REGULATION OF BUILDINGS AND IMPROVEMENTS Building Regulations

All buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes. Building design and construction shall be used to create a structure with attractive fronts of quality materials. The quality materials must be applied to exterior vialls on the front of the building and to the sides of the building up to a 100 feet from any public street curb. Finished quality building materials include the following: face brick, slump rock, stone, glass, masonry, stucco, dryvit or "EFIS" materials, tilt-up concrete, or their equivalent. Each material must be compatible with the natural surroundings and other buildings and structures in the general vicinity. The remaining exterior walls which do not require quality materials may be of masonry construction or its equivalent or better, or it may also include pre-engineered metal skins.

- Design techniques which can be utilized to help overcome typical unattractive and monotonous facades generally associated with industrial structure are as follows: Employ variety in structural forms that create visual character and internst. Avoid long, unarticulated facades. Facades shall have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 2 foot minimum offset, fenestration, material change, etc.) Entries to industrial structure should portray a quality office appearance by being architecturally tied into the overall mass and building composition. Mindows and doors are key elements of any structures form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
- Sensitive alteration of colors and materials can produce diversity and enhance architectural contrast on elevation planes.
- Forme.
 The staggering of planes along an exterior Hall elevation creates pockets of light and shadow; providing relief from monotonous expanses of facade.
 Corner lots are defined to have fronts on both streets they abut. All provisions relating to the front facade shall apply to both street faces of a corner lot.
- Design elements which are undesirable and should be avoided. * Exposed, untreated precision block walls. * Metal used as the main architectural feature.
- Attached mansard roofs on small portions of the roof line. Materials with high maintenance requirement. Wood facings are prohibited. Mail materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental
- Berming in conjunction with landscaping can be used at building edge to reduce structure mass and height along facade.

Loading docks shall not be located on the front exterior of the building. The loading docks and Ibading areas shall be screened from view from streets adjacent to the site using screening methods and materials set forth in the Covenants or approved by the Architectural Control Committee. Doors which are larger than that customary for pedestrian traffic, such as garage doors or loading doors, shall not face the street. However, on corner lots with the consent of the Architectural Control Committee loading or garage doors which are screened from view may face the side street (minor street).



LOADING DOCKS SHALL BE SCREENED FROM VIEW FROM STREETS ADJACENT TO THE SITE

Design for roofs shall be as follows:

* No part of the roof may project above the parapet, except with the consent of the Architectural Control Committee. Architectural Control Committee.
 If mansard roofs are to be used, they shall wrap around the front perimeter of the buildin as well as that part of the side of the building that fails within the 100 foot set back from curb.
 All rooftop equipment shall be screened from the public view.
 The root design should be considered an integral part of the overall architectural design theme.
 Concerting and/or barbed wire are not permitted on the roof.

All roof-mounted mechanical equipment, ductwork and ventilators are to be painted consistent with the color scheme of the building or screened from view. Gutters, downspouts, vents, louvers, exposed flashing, tanks, stacks, overhead doors, rolling doors and service doors are to be painted consistent with the color scheme of the building.



ALL ROOFTOP FOURMENT SHALL BE SCREENEP PROM THE PUBLIC VIEW

Building Site Coverage. At all times buildings constructed on the site shall contain at least Ten percent (10%) of the total site area and shall occupy no more than fifty percent (50%) of the total orea of the site. A site may not be subdivided without the prior written consent of the Architectural Control Committee. Setbacks

Building and Parking Area front yard setbacks. Based on the defined street classification the minimum front yard setback lines and the minimum parking area setback lines, as measured from the back of curb, shall be as follows:

Building front yord set	back lines,	
Principal Arteriali	50 feet	1
Collector Street	20 feet	ं
Local Street	15 feet	Ċ

Parking area setback lines, Principal Arterial, 30 feet Collector Street Local Street

The front yard setback shall remain free of buildings and structures, trash bins, storage and loading area and fences or walls (other than retaining walls). The area between the curb and the property line shall be landscaped and shall be considered as part of the front yard setback. Sites which front on more than one street must satisfy the front yard setback for all such streets.

