



Tim Keller, Mayor



October 16, 2025

---

**To:** Albuquerque Development Commission

**From:** China Osborn, Redevelopment Project Manager

**Subject:** Redevelopment Tax Abatement for a 24-unit residential development project in the North Corridor MR Area, located at 4<sup>th</sup> St. and La Plata Rd. NW

**MRA Case #:** 2025-19

---

**Executive Summary.** 4th & La Plata LLC (the “Applicant”) requests approval of a Redevelopment Tax Abatement (RTA) for a new residential multi-family development, located at the northeast corner of 4<sup>th</sup> St. NW and La Plata Rd. NW (“Project”) in the North Corridor Metropolitan Redevelopment (MR) Area. The proposed project will develop a currently vacant lot with a 24-unit multi-family apartment building with parking on the rear of the lot and streetscape improvements. The project will transform a vacant corner on the prominent 4<sup>th</sup> Street corridor, bringing more residential activity and safety to a desolate area, thus contributing to the economic development and stability of the North Corridor MR Area.

The RTA, if approved, will freeze the property taxes at pre-development levels for 7 years after construction, making the project feasible and contributing to the elimination of “slum” and “blight” in the area. The approval of the RTA **does not** change zoning or approve any variances to zoning requirements for the project.

**Project Description.** The project is located at the northeast corner of 4<sup>th</sup> Street and La Plata Street, along a mixed-use corridor. The approximately 30,857 square foot (~ 0.71 acre) lot has never been developed, becoming an eyesore to this prominent corner of the North Corridor MR Area. The Project will construct a total of 24 one-bedroom residential units in a 2-story, 19,434 square-foot garden-style structure. The proposed development of the site includes resident parking in the rear of the building, accessible from La Plata Street, with 24 standard parking spaces, 3 EV parking spaces, and additional motorcycle and bicycle parking spaces. The project will also provide just under 8,500 sq. ft. of open space, with ample landscaping improvements, including the planting of 25 trees and a variety of shrubs, and the installation of publicly accessible seating.

*(See Attachments A and B for site location, photos, and project design.)*

**Value of RTA.** The project site consists of one parcel, and the estimated 2025 tax bill is \$1,215. Following completion of the project, the new annual property tax amount is estimated to be approximately \$49,502. Therefore, the estimated value of the property tax abated (*after development tax minus pre-development tax*) on the Project would be \$48,287 annually, or \$338,009 over a period of 7 years. This represents a cost savings of \$14,083 per residential unit built, helping contribute to the feasibility of this project.

The Applicant will be required to continue annual payments to the Bernalillo County Treasurer equal to the pre-development property taxes in the form of a Payment In Lieu of Taxes (PILT) and an administrative fee equal to 10% of the abated taxes to the Metropolitan Redevelopment Agency (MRA) during the 7-year abatement period.

**Application Criteria.** The following section summarizes how the project meets the RTA Threshold Criteria and Evaluation Criteria. The full Application and supplemental materials can be found in Attachment C of this report.

### RTA Threshold Criteria

| Criterion                                                                                                                                                                                                                                                                                                                                                                                   | Staff Evaluation                                                                                                                                                                                                                                                |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>MR Area.</b> Projects must be located in a designated MR Area with an approved MR Area Plan.                                                                                                                                                                                                                                                                                             | The project is located in the North Corridor MR Area, with an MR Area Plan approved in 2020. (See Attachment A for site location.)<br><i>The criterion is met.</i>                                                                                              |
| <b>Site Control.</b> Applicant must demonstrate site control.                                                                                                                                                                                                                                                                                                                               | The applicant submitted a property deed as proof of site control.<br><i>The criterion is met.</i>                                                                                                                                                               |
| <b>Minimum Project Size.</b> The scope of the Project must meet the following criteria: <ul style="list-style-type: none"> <li>Minimum hard construction costs of \$1 million; <b>and</b></li> <li>A minimum of <u>eight</u> residential units are created;</li> <li><b>OR</b></li> <li>A minimum of <u>5,500 sq. ft.</u> of commercial space is created or put into active use.</li> </ul> | The Project meets two of the minimum size criteria: <ul style="list-style-type: none"> <li>The estimated total construction cost is approximately \$3 million; <b>and</b></li> <li>24 residential units will be created</li> </ul> <i>The criterion is met.</i> |
| <b>Community Benefit.</b> A Project must achieve a minimum Community Benefit score of 40 based on the Community Benefit Matrix.                                                                                                                                                                                                                                                             | The project scores 52 points. See the Community Benefit Matrix in the next section for details.<br><i>The criterion is met.</i>                                                                                                                                 |

### Community Benefit Matrix

| Category                                                                                                                                                           | Points Earned |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|
| <b>Economic Impact</b>                                                                                                                                             |               |
| <u>Housing Adds Density.</u> Project adds 24 units to ~0.70-acre site = 17 DU/acre                                                                                 | 7             |
| <u>Supports Local &amp; Minority Businesses.</u> Legal Applicant entity is a local & minority business.                                                            | 5             |
| <u>Supports Local &amp; Minority Businesses.</u> General Contractor is a local & minority business.                                                                | 5             |
| <b>Sustainability</b>                                                                                                                                              |               |
| <u>Water Efficiency.</u> Project will include high efficiency WaterSense-labeled fixtures and desert-friendly xeriscape landscaping.                               | 6             |
| <u>Shift to Electric.</u> Residential units include electric appliances only.                                                                                      | 3             |
| <u>Encourages Alternative Transportation.</u> Project provides minimum parking required; and includes bike storage.                                                | 5             |
| <u>Green Spaces.</u> Project provides least 20% above the required landscaping and usable open space.                                                              | 3             |
| <u>Encourages Alternative Transportation.</u> Project does not provide more parking than minimally required by the IDO and more than one EV capable parking space. | 5             |
| <u>On-Site Electric Vehicle Charging Stations.</u> Project provides three EVSE installed parking spaces.                                                           | 3             |

|                                                                                                                                              |           |
|----------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| <b>Placemaking</b>                                                                                                                           |           |
| <u>Streetscape Improvements.</u> Project includes widened sidewalks; public urban furniture; parking is located in the rear of the building. | 5         |
| <b>Bonus Points for Residential Development</b>                                                                                              |           |
| <u>Adds Missing-Middle Housing.</u> Project adds housing to an urban infill lot of less than one acre in size (no minimum density required). | 5         |
| <b>Total Points Earned</b>                                                                                                                   | <b>52</b> |

***The project meets all required RTA Threshold Criteria.***

#### **RTA Evaluation Criteria**

- ☒ **Criterion A: Removal of Blighted Conditions and Conformance with Metropolitan Redevelopment Area Plan.** The applicant must demonstrate that the Project meets the relevant Metropolitan Redevelopment Plan goals.
  - ☒ **Project results in the removal of slum or blighted conditions.**
  - ☒ **Project furthers the goals and objectives of the adopted Metropolitan Redevelopment Area Plan.**
  - ☒ **Relocation of existing residents and businesses has been/will be avoided.**

**Staff Evaluation:** The subject property is currently vacant. In its current condition, it provides no benefit to the surrounding community. The redevelopment of the site will only lead to increased safety and improved conditions in the area, bringing more residential and commercial activity to the corner and removing the current conditions of blight.

With respect to the Goals and Objectives of the Metropolitan Redevelopment Area Plan, the proposal supports the goal “Infill Development and Site Activation” by developing a long-vacant urban infill site, introducing residential use and streetscape improvements that contribute to the area's vibrancy and safety. The project also contributes to the “Public Realm Beautification” and “Enhanced Accessibility and Walkability” with a landscaping plan that pays attention to curb appeal, including publicly-accessible seating. The project will contribute to the visual improvement of the 4th Street corridor.

The project does not displace any existing residents or businesses on the subject property, because it is vacant land.

- ☒ **Criterion B: Design.** RTA Projects shall meet the following enhanced design criteria to ensure high-quality projects that are recognized as exemplary:
  - ☒ Buildings shall have exterior building materials and colors that are aesthetically pleasing and compatible with the overall site plan. Construction material shall provide variation in color, texture, and scale.
  - ☒ The development must meet the strictest of the Design Standards in the City's Integrated Development Ordinance (IDO) applicable to the proposed use of the structure, regardless of zone district, as follows:
    - i. Residential, Multi-family and Mixed-use see IDO Subsection 5-11(E)
    - ii. Non-residential see IDO Subsection 5-11(F)
    - iii. Industrial see IDO Subsection 5-11(G)

**Staff Evaluation:** The Applicant has submitted renderings of the proposal (See Attachment B), showing that the colors of the proposed building are consistent with one of the City's recommended color palettes. The proposed design provides visual interest and

aesthetically pleasing elements, such as balconies. The development meets the strictest of the Design Standards in the City's Integrated Development Ordinance (IDO) for mixed-use buildings.

- ☒ **Criterion C: Applicant Experience.** Applicant must demonstrate a record of financing, constructing, and managing Projects of this type and size, and provide convincing evidence that the Project will be completed.

**Staff Evaluation:** The Applicant has provided sufficient evidence of their development experience, listing projects that include new development or redevelopment of both commercial and residential projects, including over 130 residential units over the last 19 years.

***The project meets all required RTA Evaluation Criteria.***

**Recommendation:** Subject to the following findings and conditions of approval, that the ADC recommends approval of the Redevelopment Tax Abatement to City Council for the new multi-family development of approximately 24 residential units, located at the northeast corner of 4<sup>th</sup> Street NW and La Plata Road NW in the North Corridor Metropolitan Redevelopment Area, to be developed by 4th & La Plata LLC.

**Findings:**

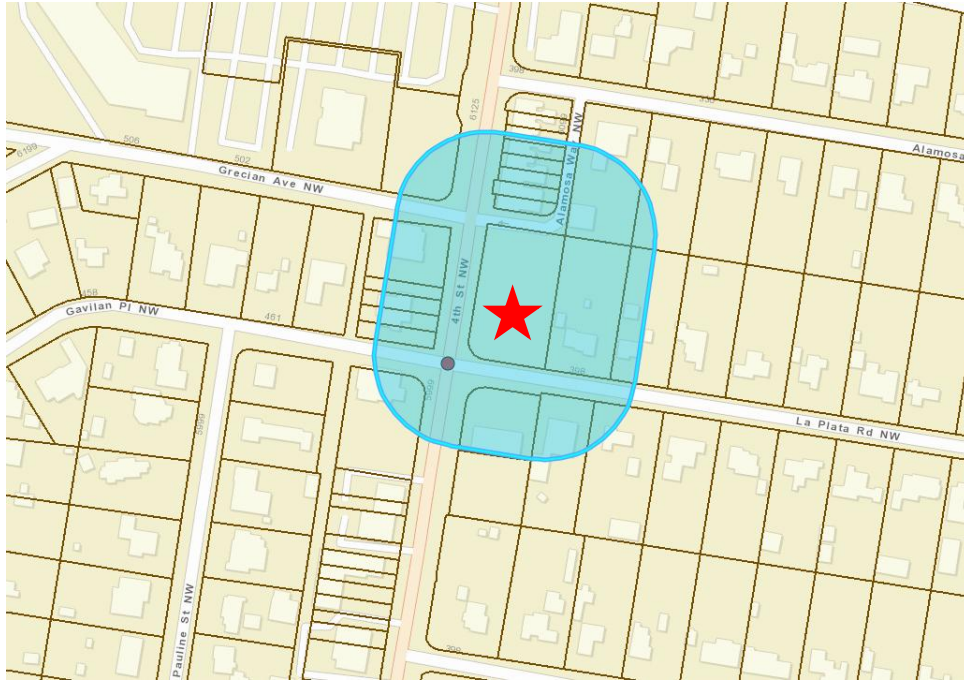
1. The proposed activities under the Project aid in the elimination or prevention of slum or blight.
2. The Project is consistent with the Comprehensive Plan for the City as a whole and the Sycamore Metropolitan Redevelopment Area Plan, and meets the threshold and application criteria of the Redevelopment Tax Abatement program.
3. The Project affords maximum opportunity consistent with the needs of the community for the rehabilitation or redevelopment of the area by private enterprise or persons, and the objectives of the Project justify the proposed activities as public purposes and needs.
4. The Project advances the goals of the North Corridor Metropolitan Redevelopment Area Plan by creating a mixed-use development, contributing to increased economic activity and safety in the area.

**Conditions of Approval:**

1. Prior to the start of construction, the applicant shall submit the final approved building permit plans to MRA staff for review for consistency with the Community Benefit Matrix.
2. The Applicant, at their own expense, shall collocate a promotional banner designed by MRA at the property line construction fencing, visible from the public right of way during the entire construction of the Project.
3. The Applicant shall after the final Certificate of Occupancy and prior to the signing of the Lease effectuating the Redevelopment Tax Abatement, request the presence of MRA staff and other City representatives at the discretion of MRA at a ribbon-cutting ceremony to mark the opening of the Project.
4. The Lease Documents required to execute the Redevelopment Tax Abatement shall not be executed until construction of the Project is complete, as exemplified by a final Certificate of Occupancy, or prior at the sole discretion of the City. The Lease must be entered into and effective within three (3) years of the date of City Council Approval, or the Project approval will be void, and the Lease term shall not exceed seven (7) years.

## Attachment A

### Site Location



### Site Photos



*View from S property line (La Plata) looking N*





*View from W Property Line, looking NE towards adjacent neighborhood*

# Attachment B

## Project Design & Renderings

### Proposed Project (Rendering):



View from 4<sup>th</sup> Street NW, looking NE

(Subject to change.)

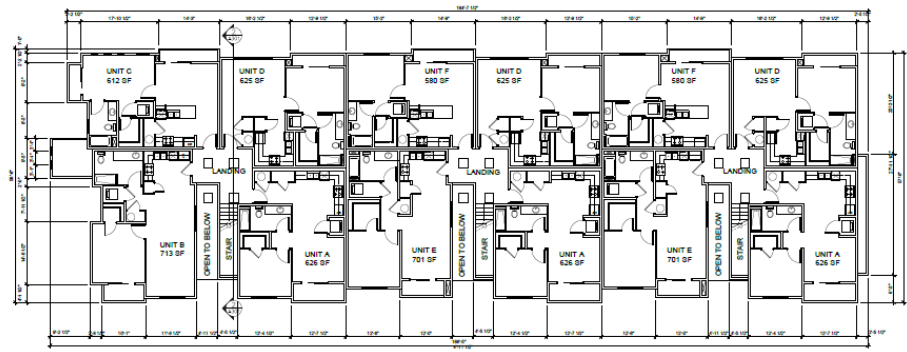
### Proposed Site/Landscape Plan:

| Table 5-4-1: Minimum Plant Sizes |                                                                                  |
|----------------------------------|----------------------------------------------------------------------------------|
| Plant material type (ARIS types) | Minimum size                                                                     |
| Deciduous Street Trees           | 2 in. caliper 4 in. above grade                                                  |
| Deciduous Accent Trees           | 1.5 in. caliper 6 in. above grade or 6 ft. in height                             |
| Evergreen Tree                   | 6 ft. in height                                                                  |
| Multi-trunk Tree                 | Minimum 2 trunks with a combined caliper of 2 in.                                |
| Shrubs                           | 3 gallon container size                                                          |
| Ground cover and turf            | Adequate to provide general ground cover within 3' growing season after planting |

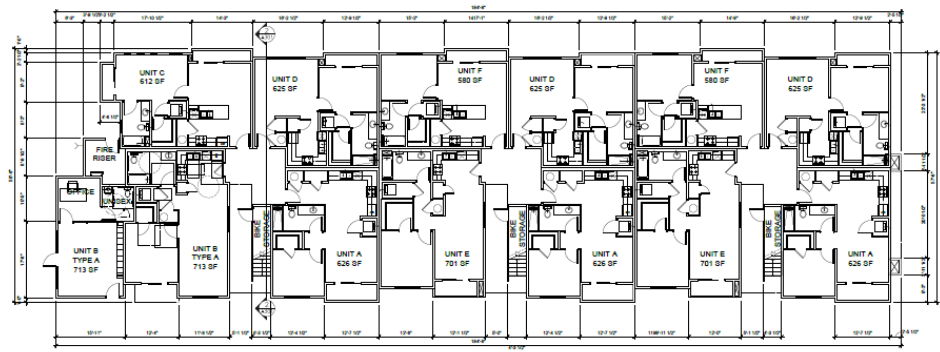
- GENERAL ZONING NOTES
1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.
  2. LANDSCAPING, FENCING AND SIGNS WILL NOT INTERFERE WITH CLEAR RIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SUBSIDIES BETWEEN 3 AND 3 FEET TALL, AND SLOADED FROM THE GUTTER PANS WILL NOT BE ACCEPTABLE IN THE CLEAR RIGHT TRIANGLE.
  3. ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.
  4. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH DO SECTION 5-4 (G).
  5. ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES TO WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.
  6. BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXCEED MORE THAN 3 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.
  7. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
  8. RECESS WINDOWS 2 INCHES
  9. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
  10. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING, AND WASTE WASTE ORDINANCE PLANTING RESTRICTION APPROACH.
  11. ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLES ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WASTE WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRACTICES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.
  12. PLANT SEEDS SHALL MAINTAIN 10% LIVE GROUND COVER AT MATURITY.
  13. IF BROWN GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.
  14. IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
  15. FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.
  16. NO PARKING SPACE SHALL BE MORE THAN 50-FT FROM A TREE TRUNK.
  17. TREE CANOPY COUNTS TOWARD TEN OF REQUIRED GROUND COVER FOR LANDSCAPE AREAS UP TO 10000.
  18. CLEAR SITE TRIANGLE IS SUBJECT TO APPROVAL OF THE CITY OF ALBUQUERQUE TRANSPORTATION DEPARTMENT.
  19. LOCATION, QUANTITY AND HEIGHT OF LANDSCAPING IS SUBJECT TO THE APPROVAL OF THE CITY OF ALBUQUERQUE ZONING DEPARTMENT.



