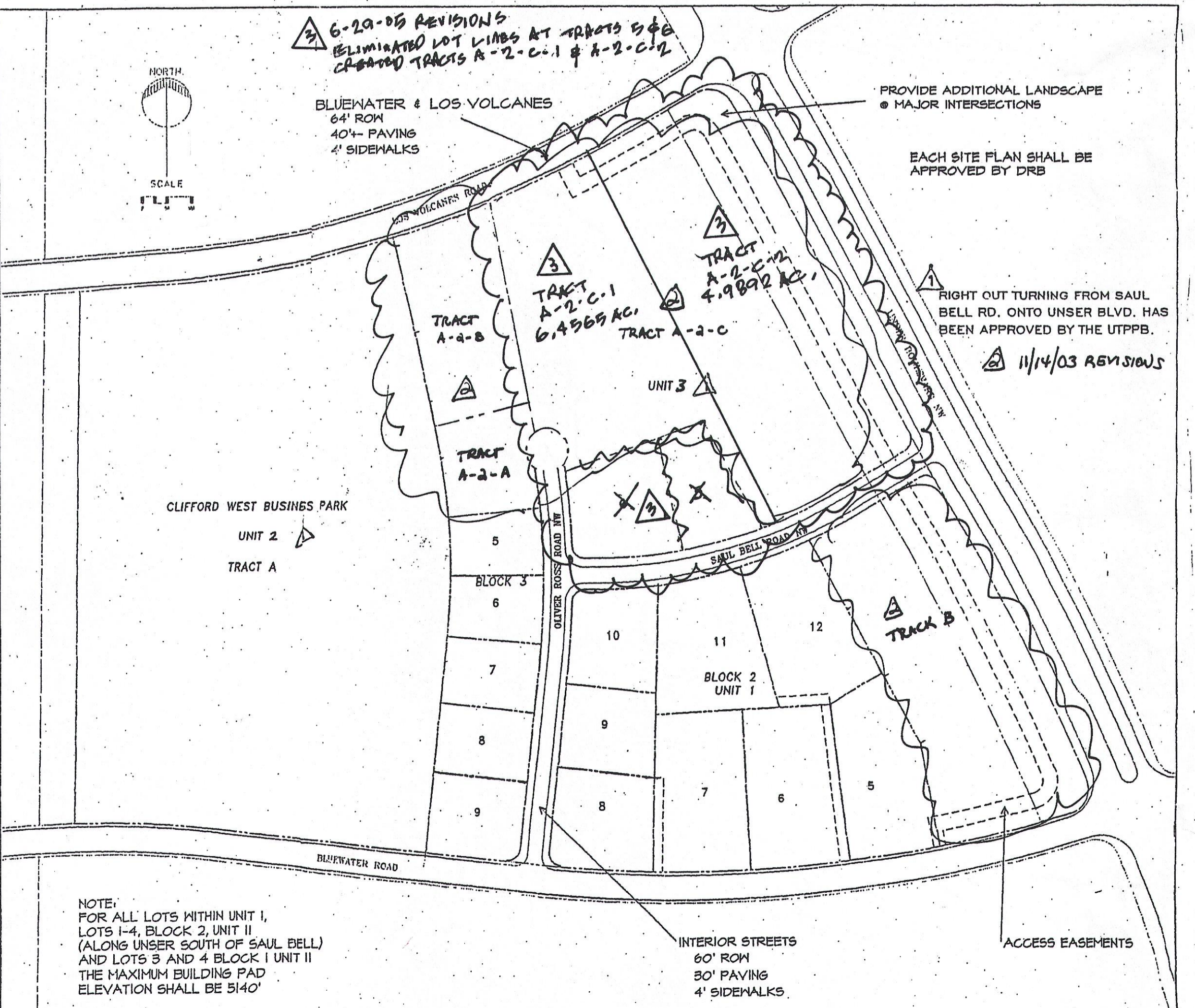
L PHASING PLAN NO SCALE

EACH PROPERTY WITHIN THIS PLAN AREA SHALL BE REQUIRED TO OBTAIN SITE PLAN APPROVAL THROUGH DRB IN ACCORDANCE WITH THE DESIGN PARAMETER SHOWN HERE ON. THESE DESIGN REQUIREMENTS DO NOT APPLY TO ANY PROPERTY WHICH IS DEVELOPED FOR PUBLIC SCHOOL PURPOSES. PLANNING DIRECTOR DATE