Side and Rear Yard Setbacks. To act as a buffer between uses, buildings shall be set back a minimum of ten (10) feet at both the side and rear yard locations. Unless the space in the side yard setback is used for paved access or parking areas, refuse containers, loading areas, mechanical or utility equipment or the like, all areas within the side yard setback, within 100 feet from the curb, shall be landscaped.

No buildings or structures, other than fences, cantilevered roots and sun screens, paved access or parkinay areas, refuse containers, mechanical or utility equipment or the like, shall be permitted In the side yard setback, provided, that where buildings are planned as an integrated Architectural unit, side yard requirements may be varied with prior approval of the Architectural Control Committee. No building or structures, other than fences, paved access or parking areas, cantilevered roofs and suscreens, refuse containers, mechanical equipment or the like, shall be permitted in the rear yard setback.

Landscaped Area. The front yard setback of every site and the side yard setbacks within 100 feet from the curb shall be a landscaped area (the "Landscaped Area"). The entire front yard setback less the paved access ways and parking areas, shall be landscaped, and the side yard setbacks within 100 feet access ways and parking areas, shall be landscaped, and the side yard serbacks within too reet from the curb which are not used for payed access or parking areas, refuse containers, loading areas, mechanical or utility equipment, or the like, shall be landscaped. * Required Landscaped Area. On every site on which a building shall have been placed, the Landscaped Area and any other portion of the front yard(s), which is not payed parking area and vehicular access ways, shall be landscaped in accordance with the following guidelines and thereafter shall be maintained in a well-kept condition.

- Herearter shall be maintained in a Mell-Kept condition.
 A minimum of eighteen percent (18%) of the net site area shall be devoted to landscope materials with an emphasis placed on areas with street side exposure.
 Seventy-five percent (75%) of the required Landscope Area shall be covered with living vegetative materials. The area and the percentage is calculated based on the mature canopy size of all plant materials.
- size of all plant materials.
 A minimum of twenty (20%) of the provided Landscape Area shall be covered turf grasses. Areas of turf should be located at the most prominent visual points, such as, streetscapes ond vehicular entries to the site. The areas of turf help to create visual corridors into specific sites.
 All Landscape Areas not covered with turf shall have a ground topping of crushed rock, bark chips, river rock or similar material which extends completely around the plant material. Colors allowed shall be used to separate the turf and ground cover zones.
 The landscape treatment at prominent entries of laters shall chance in terms of the landscape of the site.
- " The landscape treatment at prominent entries and intersections should change in terms of The tanascape treatment at prominent end less and intersections should draing at terms of intensity, pattern, texture, scale or form to highlight these areas.
 One tree is required for each twenty-five (25) linear feet of roadway. The required trees may be informally clustered with no more than fifty foot gap between groupings.

- * In addition to street trees, one tree for every eighty (80) linear feet of the remaining site perimeter is required along the perimeter. The location of these trees shall be in the front, sides or rear setback areas. They may be clustered and should include a mix of deciduous. everareen trees. To shade and mitigate visual impact of large expanses of pavement, off-street parking areas shall have one tree for each ten (10) parking stalls with no stall being more than 100 feet from
- * The minimum plant sized at time of installation shall be as follows. Trees shall have a 2" caliper, measured two feet above the ground, twenty-five percent (25%) of the shrubs and ground cover shall be in five gallon containers, and the balance shall be in one gallon containers Turf grasses shall be capable of providing complete ground coverage within one growing season after installation.
- season after installation.
 All plant material, including trees, shrubs, ground cover, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds.
 All oreas which are planted with turf, shrubs and trees shall be irrigated by an underground system.
 All undeveloped sites, and all unpaved areas of developed sites shall be kept in a weed-free condition. All unimproved areas of developed sites shall be screened from view from the public right of weight or the alternative unimproved areas may be londer and with natural areases.
- right of way, or in the alternative, unimproved areas may be landscoped with natural grasses, etc. as opproved by the Architectural Control Committee. Screening shall be through the use of a three (3) foot wall of acceptable materials as approved by the Architectural Control Committee. (Chain link fences are not permitted.) Plant Materials. See the plant list for Atrisco Business Park or the approved City of Albuquerque plant list.

with a fill day a deget of Storage Areas and Service Areas; Refuse Collection Areas. All outdoor storage areas and service yords shall be limited to the rear of the front yord(s) and screened from view from streets adjacent to the site through the use of an opaque visual barrier, at least six (6) feet in height. Where screening is required, it should be a combination of masonry pillars or short solid wall segments. The use of chain link fencing is not acceptable in front of the building front yard set back line and shall not face any public right-of-way. The use of barbed wire or concerting is not permitted on the top of fences or walls. No materials, supplies or equipment, including company-owned or operated vehicles, shall be stored in any area on the site except behind such a barrier.