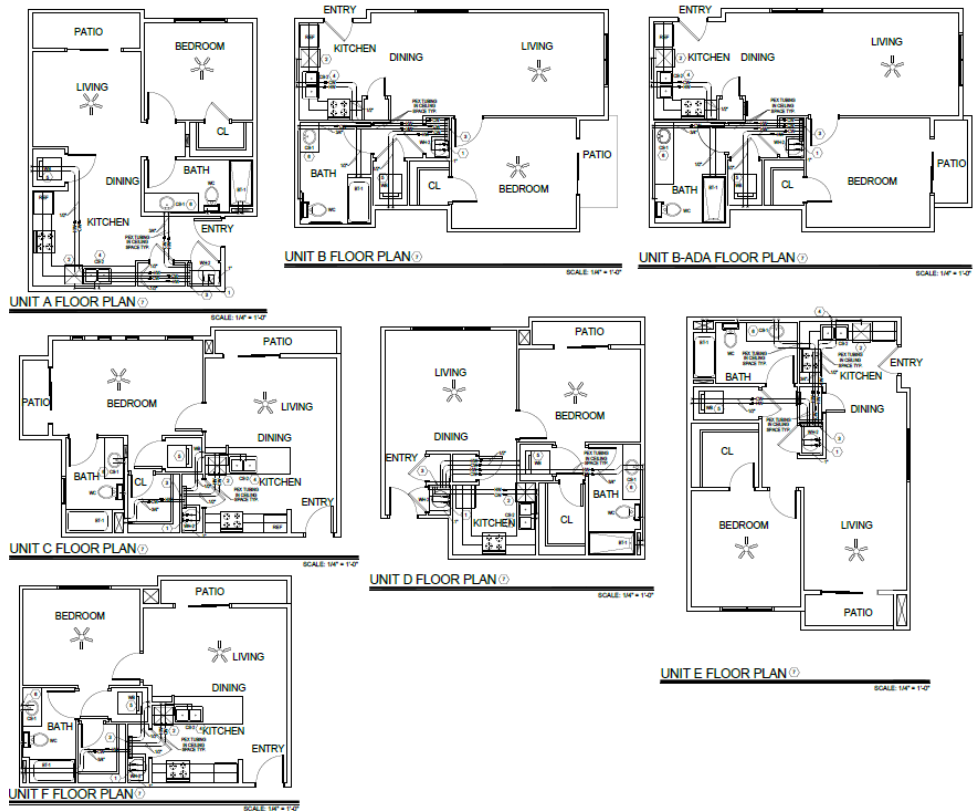
Floor Plans:



SECOND LEVEL FLOOR PLAN



FIRST LEVEL FLOOR PLAN



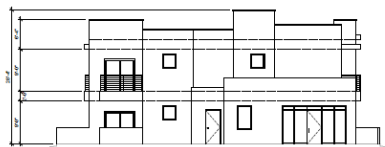


Elevations:



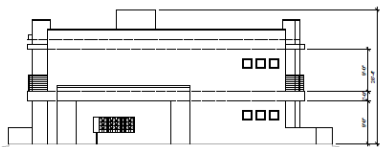
EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

## Attachment C

Project Application on following pages.

# METROPOLITAN REDEVELOPMENT TAX ABATEMENT

## APPLICATION FORM

Name of Project

Location of Project

Legal Description of All Parcels

Bernalillo County UPC Code of all Parcels

Applicant Name

Contact Person

Telephone

Email

Address

Amount of Fee Submitted

Total Project Square Footage

Building Construction Type

Estimated Building Permit Valuation (Include Formula, see Appendix E)

Form of Documented Site Control included in Application

Warranty deed

Option to purchase (expires no sooner than 4 months from application date)

Long term lease (at least 50 years)

Project Size

Number of additional residential units created by project

Total square feet of commercial space

Total Parcel(s) Acreage

Number of Stories

## **PROJECT INFORMATION**

### **1. Description of Proposed Development**

The proposed development is a two-story, 24-unit garden-style multifamily community located at the northeast corner of 4th Street NW and La Plata NW in Albuquerque. The building will total approximately 19,434 square feet and will be constructed using traditional wood-frame methods. Designed in the Contemporary Southwest architectural style, the development will offer thoughtfully designed one-bedroom units with a focus on energy efficiency, walkability, and community-centered design. This project adds a meaningful increase in housing density to an urban infill site, contributing to the revitalization of the 4th Street corridor.

### **2. Existing Site Conditions**

The development site is currently vacant land. Recently, accessible sidewalks were added along both the west and south property lines, improving pedestrian access and connectivity. The surrounding area consists of a diverse mix of land uses: commercial properties to the south and west, a high-density residential townhome development directly to the north, and single-family homes located east along La Plata. The property is shovel-ready with no existing structures and no significant demolition or site remediation required.

### **3. Entitlements**

The property is currently zoned MX-T (Mixed-Use: Transition), which allows for a variety of residential and commercial uses. The proposed development is fully compliant with current zoning and does not require any variances or additional entitlements to proceed. The project has been designed to align with existing regulations and site constraints, supporting an efficient and straightforward path to permitting and construction.

## **COMMUNITY BENEFIT SUMMARY**

The proposed 24-unit multifamily development provides measurable and meaningful community benefits that align with the goals of the Metropolitan Redevelopment Agency (MRA) and the priorities outlined in the Community Benefit Matrix.

### **Adds Housing Density**

This project introduces 24 new one-bedroom rental units to a centrally located, underutilized infill parcel, directly contributing to the city's goals of increasing urban housing density in transit-accessible, walkable corridors. As "missing middle" housing, this scale and design offer an attainable alternative to both single-family homes and large apartment complexes.

### **Locally Owned Applicant Entity**

The development entity is both locally based and woman led. This reflects the MRA's emphasis on supporting inclusive economic development and investing in historically underrepresented developers. The project is led by a woman with prior experience in real estate investment and redevelopment, now stepping forward as the lead developer on this project.

### **Locally and Minority-Owned General Contractor**

The selected general contractor for this project is both locally based and minority-owned. This ensures that public benefit dollars support local workforce development, job creation, and equitable economic opportunity within Albuquerque.

### **Sustainable Building Features**

The project is designed with a focus on long-term sustainability and operational efficiency:

- **Renewable Energy Ready:** The roof will be stubbed out for future solar panel installation, enabling renewable energy integration without costly retrofits.
- **Water Conservation:** The site landscaping will be over 80% xeriscaped, and all interior fixtures will be WaterSense labeled, significantly reducing water usage.
- **All-Electric Appliances:** The building will use only electric appliances—no natural gas—supporting a transition to cleaner energy and aligning with broader carbon-reduction goals.

### **Alternative Transportation Infrastructure**

The development meets minimum parking requirements under the Integrated Development Ordinance (IDO) and includes enhanced support for non-vehicle-based transportation options:

- Bicycle parking and secure bike storage
  - Two EV-ready parking spaces
- These features encourage alternative commuting options and help reduce the development's long-term carbon footprint.

### **Urban Infill and Site Optimization**

Located on an infill lot of less than one acre, this project puts underutilized land to productive use while respecting the surrounding neighborhood context. The building footprint aligns with minimum setbacks, ensuring efficient land use and compatibility with adjacent residential and commercial properties.

## **REMOVAL OF BLIGHTED CONDITIONS AND CONFORMANCE WITH METROPOLITAN REDEVELOPMENT AREA PLAN**

### **1. Removal of Slum or Blighted Conditions**

The project directly addresses conditions defined as slum or blight under the Metropolitan Redevelopment Code. The site is currently a vacant and underutilized lot that has seen little to no private investment or activation in recent years. Its status as a dormant property on a key corridor contributes to the perception of disinvestment and lack of neighborhood vitality. By



developing this parcel with new housing, infrastructure, and landscaping, the project reverses these trends and brings sustained investment and activity to the area.

## **2. Alignment with MRA Plan Goals and Objectives**

The project supports multiple objectives of the adopted Metropolitan Redevelopment Area (MRA) Plan:

- **Enhanced Accessibility and Walkability:** By capitalizing on recently improved sidewalks and investing in landscaping along the street frontages, the project enhances the pedestrian experience and encourages greater connectivity within the neighborhood.
- **Infill Development and Site Activation:** The project activates a long-vacant urban infill site, introducing residential use and streetscape improvements that contribute to the area's vibrancy and safety.
- **Public Realm Beautification:** With thoughtfully designed xeriscaping and attention to curb appeal, the project will contribute to the visual improvement of the 4th Street corridor.
- **Affordable and Attainable Housing:** By offering 24 modestly sized one-bedroom units, the development helps address the pressing need for reasonably priced rental housing in a centrally located area.

Our team deliberately selected this parcel because it is within an MRA boundary, and we believe our private investment will serve as a catalyst for continued revitalization of the corridor in alignment with the city's long-range planning goals.

## **3. Demolition of Structures**

No building demolition is required for this project. The site is vacant land and therefore allows for immediate development without displacing existing structures or incurring additional environmental or demolition-related costs.

## **4. Relocation of Businesses or Residents**

No relocation of existing businesses or residents is necessary. The parcel is unoccupied and has no existing tenants or active use. This ensures the development can proceed without negatively impacting current community members or requiring relocation assistance.

## **DESIGN A.**

The building design features a modern and cohesive palette of stucco and fiber cement panels in complementary earth tones, including soft beige and warm brown. These materials were selected for durability and long-term visual appeal while harmonizing with the surrounding built

environment. Variation in color and texture is achieved through the strategic placement of darker tones at recessed volumes and lighter colors on projecting masses, creating depth and architectural interest. Additionally, metal balcony railings and canopies provide contrasting materiality and scale variation across elevations.

The building elevations along both the public street and the customer parking lot have been thoughtfully modulated to meet and exceed the city's design requirements. Facades include regularly spaced vertical offsets greater than four feet in depth, expressed through projecting units, recessed balconies, and varied wall planes. These offsets occur at intervals under 50 feet, creating rhythm and reducing the visual massing of the building. Approximately 10% of each street-facing and parking-facing elevation is modulated, and those modulations extend through more than 40% of the building height, contributing to a human-scale and visually engaging development.

## **APPLICANT EXPERIENCE**

The development team behind this project brings a strong combination of local expertise, relevant experience, and successful past collaboration in multifamily and mixed-use development.

**The lead developer, Shastyn Blomquist**, is a local real estate professional with a track record of hands-on involvement in multiple redevelopment projects in New Mexico. She provided majority funds to purchase the land for this development and has put together an investor group. As the primary principal of the applicant entity—which is both woman-directed and locally owned—Shastyn brings strategic vision and operational experience to the table. In her previous ventures with her former partner, Mark Friedman, Shastyn played an active and engaged role in strategy development and deal analysis. Her contributions ranged from feasibility studies to navigating project execution. These past experiences have equipped her with a strong foundation to successfully lead the proposed multifamily project.

**The architectural partner, Scott C. Anderson & Associates Architects**, has designed a multitude of large apartment complexes and has been a driving force behind the transformation of 4th Street from Menaul to Montaño. Their portfolio of work includes a mix of residential and mixed-use developments that prioritize walkability and Southwest architectural integrity—an approach directly aligned with this project's goals.

**The general contractor, J&S Development, Inc. (Jose Rodriguez)** has served as the general contractor and builder on many of the architect's past projects and has a strong reputation for delivering multifamily developments on time and on budget. The contractor is both locally- and minority-owned, and has demonstrated success in partnering with development entities on projects larger in scope and scale than the one proposed here.

**The financial structure** of the development is grounded in committed, family-based equity investment. Alongside Shastyn Blomquist, the investor group includes the aforementioned partner Mark Friedman and their two sons, Connor and Adam Friedman, along with the architect and contractor as equity stakeholders upon project completion. This family partnership reflects a generational commitment to contributing positively to the local built environment and to creating long-term value in Albuquerque neighborhoods.

The combined qualifications and proven collaboration history of the development team, architect, and contractor provide a strong foundation for successful project delivery. Together, they bring deep local knowledge, hands-on development experience, and a shared vision for revitalizing underutilized urban infill sites with context-sensitive, high-quality housing.

# Community Benefit Matrix for Redevelopment Tax Abatement

## APPENDIX B

| Category.<br>Subcategory.                                                                                                                                                                                                                                                                                                                                                                  | Total Points<br>Available                    | Points Earned by<br>Applicant             | Additional information required with application and /or at building<br>permit                                                                                                                                        |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------|-------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Economic Impact:</b> Pockets of commercial activity can be impactful to communities, by supporting local and small businesses. Small and mid-size commercial and residential projects are prioritized as part of a strategy to focus on in-fill developments that create vibrant urban districts. Additionally, projects that support underrepresented populations will be prioritized. | Total Points<br>Available per<br>Subcategory | Points Earned<br>(fill in white<br>boxes) | Additional information required to qualify for points, submitted at:                                                                                                                                                  |
| (Choose one category.)<br><b>Community-Scale Commercial</b>                                                                                                                                                                                                                                                                                                                                |                                              |                                           |                                                                                                                                                                                                                       |
| <b>5,500 - 15,000 square feet:</b> Retail, commercial, or artisan or light manufacturing space (for commercial user and not to be used as residential leasing or amenity space)                                                                                                                                                                                                            | 5                                            |                                           | Application: Site plan/floor plans with calculation<br>Building Permit: confirm on site plan with calculation<br>Lease: Annual occupancy reporting requirements will be written into lease.                           |
| <b>Large-Scale Commercial or Industrial</b>                                                                                                                                                                                                                                                                                                                                                | -OR-                                         |                                           |                                                                                                                                                                                                                       |
| <b>Over 15,000 square feet:</b> Large retail, commercial, or industrial space, includes a flexible design concept for access, loading, or other infrastructure or facilities to allow for a variety of uses and tenants, both current and future.                                                                                                                                          | 3                                            |                                           | Application: In narrative & site plan/floor plans with design concept<br>Building Permit: Confirm on site plan<br>Lease: Annual occupancy reporting requirements will be written into lease.                          |
| <b>Maximum Points for Subcategory</b>                                                                                                                                                                                                                                                                                                                                                      | <b>5</b>                                     | <b>0</b>                                  |                                                                                                                                                                                                                       |
| <b>Shared uses:</b> Interior commercial and/or retail spaces will have a shared-business model, such as a food hall, craft or artisan market, etc.                                                                                                                                                                                                                                         | 5                                            |                                           | Application: In narrative & site plan/floor plans showing shared space and how it will be used<br>Building Permit: Confirm on site plan<br>Lease: Annual occupancy reporting requirements will be written into lease. |
| <b>Maximum Points for Subcategory</b>                                                                                                                                                                                                                                                                                                                                                      | <b>5</b>                                     | <b>0</b>                                  |                                                                                                                                                                                                                       |
| <b>Housing - Adds Density: Mixed-Use and Residential-only Projects.</b>                                                                                                                                                                                                                                                                                                                    |                                              |                                           |                                                                                                                                                                                                                       |
| <b>Choose one.</b>                                                                                                                                                                                                                                                                                                                                                                         |                                              |                                           |                                                                                                                                                                                                                       |
| 8 - 16 du/acre                                                                                                                                                                                                                                                                                                                                                                             | 5                                            |                                           | Application: Provide site plan with calculation<br>Building Permit: Confirm on site plan with calculation                                                                                                             |
| 16.01 - 32 dwelling units/acre                                                                                                                                                                                                                                                                                                                                                             | 7                                            | 7                                         |                                                                                                                                                                                                                       |
| 32.01 - 48 dwelling units/acre                                                                                                                                                                                                                                                                                                                                                             | 9                                            |                                           |                                                                                                                                                                                                                       |
| > 48.01 dwelling units/acre                                                                                                                                                                                                                                                                                                                                                                | 10                                           |                                           |                                                                                                                                                                                                                       |
| <b>Maximum Points for Subcategory</b>                                                                                                                                                                                                                                                                                                                                                      | <b>10</b>                                    | <b>7</b>                                  |                                                                                                                                                                                                                       |
| <b>Creates Affordable or Workforce Housing.</b> Housing must meet Federal/City HHH Dept. definitions and guidelines for affordable and/or workforce housing available to residents at or below 80% AMI to receive points in this category. <b>Choose one</b> (select most appropriate by rounding up or down to the nearest whole number)                                                  |                                              |                                           |                                                                                                                                                                                                                       |
| < 20% of the residential units will be affordable                                                                                                                                                                                                                                                                                                                                          | 2                                            |                                           | Application: Provide site plan with calculation                                                                                                                                                                       |
| 21% - 50% of the residential units will be affordable                                                                                                                                                                                                                                                                                                                                      | 4                                            |                                           |                                                                                                                                                                                                                       |
| > 50% of the residential units will be affordable                                                                                                                                                                                                                                                                                                                                          | 5                                            |                                           |                                                                                                                                                                                                                       |
| <b>Maximum Points for Subcategory</b>                                                                                                                                                                                                                                                                                                                                                      | <b>5</b>                                     | <b>0</b>                                  |                                                                                                                                                                                                                       |
| <b>Supports Local and Underrepresented Businesses.</b>                                                                                                                                                                                                                                                                                                                                     |                                              |                                           |                                                                                                                                                                                                                       |
| Legal applicant entity is a minority, LGBTQ+, veteran, or women-owned                                                                                                                                                                                                                                                                                                                      | 3                                            | 3                                         | Application: Applicable third party certification                                                                                                                                                                     |
| Legal applicant entity is a local business                                                                                                                                                                                                                                                                                                                                                 | 2                                            | 2                                         | Application: W-9 self-certification; business license                                                                                                                                                                 |
| General Contractor is a minority, LGBTQ+, veteran, or women-owned                                                                                                                                                                                                                                                                                                                          | 3                                            | 3                                         | Application: Applicable third party certification                                                                                                                                                                     |
| General Contractor is a local businesses                                                                                                                                                                                                                                                                                                                                                   | 2                                            | 2                                         | Application: W-9 self-certification; business license                                                                                                                                                                 |