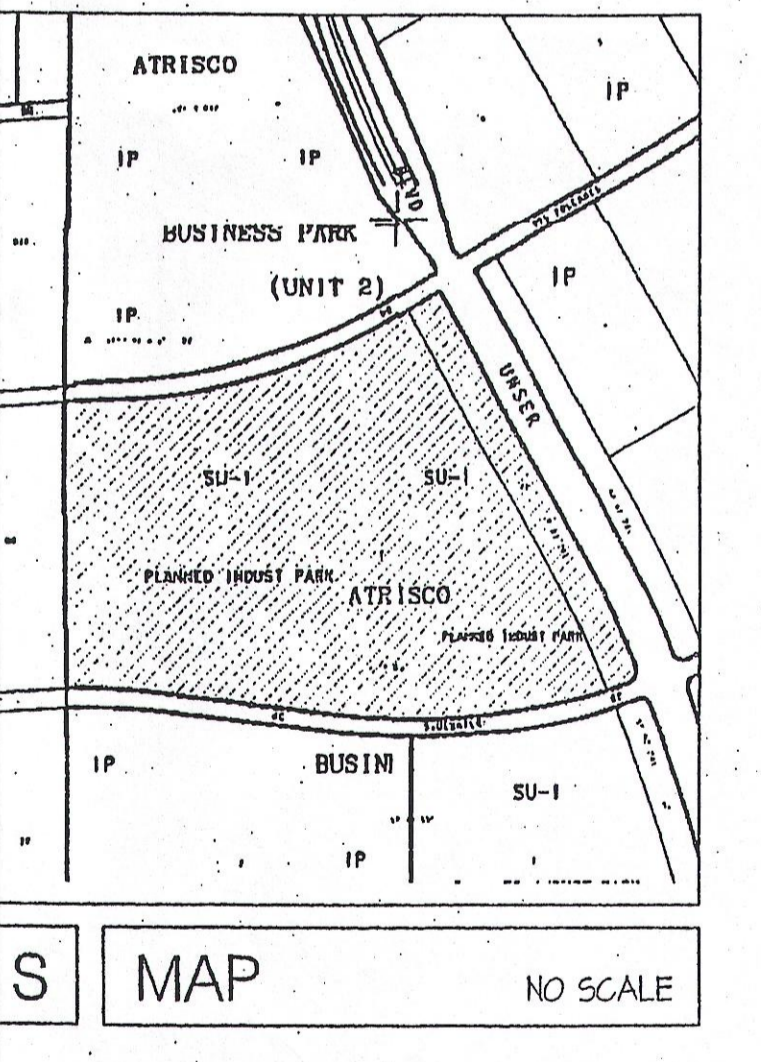
ADMINISTRATIVE DEVELOPMENT PLAN AMENDMENT FILE NO. AA-98-54 ADD'L NOTES # REVISE UNIT 3 7/2/03 PLANNING DIRECTOR DATE

NOTE: AT THE TIME OF INDIVIDUAL SITE PLAN APPROVAL, EACH PARCEL SHOWN HEREON SHALL BE OBLIGATED TO CONTRIBUTE TO THE COST OF A NEW TRAFFIC SIGNAL AT THE BLUEWATER/UNSER BLVD. INTERSECTION AS FOLLOWS: UNIT I \$2,533.00 PER LOT (TOTAL OF \$38,000.00) UNIT II \$27,260.00 FOR TRACT A UNIT III (TOTAL OF \$9,740.00) TRACT A-2-A \$503.00 TRACT A-2-B \$970.00 TRACT A-2-C \$558.00 TRACT B \$618.00

M NOTES



W SITE PLAN 1" = 200'-0"



S MAP NO SCALE

CASE NUMBER: Z-97-11 22 AUG 97 29 AUG 97 SITE DEVELOPMENT PLAN Traffic Engineering, TRANSPORTATION DEPT Date: 11-29-97 Parks & GENERAL SERVICES DEPT Date: 9-9-97 PLANNING DIRECTOR DATE: 9-9-97 APPROVAL AND CONDITIONAL ACCEPTANCE: As required by the Development Process Manual PLANNING DIRECTOR DATE: 12/9/97

A

PROJECT 9658 SLINB ARCHITECTS, INC. 1620 Central Avenue Southeast Albuquerque, NM 87106 (505) 247-9629

MASTER DEVELOPMENT PLAN CLIFF WEST BUSINESS PARK UNSER BOULEVARD NW ALBUQUERQUE, NM REVISIONS 22 AUG 97 29 AUG 97 SHEET A

ORIGINAL Z-97-11 1003057

T DESIGN GUIDELINES