All outdoor refuse containers shall be screened within a minimum 6 foot tail enclosure, built of opaque materials. The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site. (Slats in chain link fences are not permitted.) No refuse collection area shall be allowed between any street and building front yard setbacks.



PROVIDE BERM BETWEEN PARKING AREA & UNSER PLVD At all times the Owner of each site shall maintain on that site the number of parking spaces required by the City of Albuquerque. At all times the off-street parking provided on each site, shall adequately accommodate the parking needs for all employees, customers, visitors, and company vehicles for that site. Parking on public streets and on private roads shown on the recorded plat(s) of the Property is profibited.

All off-street parking and access drives and all loading areas must be paved with a year-round surface of asphalt or concrete and properly graded to assure proper drainage. Drainage Recvirements.

All construction on and any alterations to any site, upon the completion thereof, shall conform to the requirements contained in the Master Drainage Report for the site Pedestrian Walkways/Bikeways

Properties adjacent to Unser Boulevard shall have a 6 foot sidewalk with a minimum landscaped area of 6 feet between the back of curb and the sidewalk. All other collector or local streets, where sidewalks are required, shall have a 4 foot wide sidewalk. A pedestrian virculation system from the Unser Boulevard trail, guest parking areas and employee parking areas to the building(s), consistent with City standards and approved by the Architectural Control Committee, shall be provided with the site.

The City of Altuquerque has established a bikeway network which identifies a route along Bluewater from 48th Street to Coors. Bike routes provide for the shared use of the street by automobiles on bloyclists.

Along Unser Exlevard, an existing paved trail is located on the east side between Los Volcanoes to Bluenater. A trail is proposed along the entire length of unser. In order to accommodate blcycles, blke racks shall be provided on each site. Slan Standards.

Sign Standards. Sign shall be ntegrated with the architectural design of the buildings, in appropriate proportion with the scale of the buildings. All elements of a sign shall be maintained in a visually appealing manner. Fascla signs shall not protrude above the parapet. The only signs allowed in the Landscaped free will be one identification sign (per site) of a maximum size of twenty-four (24) square feet, and signs necessary for the regulation or direction of traffic flows. All signs require the prior approval of the Architectural Control Committee. Information on such signs, which is to be submitted to the Committee, must include the location, materials, colors, method of lighting, construction distalls, and drawings showing a copy of the proposed signs. The maximum height of free standing signs is six (6) feet above average finished grade. Internal lighting of individual letters (only) and face lighting of signs are permitted. Other lighting methods require the written approval of the Committee.



SITNS SHALL BE 14 SQ. PT. MAXIMUM IN ARBA AND O FEET ADOVE AVERAGE FINISH GRADE

Utilities All utility line: and associated facilities furnishing service to the Property shall be installed and maintained unterground. Transformers, utility pads and telephone boxes shall be oppropriately screened with walls or landscaping when viewed from the public right-of-way.

Lighting. Parking lot fixtures are to have an overall maximum height of twenty-five (25) feet. Walkway lighting fixtures are to have an overall maximum height of tweive (12) feet. Security lighting fixtures are not to project above the fascia or roof line of the building and are to be shielded. The shields are to be parted to match the surface to which attached. Individual site lighting standards should blend with the architectural character of the building and other site fixtures.



PARKING LOT FIXTURES & OVERALL MAXIMUM HEIGHT 25 PT. WALKWAY LIGHT FIXTURES I LEFT MAXIMUM Maintenance Each undeveloped site, and the grounds, buildings and improvements of each developed site shall be kept in a sate, clean, wholesome condition, and all unpaved areas shall be maintained in a weed-free

Each owner or tenant shall remove at his own expense any rubbish or trash which may collect on his site. Such trash shall not be disposed of on the premises by burning in open fires or Incinerators.

DESIGN GUIDLINES