|                                                                                                                                                                                                                                                                                                                                                                                                                          |                                        |                                     |                                                                                                                                                                                                                                                                               |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------|-------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Maximum Points for Subcategory                                                                                                                                                                                                                                                                                                                                                                                           | 10                                     | 10                                  |                                                                                                                                                                                                                                                                               |
| Total Available Points for Category                                                                                                                                                                                                                                                                                                                                                                                      | 35                                     | 17                                  |                                                                                                                                                                                                                                                                               |
| <b>Sustainability:</b> To counteract the urban heat-island effect and the disproportionate impact of climate change on disenfranchised communities, priority will be given to projects that incorporate sustainable design practices into the development.                                                                                                                                                               | Total Points Available per Subcategory | Points Earned (fill in white boxes) | Additional information required to qualify for points, submitted at:                                                                                                                                                                                                          |
| <b>Reuse of Existing Structures.</b> <i>If/when feasible and appropriate given existing site conditions. Choose one.</i>                                                                                                                                                                                                                                                                                                 |                                        |                                     |                                                                                                                                                                                                                                                                               |
| 25% of project footprint utilizes existing structures                                                                                                                                                                                                                                                                                                                                                                    | 3                                      |                                     | Application: Conceptual site plan with calculation                                                                                                                                                                                                                            |
| 50% of project footprint utilizes existing structures                                                                                                                                                                                                                                                                                                                                                                    | 5                                      |                                     | Building Permit: Confirm on site plan                                                                                                                                                                                                                                         |
| Maximum Points for Subcategory                                                                                                                                                                                                                                                                                                                                                                                           | 5                                      | 0                                   |                                                                                                                                                                                                                                                                               |
| <b>On-Site Renewable Energy.</b> On-site generated renewable energy will meet at                                                                                                                                                                                                                                                                                                                                         | 12                                     |                                     | Application: Calculation letter by professional electrical engineer                                                                                                                                                                                                           |
| Maximum Points for Subcategory                                                                                                                                                                                                                                                                                                                                                                                           | 12                                     | 0                                   |                                                                                                                                                                                                                                                                               |
| <b>Sustainable Building Design and Construction.</b> <u>Please chose one of the following two subcategories if seeking sustainable construction points.</u> <i>The assumption is that if the project is LEED compliant, energy efficiency will be met. If the project is not LEED compliant, then points may be gained by adding energy efficient components.</i>                                                        |                                        |                                     |                                                                                                                                                                                                                                                                               |
| <b>LEED</b>                                                                                                                                                                                                                                                                                                                                                                                                              |                                        |                                     |                                                                                                                                                                                                                                                                               |
| <b>Leadership in Energy &amp; Environmental Design (LEED), or Equivalent,</b>                                                                                                                                                                                                                                                                                                                                            |                                        |                                     |                                                                                                                                                                                                                                                                               |
| LEED Certified                                                                                                                                                                                                                                                                                                                                                                                                           | 8                                      |                                     | Application: Provide a description of specific LEED certification sought (e.g., for Building Design & Construction, for Building Operations & Maintenance), as well as level (e.g., Certified, Silver, Gold, or Platinum) and how the applicant intends to meet requirements. |
| LEED Silver                                                                                                                                                                                                                                                                                                                                                                                                              | 10                                     |                                     |                                                                                                                                                                                                                                                                               |
| LEED Gold                                                                                                                                                                                                                                                                                                                                                                                                                | 12                                     |                                     |                                                                                                                                                                                                                                                                               |
| LEED Platinum                                                                                                                                                                                                                                                                                                                                                                                                            | 15                                     |                                     |                                                                                                                                                                                                                                                                               |
| <b>Integrated Energy Efficiency</b>                                                                                                                                                                                                                                                                                                                                                                                      | <b>-OR-</b>                            |                                     |                                                                                                                                                                                                                                                                               |
| <b>Water Efficiency (fixtures).</b> *ABCWUA Watersmart Application (Install high efficiency WaterSense-labeled fixtures and water efficient equipment);                                                                                                                                                                                                                                                                  | 3                                      | 3                                   | Application: Submit ABCWUA Water Smart CPR application<br>Building Permit: Approved ABCWUA Water Smart CPR application                                                                                                                                                        |
| <b>Water Efficiency (landscape).</b> *ABCWUA Xeriscape rebate application (at                                                                                                                                                                                                                                                                                                                                            | 3                                      | 3                                   | Application: Submit ABCWUA Xeriscape rebate application (requires inspection)                                                                                                                                                                                                 |
| <b>Shift to Electric.</b> <u>Residential</u> units do not include gas hookups (i.e., no gas                                                                                                                                                                                                                                                                                                                              | 3                                      | 3                                   | Application: Narrative description                                                                                                                                                                                                                                            |
| <b>Cool/Permeable Parking.</b> Project includes cool surface treatments, such as cool pavements, or surface parking is permeable or porous pavement, gravel or another permeable surface. Handicap spaces are exempt from permeable surface material requirements to meet ADA requirements. For parking structures, cool treatment is applied to surface parking/top level of parking garage or green roof is installed. | 3                                      |                                     | Application: Detailed site plan for the parking lot showing pavement material<br>Building Permit: Confirm site plan                                                                                                                                                           |
| <b>Green Spaces.</b> Landscaping or usable open space is at least 20% above required IDO requirements; OR rooftop garden covers at least 15% of rooftop area.                                                                                                                                                                                                                                                            | 3                                      | 3                                   | Application: Detailed landscape plan showing pavement materials, along with number, location and coverage of plantings; OR Roof plan showing measurements of total and green roof area.<br>Building Permit: Confirm landscape and site plan <b>NEED G-100</b>                 |
| Maximum Points for Subcategory                                                                                                                                                                                                                                                                                                                                                                                           | 15                                     | 12                                  |                                                                                                                                                                                                                                                                               |
| <b>Sustainable Development Patterns</b>                                                                                                                                                                                                                                                                                                                                                                                  |                                        |                                     |                                                                                                                                                                                                                                                                               |
| <b>Encourages Alternative Transportation.</b> Project cannot provide more                                                                                                                                                                                                                                                                                                                                                | 5                                      | 5                                   | Application: Site plan with parking calculations and dedicated rideshare loading space;                                                                                                                                                                                       |
| <b>On-Site Electric Vehicle Charging Stations.</b> For projects less than 100                                                                                                                                                                                                                                                                                                                                            | 3                                      | 3                                   | Application: Narrative statement                                                                                                                                                                                                                                              |

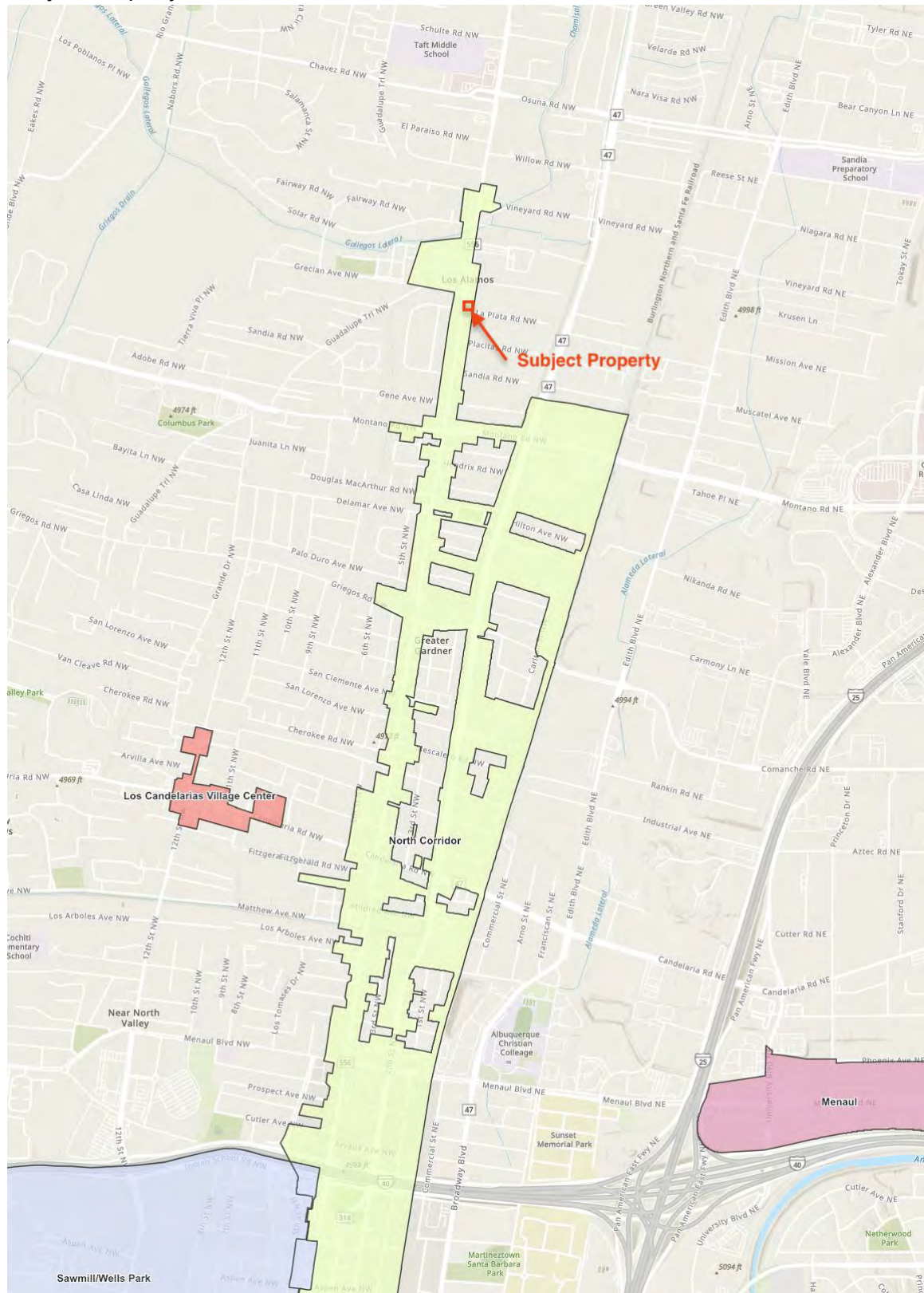
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                      |                        |                                                                                                                                                                                                                                                             |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Maximum Points for Subcategory</b>                                                                                                                                                                                                                                                                                                                                                                                                                                               | <b>8</b>             | <b>8</b>               |                                                                                                                                                                                                                                                             |
| <b>Total Available Points for Category</b>                                                                                                                                                                                                                                                                                                                                                                                                                                          | <b>40</b>            | <b>20</b>              |                                                                                                                                                                                                                                                             |
| <b>Placemaking: Projects that preserve and protect neighborhood</b>                                                                                                                                                                                                                                                                                                                                                                                                                 | <b>Available per</b> | <b>(fill in white)</b> | <b>Additional information required to qualify for points, submitted at:</b>                                                                                                                                                                                 |
| <b>Historic Preservation.</b> <i>If applicable.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                 |                      |                        |                                                                                                                                                                                                                                                             |
| Project protects and preserves historic structures, districts, sites, objects, or                                                                                                                                                                                                                                                                                                                                                                                                   | 7                    |                        | Application: Documentation of historic registration and description of how the asset will                                                                                                                                                                   |
| Project preserves historically or culturally significant signage, exterior                                                                                                                                                                                                                                                                                                                                                                                                          | 3                    |                        | Application: Narrative statement                                                                                                                                                                                                                            |
| <b>Maximum Points for Subcategory</b>                                                                                                                                                                                                                                                                                                                                                                                                                                               | <b>10</b>            | <b>0</b>               |                                                                                                                                                                                                                                                             |
| <b>Enhanced Streetscape</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                      |                        |                                                                                                                                                                                                                                                             |
| <b>Minimum Setback.</b> Building structure or outdoor seating area edge (if                                                                                                                                                                                                                                                                                                                                                                                                         | 5                    |                        | Application: Provide site plan/landscape plan                                                                                                                                                                                                               |
| <b>Streetscape Improvements.</b> Project includes at least <u>two</u> improvements to increase walkability and the pedestrian urban experience, such as the following:<br>1. Widened sidewalks by at least 2-feet above IDO minimum<br>2. Urban furniture components with public access (e.g., benches, chairs, etc.)<br>3. Pedestrian-scale lighting along sidewalk<br>4. Parking is located in rear of building<br>5. Other streetscape amenity or improvement as approved by MRA | 5                    | 5                      | Application: Provide site plan/landscape plan and include description of which streetscape improvements are being met. Request more instructions from MRA staff for earning increased landscaping points<br>Building Permit: Confirm on site/landscape plan |
| <b>Maximum Points for Subcategory</b>                                                                                                                                                                                                                                                                                                                                                                                                                                               | <b>10</b>            | <b>5</b>               |                                                                                                                                                                                                                                                             |
| <b>Culture, Art &amp; Community.</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                |                      |                        |                                                                                                                                                                                                                                                             |
| Project includes a mural that is at least 64 square feet that is within prominent                                                                                                                                                                                                                                                                                                                                                                                                   | 5                    |                        | Application: Provide site plan                                                                                                                                                                                                                              |
| Project includes a significant artistic feature such as a sculpture, artistic lighting,                                                                                                                                                                                                                                                                                                                                                                                             | 5                    |                        | Application: Provide site plan                                                                                                                                                                                                                              |
| Project includes a meeting or gathering space that is available to the public or                                                                                                                                                                                                                                                                                                                                                                                                    | 5                    |                        | Application: Provide site plan and explanation of IDO usable open space minimum                                                                                                                                                                             |
| <b>Maximum Points for Subcategory</b>                                                                                                                                                                                                                                                                                                                                                                                                                                               | <b>15</b>            | <b>0</b>               |                                                                                                                                                                                                                                                             |
| <b>Rooftop or Elevated Deck.</b> Project includes an outdoor deck on the second floor or higher. Deck must be at least 500 square feet. Deck must be available for use by public patrons such as hotel guests/restaurant or bar patrons/office users (dependent on building type). Rooftop decks available exclusive for residential users does not qualify.                                                                                                                        | 5                    |                        | Application: Provide site plan/landscape plan<br>Building Permit: Confirm on site/landscape plan                                                                                                                                                            |
| <b>Maximum Points for Subcategory</b>                                                                                                                                                                                                                                                                                                                                                                                                                                               | <b>5</b>             | <b>0</b>               |                                                                                                                                                                                                                                                             |
| <b>Safety and Security.</b> Project incorporates Crime Prevention Through Environmental Design (CPTED) principles: <u>Natural Surveillance</u> - Encourage "eyes everywhere" by shaping the environment to allow easy visibility; <u>Territorial Reinforcement</u> - Establish boundaries to promote ownership and protection; <u>Access Control</u> - Limit entry and egress points; <u>Maintenance and Management</u> - Keep the environment safe and well-maintained.            | 5                    | 5                      | Application: Provide site plan and narrative (APD review of site plan at application)<br>Building Permit: Confirm on site plan, architecture plans <b>P5 Site Plan</b>                                                                                      |
| <b>Maximum Points for Subcategory</b>                                                                                                                                                                                                                                                                                                                                                                                                                                               | <b>5</b>             | <b>5</b>               |                                                                                                                                                                                                                                                             |
| <b>Total Available Points for Category</b>                                                                                                                                                                                                                                                                                                                                                                                                                                          | <b>45</b>            | <b>10</b>              |                                                                                                                                                                                                                                                             |
| <b>TOTAL POINTS FOR ALL CATEGORIES</b>                                                                                                                                                                                                                                                                                                                                                                                                                                              | <b>120</b>           | <b>47</b>              |                                                                                                                                                                                                                                                             |
| <b>BONUS POINTS</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                      |                        |                                                                                                                                                                                                                                                             |
| <b>Bonus Points for Residential Developments</b>                                                                                                                                                                                                                                                                                                                                                                                                                                    | <b>Available per</b> | <b>Applicant</b>       | <b>Additional information required to qualify for points, submitted at:</b>                                                                                                                                                                                 |
| <b>Universal Design Standards.</b> More than 20% of the units meet universal                                                                                                                                                                                                                                                                                                                                                                                                        | 5                    |                        | Application: Project narrative, provide site plan/building drawings with notes                                                                                                                                                                              |
| <b>Activates Neighborhood.</b> Project reactivates or removes a structure that has                                                                                                                                                                                                                                                                                                                                                                                                  | 5                    |                        | Application: Narrative statement                                                                                                                                                                                                                            |

|                                                                             |          |                     |                                                                |
|-----------------------------------------------------------------------------|----------|---------------------|----------------------------------------------------------------|
| Adds Missing-Middle Housing. Project adds housing to an urban infill lot of | 5        | 5                   | Application: Narrative statement                               |
| TOTAL AVAILABLE BONUS POINTS                                                | 15       | 5                   |                                                                |
|                                                                             |          |                     |                                                                |
|                                                                             | Required | Total Points Earned | Minimum Required Points = 30%(Total Points for all Categories) |
| TOTAL POINTS                                                                | 40       | 52                  |                                                                |



## MRA Area Map - North Corridor

Subject Property: NEC 4th St. & La Plata Rd. NW





| Table 5-6-1: Minimum Plant Sizes |                                                                                 |
|----------------------------------|---------------------------------------------------------------------------------|
| Plant material type (ANSI types) | Minimum size                                                                    |
| Deciduous Street Trees           | 2 in. caliper 6 in. above grade                                                 |
| Deciduous Accent Trees           | 1.5 in. caliper 6 in. above grade or 6 ft. in height                            |
| Evergreen Tree                   | 6 ft. in height                                                                 |
| Multi-trunk Tree                 | Minimum 2 trunks with a combined caliper of 2 in.                               |
| Shrubs                           | 1 gallon container size                                                         |
| Ground cover and turf            | Adequate to provide general ground cover within 1 growing season after planting |

GENERAL ZONING NOTES:

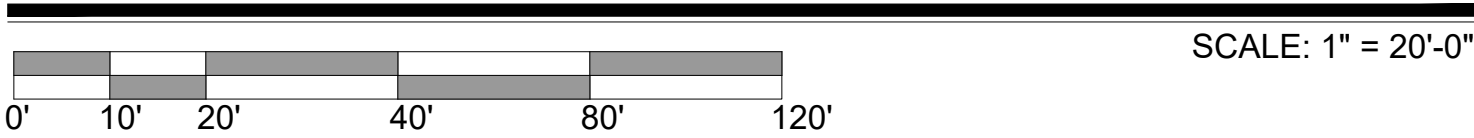
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).
- ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.
- BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
- RECESS WINDOWS 2 INCHES
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.
- ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.
- PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.
- SF BROWN GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.
- IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.
- NO PARKING SPACE SHALL BE MORE THAN 50'-0" FROM A TREE TRUNK.
- TREE CANOPY COUNTS TOWARD 75% OF REQUIRED GROUND COVER FOR LANDSCAPE AREAS UP TO 100SF.
- CLEAR SITE TRIANGLE IS SUBJECT TO APPROVAL OF THE CITY OF ALBUQUERQUE TRANSPORTATION DEPARTMENT
- LOCATION, QUANTITY AND HEIGHT OF LANDSCAPING IS SUBJECT TO THE APPROVAL OF THE CITY OF ALBUQUERQUE ZONING DEPARTMENT

- TO - TEXAS RED OAK - QUERCUS BUCKLEY - 8'-10' - 8EA
- PL - PURPLE LEAF PLUM - PRUNIS EDULIS - 1 1/2" CALIPER - 6EA
- A - ARIZONA ASH - CHRYSOTHAMUS NAUSEOSUS - 1 1/2" CALIPER - 9EA
- BG - BEAR GRASS - NOLINA MACROCARPA - 5 GAL
- AS - AUTUNM CHERRY SAGE - SALVIA GREGGII - 5 GAL
- BS - BLUE MIST SPIREA - CARYOPTERIS CLANDONENSIS - 5 GAL
- SB - SPANISH BROOM - CYSTIUS PURGANS - 5 GAL
- SG - SWITCH GRASS - PANICUM VIRGATUM - 5 GAL
- MNS - MAY NIGHT SAGE- SALVIA NEMOROSA - 5 GAL
- BLB - BLAZE BLUETEM - SCHIZACHRIUM COPARIUM - 5 GAL

GRAVEL MULCH

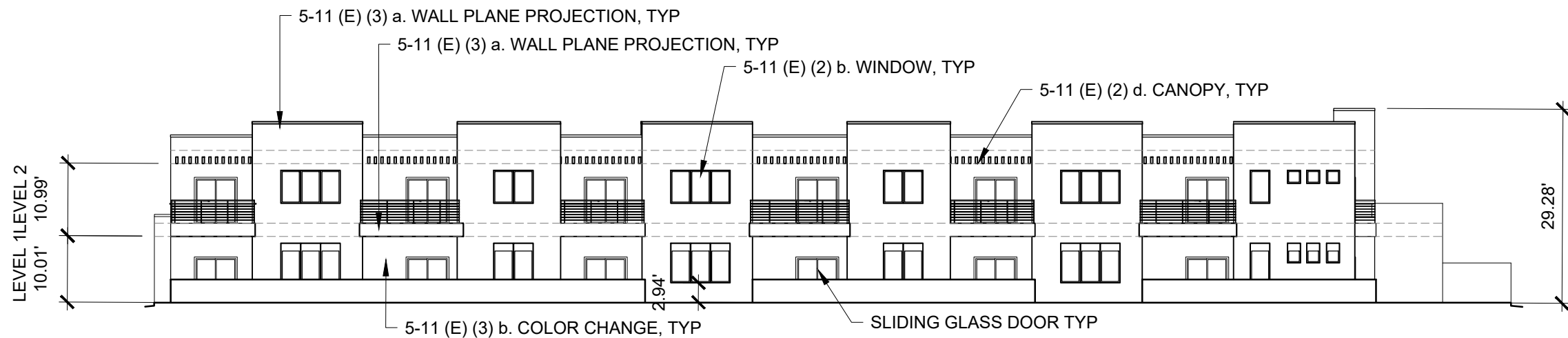


SITE PLAN



KEYED NOTES

- NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- 8 SPACE BIKE RACK, REF DETAIL THIS SHEET
- MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- EXISTING FIRE HYDRANT
- IRRIGATION BOX
- NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- FIRE DEPT. CONNECTION
- HC PARKING SYMBOL
- 6" CMU WALL
- CURB, REF DETAIL THIS SHEET
- EXISTING PROPERTY LINE
- VEHICULAR GATE
- EXISTING POWER POLE.
- KNOX BOX
- CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- EXISTING CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2418, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- ELECTRIC CHARGING STATION
- REFUSE CONTAINER, REF DETAIL THIS SHEET
- RECYCLING CONTAINER, REF DETAIL THIS SHEET
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING C.
- EXISTING 6" PUE
- 15" MAX SETBACK PER IDO
- EXISTING STORM WATER CURB INLET
- NEW RETAINING WALL W/ 3'-6" GUARDRAIL CAP
- EXISTING TRAFFIC SIGNAL
- EXISTING TELECOM BOX
- EXISTING TRANSFORMER
- EXISTING TRAFFIC CONTROL VAULT
- NEW 6" CMU WALL
- EXISTING CURB
- BUILDING ENTRANCE
- PUBLIC BENCH



WEST ELEVATION

SCALE: 1" = 20'-0"



ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER



AREA MAP

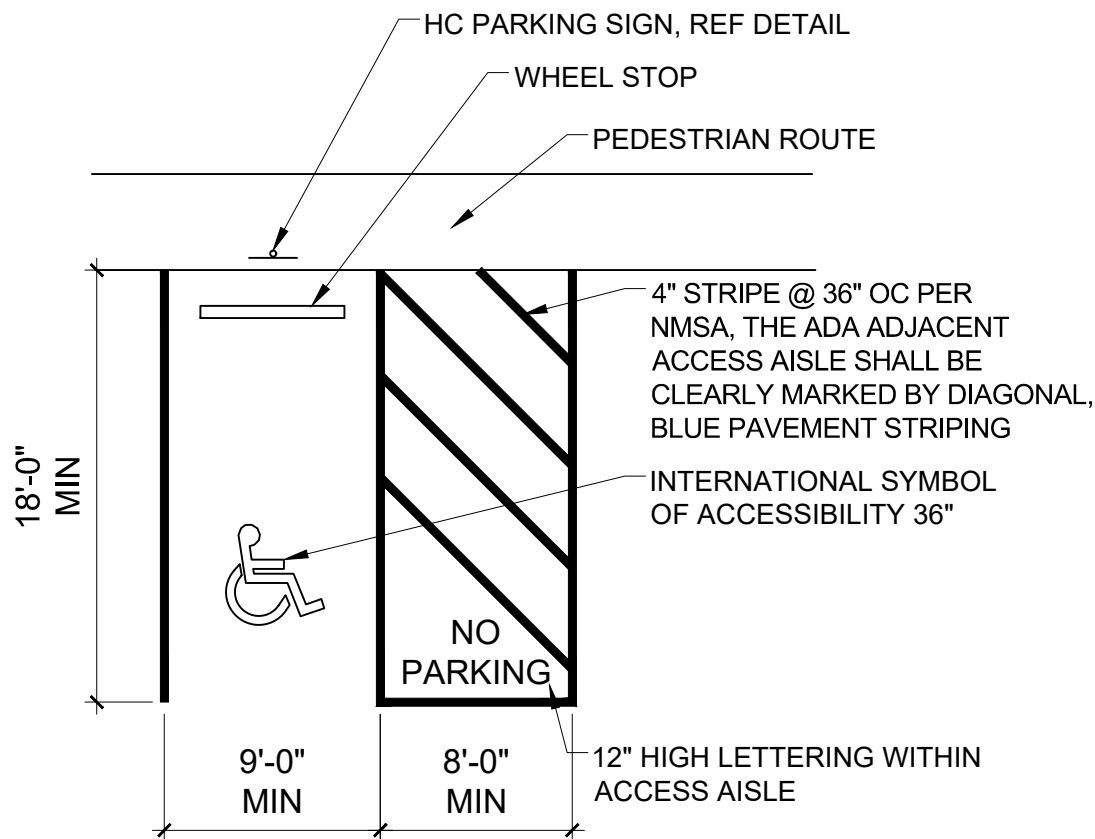
SCALE: NTS

|                                                                                                                                                                                                                                                                                    |               |              |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|--------------|
| No                                                                                                                                                                                                                                                                                 | Revision Item | Date         |
|                                                                                                                                                                                                                                                                                    |               |              |
|                                                                                                                                                                                                                                                                                    |               |              |
| <div><div></div><div><p><b>SCOTT C. ANDERSON</b><br/>&amp; associates architects<br/>2818 4th St NW, Suite C Albuquerque NM 87107<br/>scott@scarchitects.com<br/>505.401.7575</p></div></div> |               |              |
| LA PLATA APARTMENTS<br>6000 4TH ST NW<br>ALBUQUERQUE, NM 87107                                                                                                                                                                                                                     |               |              |
| DRAWING TITLE                                                                                                                                                                                                                                                                      |               |              |
| ZONING CODE ANALYSIS PLAN                                                                                                                                                                                                                                                          |               |              |
| SEAL                                                                                                                                                                                                                                                                               | DESIGNED      | PROJECT NO   |
|                                                                                                                                                                                               | DRAWN         | SCALE        |
|                                                                                                                                                                                                                                                                                    | CHECKED       | DRAWING NO   |
|                                                                                                                                                                                                                                                                                    | REVIEWED      | <b>G-100</b> |
|                                                                                                                                                                                                                                                                                    | DATE          |              |
| 4/26/2025                                                                                                                                                                                                                                                                          |               |              |



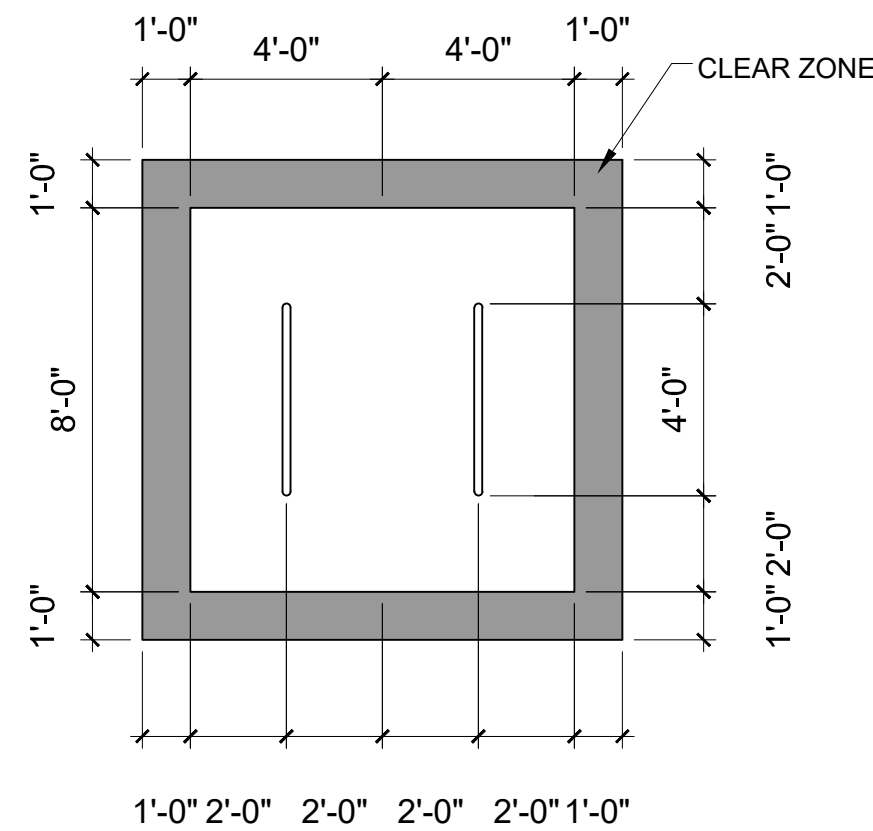
## HC SIGN

SCALE: NTS



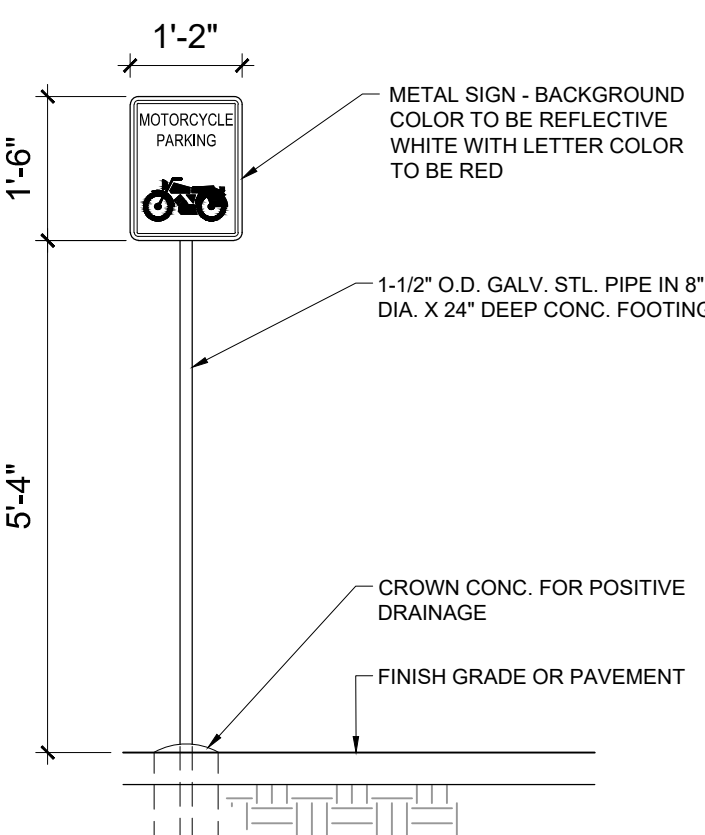
## ADA PARKING

SCALE: 3/8" = 1'-0"



## BIKE PARKING

SCALE: 1/4" = 1'-0"

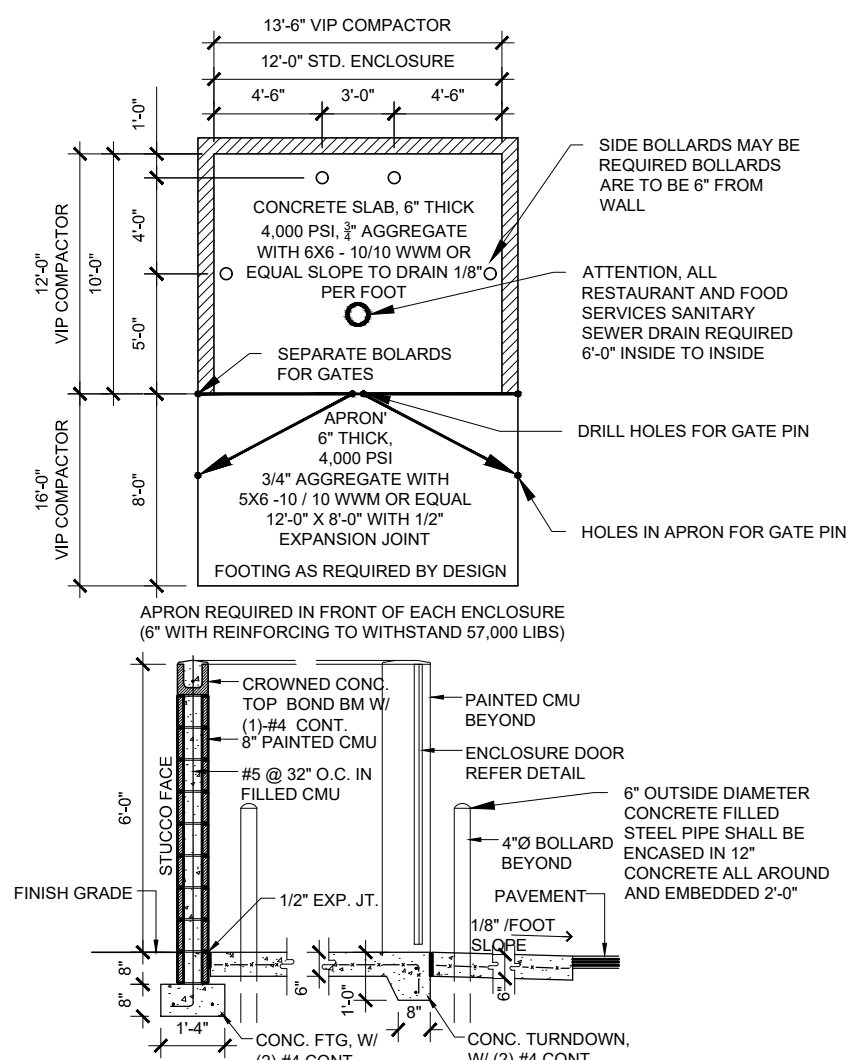


## MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"

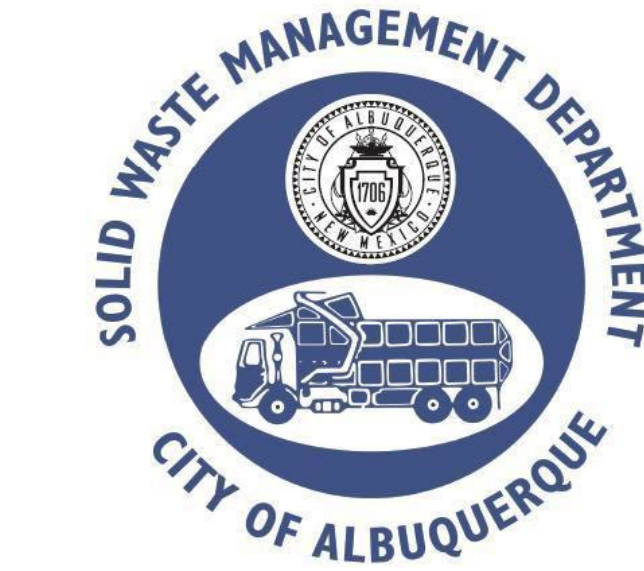
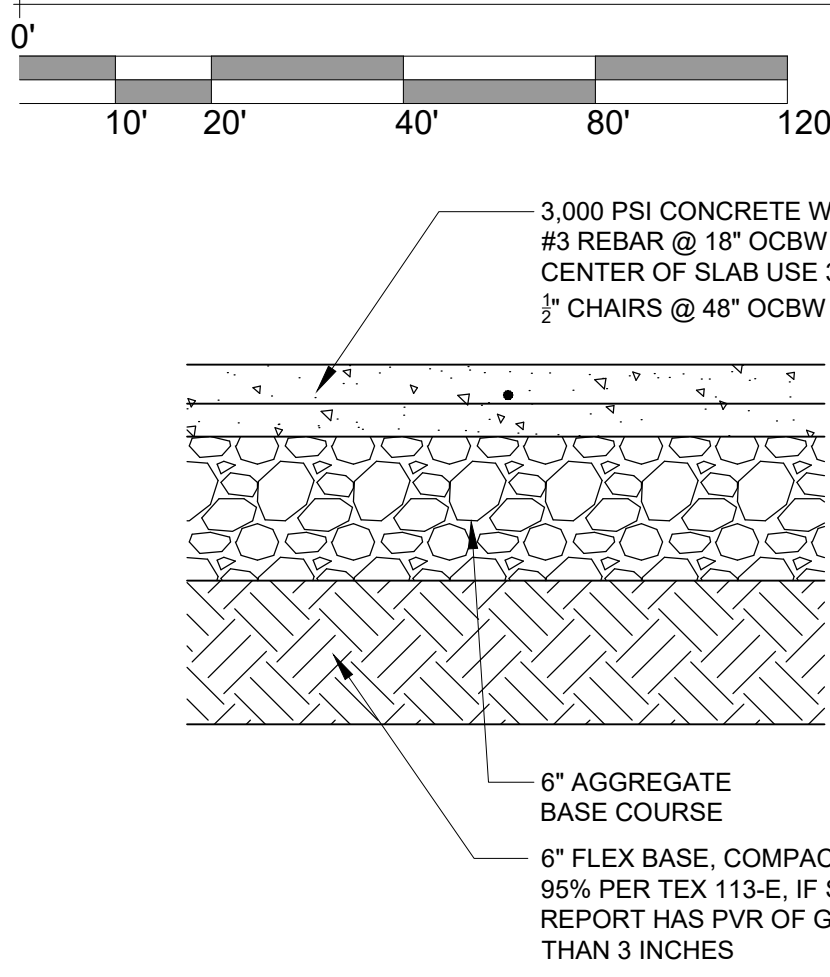
## REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"



## SITE PLAN

SCALE: 1" = 20'-0"



Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up

between the hours of 7AM and 8PM.

Reviewer: *Herman Gallegos*

Date: 08-12-24

**\*\*Hazard Route Only\*\***

**\*\*24-Units\*\***

**\*\*Staff will place recycle carts on La Plata by 7AM on day of service, and will remove from the curb 24-hours after service.\*\***

**\*\*Gates will open simultaneously, and open by keypad\*\***

**\*\*See Solid Waste Notes\*\***

## LOW ALBEDO PAVING SECTION

SCALE: NTS

### KEYED NOTES

1. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
2. 8 SPACE BIKE RACK, REF DETAIL THIS SHEET
3. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
4. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
5. EXISTING FIRE HYDRANT
6. IRRIGATION BOX
7. NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
8. FIRE DEPT. CONNECTION
9. HC PARKING SYMBOL
10. 6" CMU WALL
11. CURB, REF DETAIL THIS SHEET
12. EXISTING PROPERTY LINE
13. VEHICULAR GATE
14. EXISTING POWER POLE
15. KNOX BOX
16. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. EXISTING CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2418, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
17. EXISTING 6" PUE
18. EXISTING STORM WATER CURB INLET
19. NEW RETAINING WALL W/ 3'-6" GUARDRAIL CAP
20. EXISTING TRAFFIC SIGNAL
21. EXISTING TELECOM BOX
22. EXISTING TRANSFORMER
23. EXISTING TRAFFIC CONTROL VAULT
24. NEW 6" CMU WALL
25. EXISTING CURB
26. RECYCLING CONTAINER PICKUP LOCATION

### SOLID WASTE NOTES:

THE DEVELOPMENT IS GATED. SOLID WASTE WILL HAVE 24 HOUR ACCESS TO THE REFUSE CONTAINER AND WILL BE PROVIDED WITH A GATE OPENER.

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS NO FOOD SERVICE FOR THIS PROJECT.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.

THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.

THE PRESSURE GAUGE TO OPEN THE GATES UPON EXITING SHALL BE POSITIONED AT A MIN OF 22 FEET NORTH OF WHERE THE GATES MEET.

UPC: 101406150849411301

LEGAL: LOT 32 LOS ALAMOS ADDITION

ZONING: MX-T (UC-MS-PT) (CPO 9)

ZONE ATLAS PAGE: F-14

GROSS LOT AREA = 0.7084 AC = 30,858 SF

BUILDING FOOTPRINT = 9,940 SF

NET LOT AREA = 20,918 SF

REQUIRED LANDSCAPE AREA @ 15% = 3,138SF ; 6,281 SF PROVIDED

### PARKING:

MULTI-FAMILY

1 BEDROOM: 24 EACH X 1 SPACES (UC-MS-PT) = 24 SPACES

24 SPACES X 5% = 1 CHARGING SPACES REQUIRED, 3 PROVIDED

HC REQUIRED: 1 STANDARD, 1 VAN  
MOTORCYCLE PARKING 30 SPACES: 2 SPACES REQUIRED / 3 PROVIDED  
BIKE PARKING 10% OF 24: 3 REQUIRED, 8 SPACES PROVIDED

IDO TABLE 5-1-2 OPEN SPACE:

1 BEDROOM: 24 EA X 225 SF X 0.5 (UC-MS-PT) = 2,700 SF

GRADE LEVEL OPEN SPACE = 8,497 SF PROVIDED

UPPER FLOOR BALCONIES & DECKS = 504 SF PROVIDED

IDO 14-16-4-3(B)(8)(b) 1 TREE REQUIRED PER GROUND FLOOR UNIT = 12 TREES

STREET FRONTAGE 230 FT X TREES 25FT = 10 TREES

TOTAL TREES REQUIRED = 22

TOTAL TREES PROVIDED = 25

MX-T ZONING, UC-MS-PT, CPO 9

FRONT SETBACK: 10FT MIN, 15' MAX (CPO 9)

SIDE SETBACK: 0FT MIN, 15' MAX

REAR SETBACK: 0FT

MAX BUILDING HEIGHT: 30FT

FACADE DESIGN, 14-16-5-11 (E)(2)(b)

2 a. GROUND FLOOR WINDOWS NO HIGHER THAN 30 IN

2 b. WINDOWS PROVIDED ON UPPER FLOORS

2 d. BALCONIES & AWNINGS PROVIDED

3 a. WALL PLANE PROJECTIONS OF AT LEAST 1FT PROVIDED

3 b. COLOR CHANGE PROVIDED

### GENERAL NOTES:

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

ROOFTOP SHALL BE BUILT WITH NECESSARY SOLAR INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO ELECTRICAL CONDUIT AND GEAR AND STRUCTURAL SUPPORT

ALL PARKING LOT PAVING SHALL BE COOL SURFACE TREATMENT

## ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER

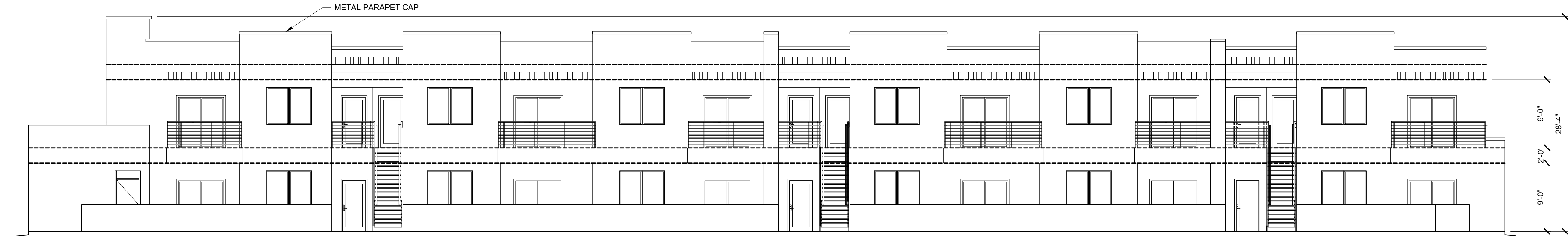


## AREA MAP

SCALE: NTS

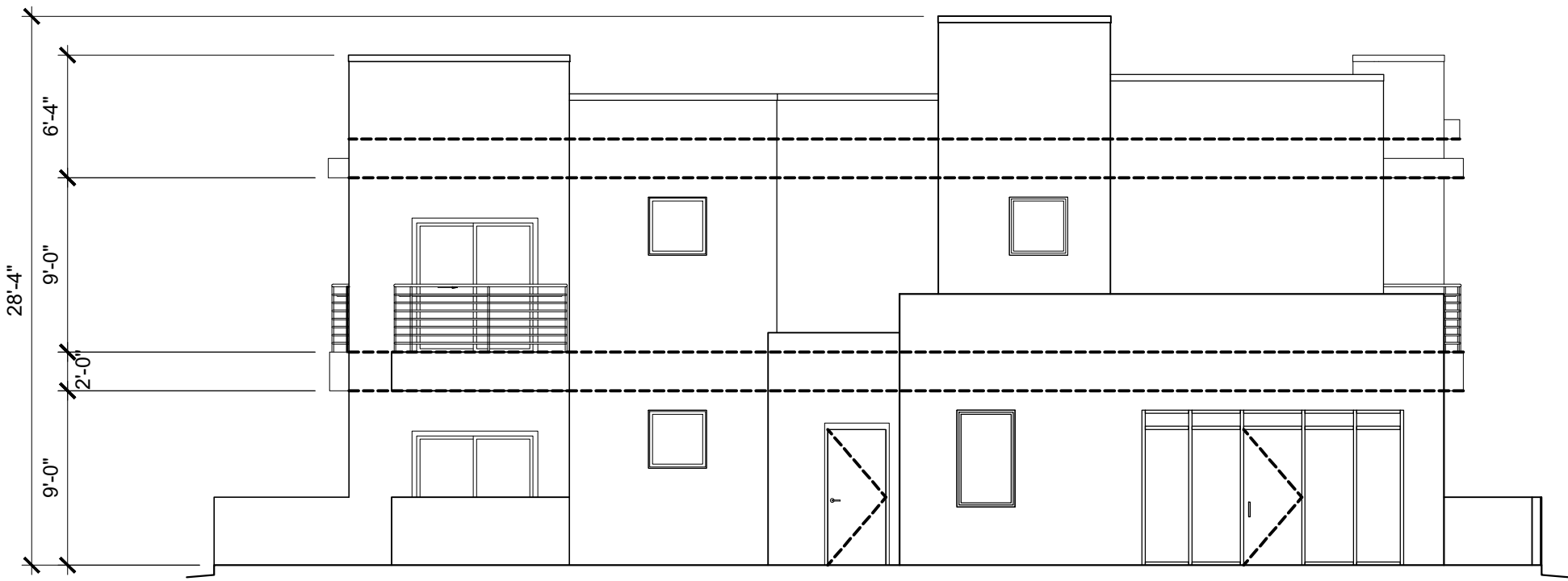
| No                                                                                                                                                                             | Revision | Item         | Date |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|--------------|------|
|                                                                                                                                                                                |          |              |      |
|                                                                                                                                                                                |          |              |      |
|                                                                                                                                                                                |          |              |      |
| <div><div></div><div><b>SCOTT C. ANDERSON &amp; associates architects</b><br/>2818 4th St NW, Suite C Albuquerque NM 87107<br/>scott@scarchitects.com 505.401.7575</div></div> |          |              |      |
| <b>LA PLATA APARTMENTS</b><br>313 LA PLATA RD NW<br>ALBUQUERQUE, NM 87107                                                                                                      |          |              |      |
| DRAWING TITLE                                                                                                                                                                  |          |              |      |
| <b>SITE PLAN</b>                                                                                                                                                               |          |              |      |
| SEAL                                                                                                                                                                           | DESIGNED | PROJECT NO   |      |
|                                                                                                                                                                                | DRAWN    | SCALE        |      |
|                                                                                                                                                                                | CHECKED  | DRAWING NO   |      |
|                                                                                                                                                                                | REVIEWED | <b>A-100</b> |      |
| DATE                                                                                                                                                                           |          | 8/6/2024     |      |





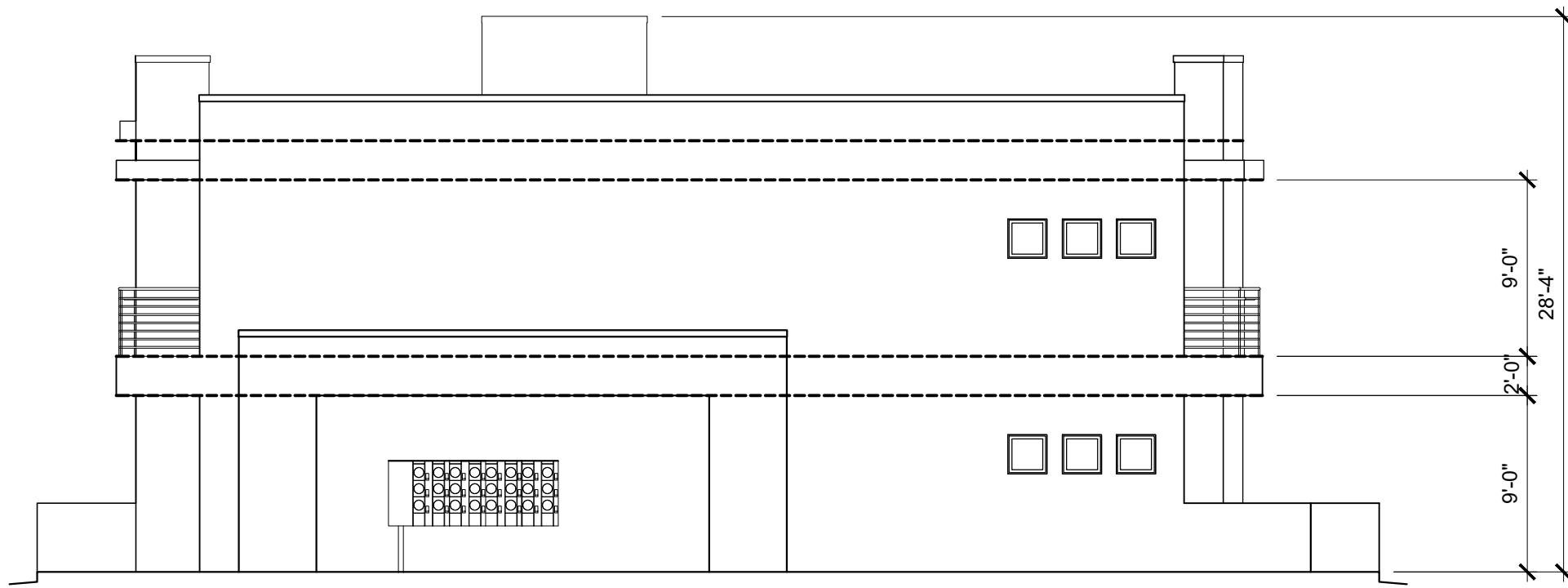
EAST ELEVATION

SCALE: 1/8" = 1'-0"



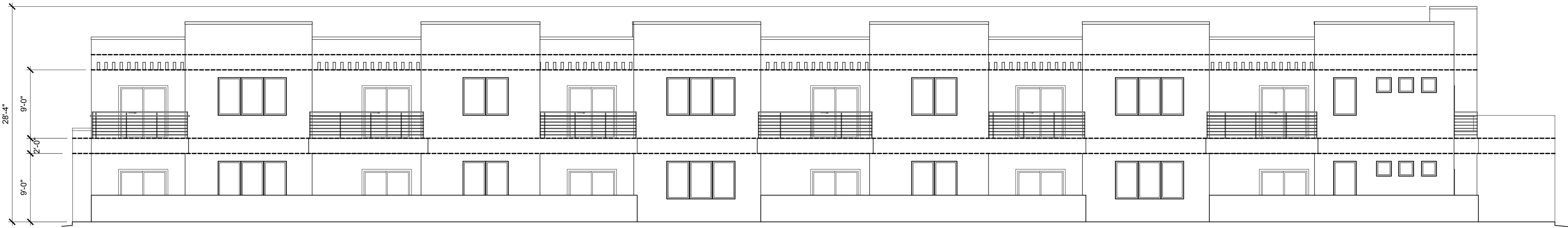
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- SUBMIT MANUFACTURER'S STANDARD COLOR CHART TO OWNER FOR THE SELECTION OF THE STUCCO COLOR.
- STUCCO UNDERLAYMENT TO BE ONE PLY 15LBS, 20PSI, GRADE D. WEATHERLAP EDGES 4 INCHES MIN. ATTACH WITH LARGE HEAD PLASTIC WASHER HEAD SCREWS OR 1 INCH CROWN STAPLES.
- INSTALL 17GA STUCCO NETTING OVER SHEATHING AND UNDERLAYMENT PROVIDING 1 INCH LAP AT ENDS.
- APPLY TWO COAT PORTLAND CEMENT PLASTER IN ACCORDANCE WITH ASTM C926, MANUFACTURER'S INSTRUCTIONS, AND APPLICABLE CODES.
- BROWN COAT TO BE APPLIED WITH A MIN 3/8 INCH THICKNESS WITH SUFFICIENT TROWEL PRESSURE TO KEY PLASTER INTO STUCCO MESH. ROD SURFACE TO A TRUE PLANE. EMBED FIBERGLASS REINFORCEMENT INTO WET BROWN COAT. FLOAT OR LIGHTLY BROOM TO PROVIDE FOR BOND WITH FINISH COAT.
- MOIST CURE FIRST COAT WITH FOG SPRAY OF CLEAR WATER WITH FREQUENT APPLICATIONS TO MAINTAIN PLASTER MOISTURE FOR A MIN OF 48 HOURS FOLLOWING APPLICATION.
- EXTERIOR FINISH COAT TO BE FACTORY MIXED, WATER BASED, ACRYLIC POLYMER COATING WITH GRADED AGGREGATE AND INTEGRAL COLOR. APPLY OVER CURED SCRATCH AND BROWN COATS TO A MIN 1/8 INCH THICKNESS. FINISH TEXTURE AND THICKNESS TO MATCH OWNER APPROVED SAMPLE.

| No | Revision | Item | Date |
|----|----------|------|------|
|    |          |      |      |
|    |          |      |      |
|    |          |      |      |



**SCOTT C. ANDERSON**  
& associates architects  
2618 4th St NW, Suite C Albuquerque NM 87107  
scott@scarchitects.com  
505.401.7575

LA PLATA APARTMENTS  
6000 4TH ST NW  
ALBUQUERQUE, NM 87107

| DRAWING TITLE       |               |            |
|---------------------|---------------|------------|
| BUILDING ELEVATIONS |               |            |
| SEAL                | DESIGNED      | PROJECT NO |
|                     | DRAWN         | SCALE      |
|                     | CHECKED       | DRAWING NO |
|                     | REVIEWED      | A-201      |
|                     | DATE 8/5/2024 |            |



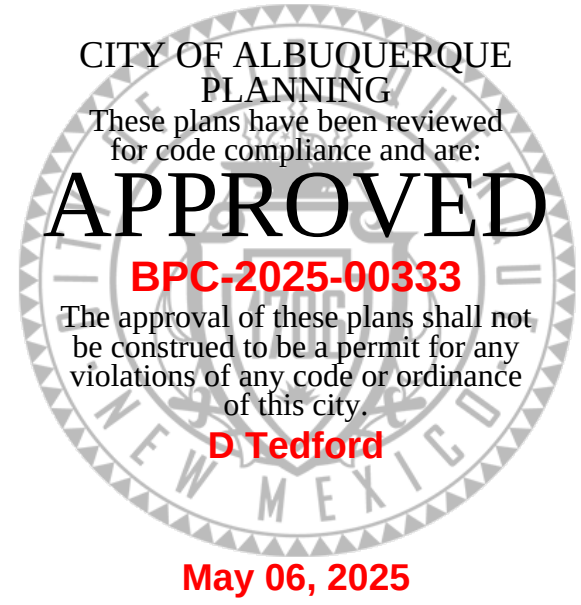
## Construction Schedule

### 6000 4<sup>th</sup> St. NW, Albuquerque, NM 87107

This schedule had been arranged to finish in 6 months, from September 15, 2025 to March 30, 2026.

| Work description                     | Dates                               |
|--------------------------------------|-------------------------------------|
| Site prep and Dirt Work              | September 15 to October 2025        |
| Concrete and Footing                 | October 15 to October 25, 2025      |
| Plumbing Rough in                    | October 5 to October 12, 2025       |
| Framing                              | October 25 to November, 2025        |
| Roof                                 | November 25 to December 5, 2025     |
| Windows and Sliding doors            | November 25 to December 5, 2025     |
| Plumbing top out                     | November 10 to December 15, 2025    |
| Mechanical rough in                  | November 10 to December 15, 2025    |
| Electric rough in                    | November 18 to December 20, 2025    |
| Fire sprinklers                      | November 18 to December 20, 2025    |
| Alarm rough in                       | November 18 to December 20, 2025    |
| Plaster                              | November 1 to December 10, 2025     |
| Insulation                           | December 20 to December 30, 2025    |
| Drywall                              | January 1 <sup>st</sup> to 28, 2026 |
| Interior doors, molding and Shelving | January 18 to February 15, 2026     |
| Painting                             | January 18 to February 15, 2026     |
| Flooring                             | January 18 to February 15, 2026     |
| Cabinets and counter tops            | January 18 to February 15, 2026     |
| Interior touch up, painting          | February 15 to 20, 2026             |
| Units main doors                     | February 15 to 20, 2026             |
| All exterior doors                   | February 15 to 20, 2026             |
| Parking lot preparation              | January 1 <sup>st</sup> to 28, 2026 |
| Front pond rough                     | January 1 <sup>st</sup> to 28, 2026 |
| Trash container                      | January 1 <sup>st</sup> to 28, 2026 |
| Concrete side walk curb and drainage | January 1 <sup>st</sup> to 28, 2026 |
| Landscaping rough in                 | January 10 to February 10, 2026     |
| Landscaping final                    | January 10 to February 10, 2026     |
| Ponds final                          | January 10 to February 10, 2026     |
| Mechanical final                     | February 20 to March 15, 2026       |
| Plumbing final                       | February 20 to March 15, 2026       |
| Electrical final                     | February 20 to March 15, 2026       |
| Fire sprinklers final                | February 20 to March 15, 2026       |
| Fire alarm control final             | February 20 to March 15, 2026       |
| Final Building Inspection            | March 15 to 25, 2026                |
| Fire Marshall Inspection             | March 15 to 25, 2026                |
| Zoning and Hydraulic transportation  | March 15, to 25, 2026               |
| C.O. Inspection                      | May 28, 2026                        |
|                                      |                                     |

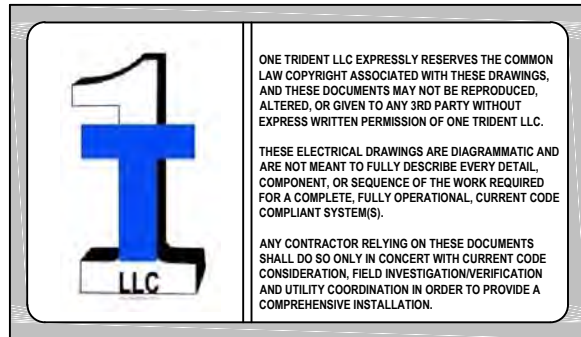
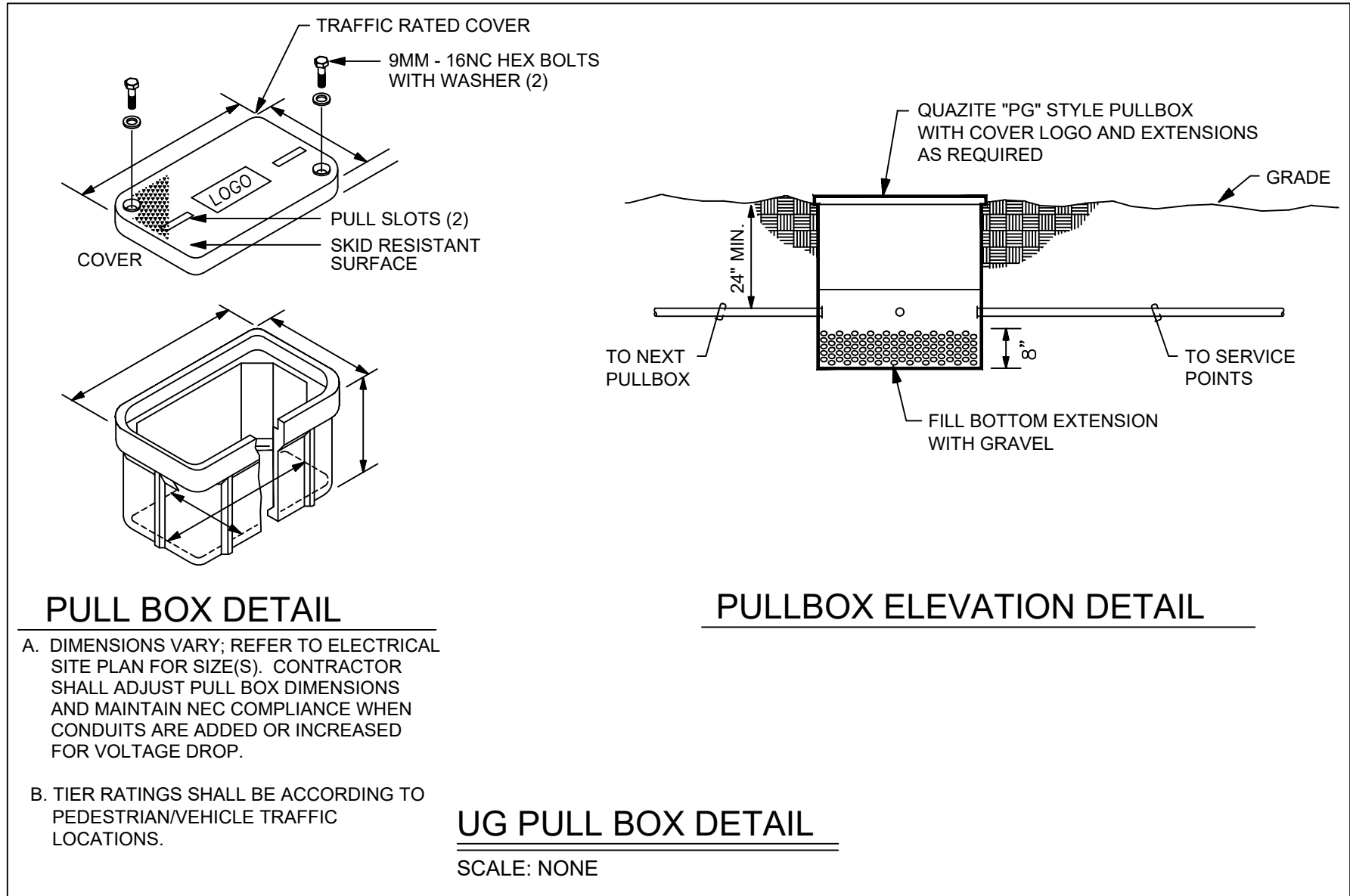
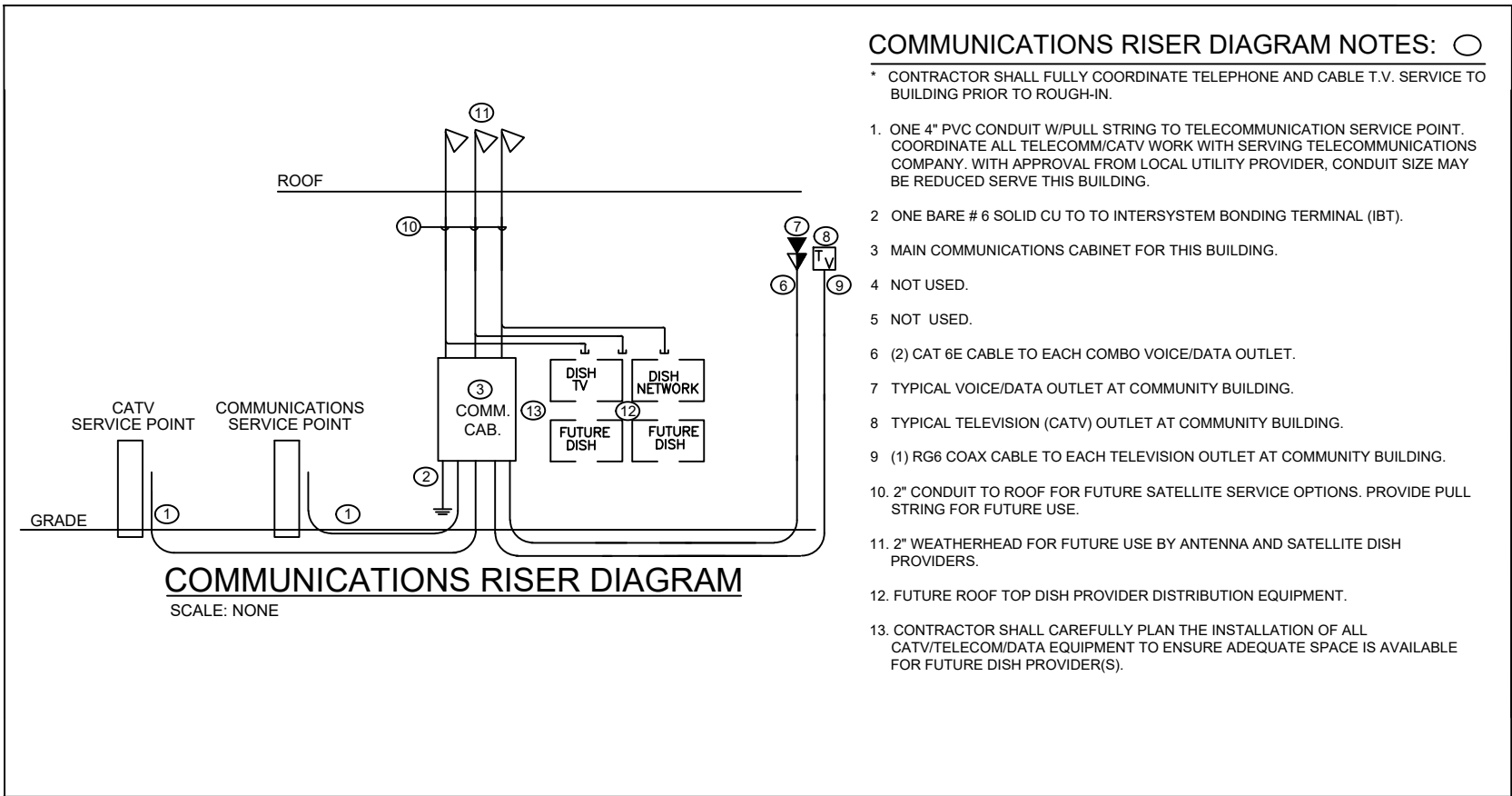




GENERAL NOTES:

A. REFER TO SHEET E-400 FOR FIRE ALARM RISER DIAGRAM AND ADDITIONAL REQUIREMENTS.

- ELECTRICAL KEYED NOTES: ○
- EXISTING 1-PHASE TRANSFORMER - TO REMAIN.
  - EXISTING POWER POLE.
  - NEW 3-PHASE TRANSFORMER AND SERVICE ENTRANCE EQUIPMENT. REFER TO RISER DIAGRAM FOR ADDITIONAL REQUIREMENTS..
  - METERING EQUIPMENT PER PNM REQUIREMENTS. REFER TO RISER DIAGRAM.
  - EXISTING TRAFFIC SIGNAL - TO REMAIN.
  - EXISTING TELECOM BOX - TO REMAIN.
  - EXISTING TRAFFIC CONTROL VAULT- TO REMAIN.
  - WEATHER-PROOF J-BOX SERVING MOTORIZED GATE OPERATOR. EXTEND 1" CONDUIT WITH 2 #6 CU AND 1 #6 CU EGR TO CIRCUIT INDICATED. COORDINATE EXACT LOCATION WITH GATE INSTALLER PRIOR TO ROUGH-IN.
  - WEATHERPROOF JUNCTION BOX FOR DATA COMMUNICATION WITH OPERABLE GATE OPERATOR. EXTEND 1" CONDUIT WITH MULE-TAPE MEASURING PULL-STRING TO MAIN TELE-COM CLOSET. COORDINATE EXACT LOCATION WITH GATE INSTALLER PRIOR TO ROUGH-IN.
  - APPROXIMATE LOCATION OF IRRIGATION TIME-CLOCK. PROVIDE GFCI RECEPTACLE LOCATED PER LANDSCAPE DRAWINGS.
  - WEATHERPROOF GFCI RECEPTACLE WITH AUDIBLE ALARM INSTALLED IN HOT-BOX FOR HEAT-TAPE. VERIFY EXACT LOCATION(S) PRIOR TO ROUGH-IN. EXTEND .75" CONDUIT WITH 2 #10 CU AND 1 #0 CU EGR TO CIRCUIT INDICATED.
  - ELECTRIC VEHICLE CHARGER FBO. INSTALL 50-AMP, 208-VOLT, 1 PHASE, WEATHER RESISTANT RECEPTACLE IN NEMA CONFIGURATION COMPATIBLE WITH OWNER'S EQUIPMENT. ON WALL OR UNISTRUT POST. EXTEND 1" CONDUIT WITH 3 #6 CU AND 1 #6 CU EGR TO PANEL "H".
  - FUTURE EVSE. PROVIDE 17X30 TIER 22 POLYMER CONCRETE PULL-BOX WITH ETCHED LID "ELECTRIC". EXTEND 1" CONDUIT WITH MULE-TAPE PULL-STRING TO HOUSE PANEL.
  - 4" PVC CONDUIT FOR TELEPHONE/DATA UTILITY SERVICE. REFER TO COMMUNICATIONS RISER DIAGRAM FOR ADDITIONAL REQUIREMENTS. COORDINATE EXACT ROUTING AND SERVICE POINT WITH UTILITY PROVIDER PRIOR TO ROUGH-IN.
  - FIRE ALARM POST INDICATOR VALVE RELAY MODULE. EXTEND .75" CONDUIT TO FACP. CONFIRM EXACT LOCATION WITH FIRE SPRINKLER INSTALLER PRIOR TO ROUGH-IN.



|                                                                                       |            |                |                                                                                                                                                    |
|---------------------------------------------------------------------------------------|------------|----------------|----------------------------------------------------------------------------------------------------------------------------------------------------|
| No                                                                                    | Revision   | Item           | Date                                                                                                                                               |
|                                                                                       |            |                |                                                                                                                                                    |
|                                                                                       |            |                |                                                                                                                                                    |
|                                                                                       |            |                |                                                                                                                                                    |
|  |            |                | <b>SCOTT C. ANDERSON<br/>&amp; associates architects</b><br>2818 4th St NW, Suite C Albuquerque NM 87107<br>scott@scarchitects.com<br>505.401.7575 |
| LA PLATA APARTMENTS<br>6000 4TH ST NW<br>ALBUQUERQUE, NM 87107                        |            |                |                                                                                                                                                    |
| DRAWING TITLE<br><br>ELECTRICAL SITE PLAN                                             |            |                |                                                                                                                                                    |
| SEAL                                                                                  | DESIGNED   | PROJECT NO     |                                                                                                                                                    |
|  | DRAWN      | SCALE          |                                                                                                                                                    |
|                                                                                       | CHECKED    | DRAWING NO     |                                                                                                                                                    |
|                                                                                       | REVIEWED   | <b>ES-100</b>  |                                                                                                                                                    |
|                                                                                       | DATE       |                |                                                                                                                                                    |
|                                                                                       | 04-25-2025 | _____ OF _____ |                                                                                                                                                    |



| ELECTRICAL SYMBOL LEGEND                                     |                                                                                                    |        |                                                                                                        |
|--------------------------------------------------------------|----------------------------------------------------------------------------------------------------|--------|--------------------------------------------------------------------------------------------------------|
| (ALL SYMBOLS SHOWN ARE NOT NECESSARILY USED ON THE DRAWINGS) |                                                                                                    |        |                                                                                                        |
| SYMBOL                                                       | DESCRIPTION                                                                                        | SYMBOL | DESCRIPTION                                                                                            |
|                                                              | EXISTING CONDUIT TO BE REMOVED.                                                                    |        | CEILING JUNCTION BOX.                                                                                  |
|                                                              | HOME-RUN CONDUIT.                                                                                  |        | WALL JUNCTION BOX.                                                                                     |
|                                                              | CONDUCTOR TICK MARKS: NEUTRAL, PHASE, SWITCHED, AND GROUND CONDUCTORS RESPECTIVELY.                |        | DUPLEX RECEPTACLE, 18" AFF U.N.O. (#) INDICATES CIRCUIT.                                               |
|                                                              | CAPPED CONDUIT / CONDUIT STUB-OUT.                                                                 |        | GFCI PROTECTED DUPLEX RECEPTACLE. RECEPTACLES WITH TRIP RESET SHALL BE IN READILY ACCESSIBLE LOCATION. |
|                                                              | CONDUIT SEAL.                                                                                      |        | QUADPLEX RECEPTACLE, 18" AFF U.N.O.                                                                    |
|                                                              | ELECTRICAL KEYED NOTE TAG.                                                                         |        | GROUND FAULT CIRCUIT INTERRUPTER (GFCI) DUPLEX RECEPTACLE WITH WEATHER-RESISTANT (WR) COVER.           |
|                                                              | KITCHEN ITEM TAG. SEE KITCHEN EQUIPMENT ELECTRICAL CONNECTION SCHEDULE.                            |        | SPLIT-WIRED OR CONTROLLED DUPLEX RECEPTACLE                                                            |
|                                                              | MECHANICAL UNIT TAG (EXAMPLE: BOILER B-2 INDICATED), SEE MECHANICAL EQUIPMENT SCHEDULE.            |        | CEILING MOUNTED DUPLEX RECEPTACLE.                                                                     |
|                                                              | OWNER FURNISHED, CONTRACTOR INSTALLED.                                                             |        | SPECIAL RECEPTACLE, TYPE AS NOTED.                                                                     |
|                                                              | OVERHEAD PRIMARY ELECTRICAL LINE.                                                                  |        | FLUSH FLOOR MOUNTED DUPLEX RECEPTACLE.                                                                 |
|                                                              | PRIMARY ELECTRICAL UNDERGROUND FEEDER.                                                             |        | ISOLATED GROUND DUPLEX RECEPTACLE                                                                      |
|                                                              | EQUIPMENT GROUND.                                                                                  |        | DUPLEX RECEPTACLE WITH BUILT-IN USB CHARGER OUTLET.                                                    |
|                                                              | ABOVE FINISH FLOOR.                                                                                |        | GANGABLE 3-COMPARTMENT MEDIA CENTER.                                                                   |
|                                                              | ABOVE COUNTER.                                                                                     |        | CABLE TRAY.                                                                                            |
|                                                              | WEATHER-RESISTANT.                                                                                 |        | MULTI-RECEPTACLE RACEWAY (PLUGMOLD).                                                                   |
|                                                              | GROUND FAULT CIRCUIT INTERRUPTER.                                                                  |        | SURFACE MOUNTED PANELBOARD, REFER TO ASSOCIATED PANEL SCHEDULE.                                        |
|                                                              | AUTHORITY HAVING JURISDICTION.                                                                     |        | FLUSH MOUNTED PANELBOARD, REFER TO ASSOCIATED PANEL SCHEDULE.                                          |
|                                                              | SINGLE-POLE WALL SWITCH. SUBSCRIPT DESIGNATES CONTROL OF PARTICULAR LIGHTING FIXTURES.             |        | DISTRIBUTION POWER PANEL, REFER TO ASSOCIATED PANEL SCHEDULE.                                          |
|                                                              | THREE-WAY AND FOUR-WAY SWITCHES, RESPECTIVELY.                                                     |        | DRY-TYPE, STEP-DOWN / STEP-UP TRANSFORMER.                                                             |
|                                                              | WEATHER-RESISTANT SWITCH.                                                                          |        | NON-FUSED DISCONNECT SWITCH, NEMA 3R IF OUTSIDE, AMPS / POLES INDICATED.                               |
|                                                              | KEY-OPERATED SWITCH.                                                                               |        | FUSED DISCONNECT SWITCH, NEMA 3R IF OUTSIDE, AMPS/ POLES / FUSE SIZE INDICATED.                        |
|                                                              | DIMMER SWITCH, 1200W MINIMUM WATTAGE.                                                              |        | MOTOR STARTER.                                                                                         |
|                                                              | MECHANICALLY WOUND TWIST-TIMER SWITCH OR ELECTRONIC TIME SWITCH.                                   |        | COMBINATION MOTOR STARTER/FUSED DISCONNECT SWITCH, NEMA 3R IF OUTSIDE.                                 |
|                                                              | THERMAL SWITCH.                                                                                    |        | MOTOR, HP SIZE AS INDICATED, "F" = FRACTIONAL HORSEPOWER.                                              |
|                                                              | OCCUPANCY SENSOR SWITCH. WATT-STOPPER DUAL.                                                        |        | CLOCK.                                                                                                 |
|                                                              | DUAL-TECHNOLOGY OCCUPANCY DIMMER SWITCH.                                                           |        | COMBINATION CLOCK/SPEAKER UNIT.                                                                        |
|                                                              | DUAL-TECHNOLOGY OCCUPANCY SENSOR WITH FAN DELAY CONTROL.                                           |        | SPEAKER, CEILING MOUNTED                                                                               |
|                                                              | 3-WAY / MULTI-WAY OCCUPANCY SENSOR SWITCH.                                                         |        | SURFACE MOUNTED SOUND SYSTEM SPEAKER.                                                                  |
|                                                              | OCCUPANCY OR VACANCY SENSOR, CEILING MOUNTED                                                       |        | MICROPHONE OUTLET.                                                                                     |
|                                                              | PHOTOCELL.                                                                                         |        | CALL-IN SWITCH (PUSH-TO-CALL) FOR INTERCOM SYSTEM.                                                     |
|                                                              | DAYLIGHT HARVESTING PHOTOSENSOR, CEILING MOUNTED.                                                  |        | THERMOSTAT                                                                                             |
|                                                              | EVAPORATIVE COOLER SWITCH.                                                                         |        | COMBINATION VOICE/DATA OUTLET, UP 18" U.N.O.                                                           |
|                                                              | PADDLE FAN / LIGHT CONTROL SWITCHES. SWITCHES ALLOW INDEPENDENT CONTROL OF FAN SPEED AND LIGHTING. |        | FLUSH CEILING VOICE/DATA OUTLET.                                                                       |
|                                                              | 2X4 LAY-IN LIGHTING FIXTURE (TROFFER), TYPE INDICATED BY LETTER (TYPICAL).                         |        | FLUSH FLOOR VOICE/DATA OUTLET.                                                                         |
|                                                              | "EM" INDICATES LIGHTING FIXTURE IS SUPPLIED WITH AN EMERGENCY BATTERY PACK.                        |        | CATV OUTLET                                                                                            |
|                                                              | 1'X4' SURFACE MOUNTED LIGHTING FIXTURE.                                                            |        | SURVEILLANCE CAMERA. PTZ = PAN, TILT, ZOOM. WEATHER-RESISTANT IF LOCATED ON BUILDING EXTERIOR.         |
|                                                              | 1'X4' RECESSED (FLANGED) MOUNTED LIGHTING FIXTURE.                                                 |        | EMERGENCY PUSH BUTTON.                                                                                 |
|                                                              | 2'X2' LAY-IN LIGHTING FIXTURE (TROFFER).                                                           |        | PROJECTOR.                                                                                             |
|                                                              | UTILITY STRIP FIXTURE.                                                                             |        | DOOR ACCESS CARD READER.                                                                               |
|                                                              | LINEAR PENDANT MOUNTED LIGHTING FIXTURE, LENGTH AS INDICATED.                                      |        | DOORBELL SYSTEM PUSHBUTTON.                                                                            |
|                                                              | 4' WALL BRACKET MOUNTED LIGHTING FIXTURE.                                                          |        | DOORBELL/CHIME.                                                                                        |
|                                                              | WALL BRACKET LIGHTING FIXTURE.                                                                     |        | MAGNETIC DOOR HOLD OPEN DEVICE.                                                                        |
|                                                              | POLE MOUNTED AREA LIGHTING FIXTURE, SINGLE-HEAD.                                                   |        | MAGNETIC DOOR LOCK.                                                                                    |
|                                                              | POLE MOUNTED AREA LIGHTING FIXTURE, DOUBLE-HEAD.                                                   |        | WIRELESS ACCESS POINT.                                                                                 |
|                                                              | RECESSED DOWNLIGHT FIXTURE.                                                                        |        | GAS SOLENOID VALVE FOR KITCHEN AUTO GAS SHUT-OFF.                                                      |
|                                                              | SURFACE MOUNTED DRUM TYPE LIGHTING FIXTURE.                                                        |        | DOOR OPERATOR PUSH-PAD UNIT (ADA COMPLIANT).                                                           |
|                                                              | BOLLARD LIGHTING FIXTURE.                                                                          |        | MAGNETIC DOOR HOLD OPEN DEVICE.                                                                        |
|                                                              | HIGH-BAY LIGHTING FIXTURE.                                                                         |        | MOTION SENSOR FOR SECURITY/INTRUSION ALARM SYSTEM.                                                     |
|                                                              | LOW-BAY LIGHTING FIXTURE.                                                                          |        | SECURITY/INTRUSION ALARM SYSTEM DOOR SWITCH.                                                           |
|                                                              | FLUSH IN-GROUND LIGHTING FIXTURE.                                                                  |        |                                                                                                        |
|                                                              | EXTERIOR WALLPACK LIGHTING FIXTURE.                                                                |        |                                                                                                        |
|                                                              | INTERIOR WALL SCONCE LIGHTING FIXTURE.                                                             |        |                                                                                                        |
|                                                              | EXTERIOR WALL SCONCE LIGHTING FIXTURE.                                                             |        |                                                                                                        |
|                                                              | STEP LIGHT LIGHTING FIXTURE.                                                                       |        |                                                                                                        |
|                                                              | PENDANT HUNG DECORATIVE LIGHTING FIXTURE.                                                          |        | FIRE ALARM DUCT SMOKE DETECTOR.                                                                        |
|                                                              | GOOSENECK MOUNTED LIGHTING FIXTURE.                                                                |        | FIRE ALARM STROBE UNIT.                                                                                |
|                                                              | TRACK MOUNTED LIGHTING ASSEMBLY, ONE FIXTURE HEAD INDICATED.                                       |        | FIRE ALARM AUDIO/STROBE UNIT.                                                                          |
|                                                              | TWIN-EYE EMERGENCY LIGHTING UNIT WITH BATTERY BACK-UP, TYPE "EM", REFER TO LUMINAIRE SCHEDULE.     |        | FIRE PROTECTION SPRINKLER SYSTEM POST INDICATOR VALVE.                                                 |
|                                                              | EXTERIOR EMERGENCY LIGHTING UNIT WITH BATTERY BACK-UP, TYPE "EMEX", REFER TO LUMINAIRE SCHEDULE.   |        | FIRE ALARM SMOKE DETECTOR.                                                                             |
|                                                              | EXIT SIGN, SINGLE FACE INDICATED BY SHADED QUADRANT, TYPE "EMEX", REFER TO LUMINAIRE SCHEDULE.     |        | CEILING MOUNTED FIRE ALARM AUDIO/STROBE UNIT.                                                          |
|                                                              | EXIT SIGN, DOUBLE-FACED, DIRECTIONAL ARROWS INDICATED.                                             |        | FIRE ALARM MANUAL PULL STATION.                                                                        |
|                                                              | COMBO EXIT SIGN/EMERGENCY TWIN-EYE UNIT TYPE "XEM", REFER TO LUMINAIRE SCHEDULE.                   |        | FIRE ALARM CONTROL PANEL (FACP).                                                                       |
|                                                              | PADDLE FAN, WITH OR WITHOUT LIGHT PER LUMINAIRE SCHEDULE.                                          |        | FIRE ALARM REMOTE ANNUNCIATOR (FARA).                                                                  |
|                                                              | J-BOX WITH FLEXIBLE CONDUIT CONNECTION TO LAY-IN LIGHTING FIXTURES.                                |        |                                                                                                        |

## IECC ELECTRICAL & LIGHTING COMPLIANCE

THE ELECTRICAL DESIGN ILLUSTRATED BY THESE PLANS AND SPECIFICATIONS IS IN COMPLIANCE WITH THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE SECTION(S) C405, C408, C501-5, CB103.3, CB103.8, R402.4.5, R402.4.6, R404, R501-5, AND R502 AS SPECIFICALLY APPLICABLE TO THIS PROJECT AS FOLLOWS:

- C405.2 - LIGHTING CONTROLS (MANDATORY)
  - REFER TO LIGHTING PLAN(S) AND/OR DETAIL(S) FOR PROJECT REQUIREMENTS.
- C405.3 - INTERIOR LIGHTING POWER REQUIREMENTS
  - TABLE C405.3.2(1)  
  
ALLOWABLE INTERIOR POWER FOR THIS PROJECT IS: 368 WATTS  
ACTUAL INTERIOR POWER IS: 317 WATTS
  - R404.1 - RESIDENTIAL LIGHT FIXTURE(S) SHALL CONTAIN ONLY HIGH-EFFICACY LIGHTING SOURCES. LIGHTING CONTROLS SHALL COMPLY WITH R404.2.

- C405.5 - EXTERIOR LIGHTING POWER REQUIREMENTS (MANDATORY)

- TABLE C405.5.2(1)  
- THIS PROJECT IS IN LIGHTING ZONE # 2 .

- TABLE C405.5.2(2)  
- BASE SITE ALLOWANCE: 400W  
- PARKING AREAS AND DRIVES: 0.04 W/FT  
- WALKWAYS/RAMPS 10'-0" WIDE: 0.5W/LINEAR FT  
- WALKWAYS/RAMPS 10'-0" WIDE, PLAZA AREAS, SPECIAL FEATURE AREAS: 1.10 W/FT  
- PEDESTRIAN AND VEHICULAR ENTRANCES AND EXITS: 14W/LINEAR FT  
- ENTRY CANOPIES: 0.25W/FT

- TABLE C405.5.2(3)  
- BUILDING FACADES: 0.075W/FT OF GROSS ABOVE-GRADE WALL AREA

- ALLOWABLE EXTERIOR POWER FOR THIS PROJECT IS: 2,424 WATTS  
ACTUAL EXTERIOR POWER IS: 1,775 WATTS

- C405.10 - VOLTAGE DROP IN FEEDERS AND BRANCH CIRCUITS

- REFER TO GENERAL NOTE "P" FOR PROJECT VOLTAGE DROP LIMITATIONS

- C405.11 - AUTOMATIC RECEPTACLE CONTROL (MANDATORY)

- REFER TO POWER PLAN(S) AND/OR DETAILS FOR PROJECT REQUIREMENTS.

- C408.13 - FUNCTIONAL TESTING AND DOCUMENTATION OF LIGHTING CONTROLS

- THE CONTRACTOR OR FACTORY AUTHORIZED COMMISSIONING AGENT SHALL DELIVER TO THE ENGINEER OF RECORD EVIDENCE OF THE LIGHTING CONTROLS HAVING BEEN TESTED AND PERFORMING PROPERLY PRIOR TO OBTAINING FINAL INSPECTION FROM THE AHJ.
- THE CONTRACTOR SHALL DELIVER TO THE OWNER, WITH A COMPLETE COPY DELIVERED TO THE ENGINEER OF RECORD, AS PART OF IT'S CLOSE-OUT PACKAGE, FULLY DETAILED, LEGIBLE, AS-BUILT DRAWINGS AND THE FOLLOWING IN SATISFACTION OF THE ARTICLES REFERENCED HEREIN:
  - C408.3.2.1 – LIGHTING CONTROL DRAWINGS
  - C408.3.2.2 – LIGHTING CONTROL MANUALS
  - C408.3.2.3 – LIGHTING CONTROL REPORT

## PROJECT GENERAL ELECTRICAL NOTES - MULTI-FAMILY

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE (NEC) AND REGULATIONS OF STATE AND LOCAL AUTHORITIES HAVING JURISDICTION (AHJ) IN A NEAT AND WORKMANLIKE MANNER.
- CONTRACTOR SHALL COORDINATE WITH SERVING UTILITY COMPANY NEW SERVICE DEPARTMENT AND OBTAIN A PROJECT SPECIFIC "STANDARDS LETTER" PRIOR TO BIDDING, ORDERING, OR COMMENCING WITH THE ELECTRICAL DISTRIBUTION PORTION OF THIS PROJECT.
- ALL REQUIREMENTS OF THE SERVING UTILITY COMPANY FOR ELECTRICAL SERVICE SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PROVIDING TELEPHONE, CATV, AND INTERNET IN ORDER TO ASCERTAIN JOB SPECIFIC UTILITY REQUIREMENTS AND COMPLIANCE WITH THOSE REQUIREMENTS SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO ENSURE SERVICE TO EACH DEMARCATION.
- BY SUBMITTING A BID, THE CONTRACTOR AFFIRMS THEY HAVE FAMILIARIZED THEMSELVES WITH THE PROJECT SITE, PLANS, SPECIFICATIONS AND ALL APPLICABLE CODES IN ORDER TO PROVIDE A COMPREHENSIVE AND COMPLETE BID.
- ALL DEVICES SHALL BE WHITE WITH COMPATIBLE PLASTIC PLATES, INSTALLED FOR ADA COMPLIANCE UNLESS NOTED OTHERWISE. RECEPTACLES SHALL ALL BE RATED FOR THEIR INTENDED USE AND TAMPER RESISTANT AS REQUIRED BY NEC 406.

REFER TO ARCHITECTURAL SHEETS, ELEVATIONS, ETC. FOR MOUNTING HEIGHTS AND DETAILS OF ALL DEVICES. ADHERE TO ALL ADA AND FAIR-HOUSING REQUIREMENTS.

- ALL TELEPHONE, DATA, CATV LOW VOLTAGE SYSTEMS ARE TO BE INCLUDED IN ELECTRICAL CONTRACTOR'S BID. NOTE: SEPARATE LOW VOLTAGE SYSTEMS PERMITS ARE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.

- UTILIZE "DEEP" 4-SQUARES WHERE REQUIRED TO COMPLY WITH NEC 314.16 EXTRA CONSIDERATION SHALL BE GIVEN TO BOXES SUPPLYING HOME-RUNS.

- MECHANICAL, ELECTRICAL, PLUMBING, AND DRYWALL CONTRACTORS NEED TO HAVE KNOWLEDGE OF BLOWER DOOR TEST AND THEIR REQUIREMENTS TO MEET THAT TEST. SEAL ALL GAPS BETWEEN DRYWALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO ELECTRICAL AND LOW VOLTAGE J-BOXES, PIPE PENETRATIONS, DUCT PENETRATIONS, ETC.

- CONFIRM EXACT ROUGH-IN DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND APPLICABLE KITCHEN/APPLIANCE EQUIPMENT, AND FURNITURE/MILL-WORK PLAN(S). EXTRA CARE SHALL BE EXERCISED IN COORDINATING THE EXACT REQUIREMENT(S) OF SPECIALTY EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, PLUMBING EQUIPMENT, KITCHEN EQUIPMENT, OR PROCESSING EQUIPMENT.

ALL PENETRATIONS IN FIRE RATED WALLS, PARTITIONS, FLOORS, OR CEILINGS SHALL BE SEALED WITH FIRE STOPPING MATERIAL OR OTHER APPROVED METHOD(S) TO MAINTAIN THE FIRE RATED ASSEMBLY (NEC 300.21). REFER TO ARCHITECTURAL DRAWINGS FOR THE LOCATIONS OF WALL AND FLOOR ASSEMBLIES.

ELECTRICAL DEVICES INSTALLATION SHALL COMPLY WITH ACCESSIBILITY (ADA) STATUTE ACC/ANSI 117.1 SECTION 308. SPECIFICALLY: MOUNT APPLICABLE SWITCHES, RECEPTACLES AND ENVIRONMENTAL CONTROLS SO THAT THEY ARE LOCATED WITH THE TOP OF THE DEVICE NO HIGHER THAN 48" ABOVE FINISHED FLOOR (AFF) AND THE BOTTOM OF THE DEVICE NO LOWER THAN 15" AFF.

- CONTRACTOR TO SAW-CUT / REMOVE / PATCH EXISTING ARCHITECTURAL SURFACES INCLUDING BUT NOT LIMITED TO SLABS, WALLS AND ROOFS.

- SHARED NEUTRALS ARE NOT PERMISSIBLE UNLESS NOTED OTHERWISE.

- CONDUCTOR TICK MARKS, WHERE SHOWN, ARE SHOWN FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL CONDUCTORS WHETHER SHOWN OR NOT INCLUDING "TRAVELERS" AND DIMMING CONDUCTORS AS NECESSARY FOR COMPLETELY OPERATIONAL SYSTEMS.

- BRANCH CIRCUITING SHALL BE COPPER WIRE IN MC CABLE UNLESS SPECIFICALLY NOTED OTHERWISE. MINIMUM WIRE SIZE IS #12 AWG. WHEN CONDUIT IS UTILIZED, ALL FITTINGS SHALL BE COMPRESSION TYPE AND COLOR CODING VINYL BANDS IDENTIFYING DIFFERENT SYSTEMS SHALL BE AFFIXED AT EACH BOX, PANELBOARD, AND EVERY ACCESSIBLE 10'-0"

- THE ELECTRICAL CONTRACTOR SHALL INSTALL ALL CONDUIT REQUIRED FOR MECHANICAL SYSTEMS CONTROLS. ALL CONTROLS WIRING SHALL BE INSTALLED AND TERMINATED BY MECHANICAL CONTRACTOR. COORDINATE LOCATION AND ROUTING OF CONTROLS CONDUIT WITH MECHANICAL PLANS AND WITH MECHANICAL SEQUENCE OF CONTROLS.

- ALL PANELS AND DISTRIBUTION BOARDS, NEW/EXISTING SHALL HAVE TYPEWRITTEN DIRECTORIES AND EQUIPMENT I.D. NAMEPLATES UPON COMPLETION OF ANY ELECTRICAL MODIFICATIONS UNDER THIS CONTRACT.

- CONTRACTOR SHALL CONSIDER AND MAKE ADJUSTMENTS IN CONDUIT/WIRE SIZE(S) TO ACCOUNT FOR VOLTAGE DROP PRIOR TO COMMENCING WITH WORK UNDER THIS CONTRACT. VOLTAGE DROP SHALL NOT EXCEED THE FOLLOWING:

FEEDERS = 2% BRANCH WIRING = 3%

ALL WIRING SHALL COMPLY WITH NEC TABLE 310.15(B)(16).

- CONTRACTOR SHALL COMPLY WITH NEC 110.16. AFFIX PERMANENT ARCH-FLASH HAZARD WARNING LABEL(S) ON ALL APPLICABLE ELECTRICAL EQUIPMENT MODIFIED OR INSTALLED UNDER THIS CONTRACT.

- FOR ELECTRICAL DISTRIBUTION SYSTEMS HAVING A MAIN DISCONNECT RATING OF 1,000-AMPS OR MORE, CONTRACTOR SHALL OBTAIN THIRD PARTY OVER-CURRENT PROTECTION STUDY. ALL OVER-CURRENT DEVICES SHALL BE "SET" OR ADJUSTED TO COMPLY WITH COORDINATION STUDY PRIOR TO FINAL COMMISSIONING. A FULL COPY OF THE COMPLETED STUDY ALONG WITH CONTRACTOR'S CERTIFICATION OF COMPLIANCE SHALL BE INCLUDED IN THE PROJECT'S "CLOSE-OUT" DOCUMENTATION.

- ALL EQUIPMENT AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT SHALL BE WARRANTABLE TO BE FREE FROM ANY DEFECT FOR A PERIOD EQUAL TO 1-YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR FINAL ACCEPTANCE BY THE OWNER.

## LUMINAIRE SCHEDULE

| LUMINAIRE SCHEDULE  |               |                         |                                |       |      |       |        |                              |       |        |          |                                             |
|---------------------|---------------|-------------------------|--------------------------------|-------|------|-------|--------|------------------------------|-------|--------|----------|---------------------------------------------|
| LA PLATA APARTMENTS |               |                         |                                |       |      |       |        |                              |       |        |          |                                             |
| TYPE                | MANUFACTURER  | CATALOG NUMBER          | LAMP(S), DRIVER(S), SETTING(S) |       |      |       |        | DESCRIPTION                  | VOLT. | LUMENS | MOUNTING | COMMENTS                                    |
|                     |               |                         | CRI                            | WATTS | TYPE | TEMP. | OUTPUT |                              |       |        |          |                                             |
| A                   | RAB           | CR8+DLTRIMCRLEDFA8R-BNS | 90                             | 24    | LED  | 3500  | MED    | 8" IC RATED DRY/DAMP/WET     | UNV   | 129    | RECESSED |                                             |
| B                   | ROYAL PACIFIC | 4205WH-5CCT             | 90                             | 40    | LED  | 3500  | --     | CEILING FLUSH MOUNT CLOUD    | 120   | 3665   | CEILING  |                                             |
| C                   | ROYAL PACIFIC | 4904-1-BN3              | 80                             | 24    | LED  | 3000  | --     | VANITY LIGHT                 | 120   | 1755   | WALL     |                                             |
| D                   | ROYAL PACIFIC | 8556WH-S-90-3CCT        | 90                             | 15.3  | LED  | 3000  | MED    | CLOSET LIGHT W/ INTEGRAL PIR | 120   | 1050   | CEILING  | INSTALL PER NEC 410.16(c)(1)                |
| F                   | ROYAL PACIFIC | 1046LED-1BN-WT-WC-8     | 90                             | 16    | LED  | 3000  | --     | CEILING FAN W/ LIGHT KIT     | 120   | 1470   | CEILING  | PROVIDE WITH WALL CONTROLLER                |
| G                   | ROYAL PACIFIC | 8117HRA-8568WH-90-3K    | 80                             | 17    | LED  | 3000  | --     | BATHROOM IC WET RECESSED CAN | 120   | 1240   | RECESSED |                                             |
| SE                  | RAB           | SR4L/E                  | 84                             | 21    | LED  | 4000  | MED    | STRIP LIGHT                  | UNV   | 3108   | SURFACE  | BATTERY BACK-UP                             |
| W                   | RAB           | SLIM22-S-30             | 83                             | 30    | LED  | 3000  | --     | WALL PACK W/ INTEGRAL PC     | UNV   | 4833   | WALL     | REFER TO ARCHITECTURAL FOR MOUNTING HEIGHTS |
| WE                  | RAB           | SLIM22-S-30/E           | 83                             | 30    | LED  | 3000  | MED    | WALL PACK W/ INTEGRAL PC     | UNV   | 4833   | WALL     | BATTERY BACK-UP                             |
| WS                  | RAB           | PRT30NWE/PC             | 77                             | 30    | LED  | 4000  | -      | EXTERIOR STAIR LIGHT         | 120   | 3,762  | CEILING  | BATTERY BACK-UP                             |
| WEM                 | RAB           | EMOUT-SCECC-PC          | 70                             | 2.8   | LED  | 4000  | --     | EXTERIOR EMERGENCY EGRESS    | UNV   | 350    | WALL     | BATTERY BACK-UP                             |
| XEM                 | RAB           |                         | -                              | 1.6   | LED  | -     | --     | EMERGENCY EGRESS             | UNV   | -      | SURFACE  | BATTERY BACK-UP                             |
| EM                  | RAB           | EM                      | -                              | 1.8   | LED  | -     | --     | EMERGENCY TWIN-EYE UNIT      | UNV   | -      | SURFACE  | BATTERY BACK-UP                             |
| EMW                 | EVENLITE      | WW-EM-WH-CT             | 7                              | 15    | LED  | -     | --     | EMERGENCY EGRESS             | UNV   | 1,530  | SURFACE  | BATTERY BACK-UP                             |

NOTES:

1. ALL EMERGENCY BALLASTS SHALL BE FACTORY INSTALLED UNLESS SCHEDULED OTHERWISE OR PRIOR APPROVED.

2. ALL FIXTURES SHALL CONFORM TO APPLICABLE CODES INCLUDING BUT NOT LIMITED TO NIGHT SKY ACT(S) AND ENERGY CONSERVATION STATUTES.

3. ANY SUBSTITUTIONS REQUIRE WRITTEN APPROVAL 10 DAYS PRIOR TO BID (ACUTY, CURRENT, AND COOPER INCLUDING THEIR SUBSIDIARIES ARE GENERALLY ACCEPTED EQUALS).

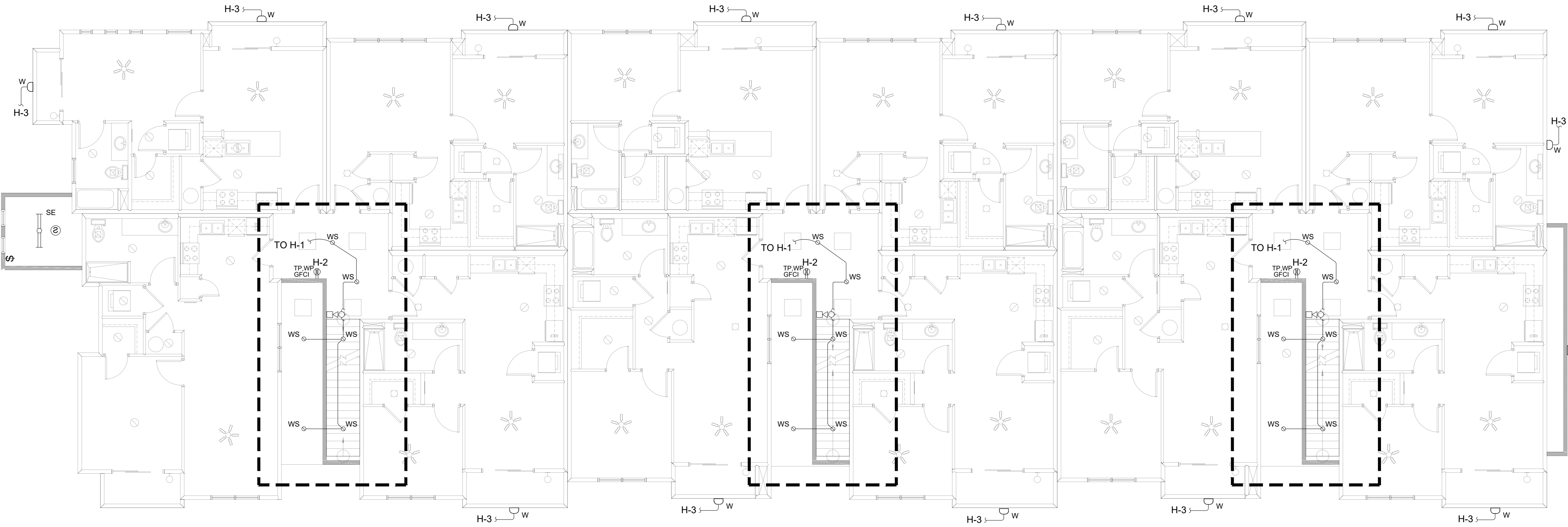
04-2025

- NOTES: 1. ALL EMERGENCY BALLASTS SHALL BE FACTORY INSTALLED UNLESS SCHEDULED OTHERWISE OR PRIOR APPROVED.  
2. ALL FIXTURES SHALL CONFORM TO APPLICABLE CODES INCLUDING BUT NOT LIMITED TO NIGHT SKY ACT(S) AND ENERGY CONSERVATION STATUTES.  
3. ANY SUBSTITUTIONS REQUIRE WRITTEN APPROVAL 10 DAYS PRIOR TO BID (ACUITY, CURRENT, AND COOPER INCLUDING THEIR SUBSIDIARIES ARE GENERALLY ACCEPTED EQUALS).

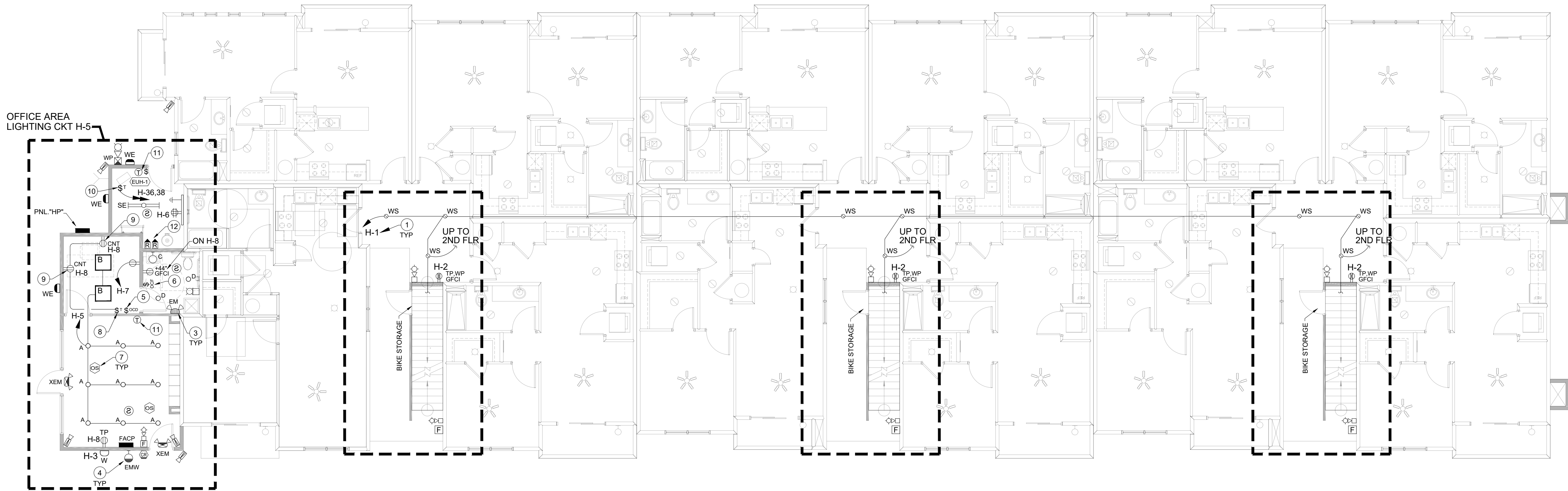
## ELECTRICAL SHEET INDEX

- E-001 SYMBOLS, GEN NOTES, FIXTURE SCHEDULE, IECC CALC'S
- E-100 FIRST & SECOND FLOOR ELECTRICAL PLANS
- E-200 UNITS LIGHTING PLANS
- E-201 UNITS POWER PLANS
- E-300 ROOF ELECTRICAL CONNECTIONS PLAN
- E-400 ELECTRICAL DETAILS





SECOND LEVEL ELECTRICAL PLAN



FIRST LEVEL ELECTRICAL PLAN

GENERAL NOTES:

- A. REFER TO SHEET E-400 FOR FIRE ALARM RISER DIAGRAM AND ADDITIONAL REQUIREMENTS.

ELECTRICAL KEYED NOTES:

- NUMBER ADJACENT TO RECEPTACLE INDICATES CIRCUIT NUMBER. SIZE CONDUCTORS ACCORDING TO CORRESPONDING BREAKER RATING AND MAKE ALL FINAL POWER CONNECTIONS.
- COMBINATION EXIT SIGN/EMERGENCY TWIN-EYE UNIT TYPE "XEM" WITH EMERGENCY BATTERY PACK. REFER TO LUMINAIRE SCHEDULE. CONNECT TO UNSWITCHED (120V OR 277V) LIGHTING CIRCUIT SERVING THIS ROOM.
- EMERGENCY TWIN-EYE EGRESS LIGHTING UNIT TYPE "EM", WITH EMERGENCY BATTERY PACK. REFER TO LUMINAIRE SCHEDULE. CONNECT TO UNSWITCHED (120V OR 277V) LIGHTING CIRCUIT SERVING THIS ROOM.
- EXTERIOR EMERGENCY EGRESS LIGHTING UNIT TYPE "EMW" WITH EMERGENCY BATTERY PACK. REFER TO LUMINAIRE SCHEDULE. CONNECT TO UNSWITCHED (120V OR 277V) LIGHTING CIRCUIT SERVING ADJACENT INTERIOR ROOM.
- DUAL-TECHNOLOGY OCCUPANCY SENSOR WITH FAN DELAY CONTROL. WATT-STOPPER #DW-311-WH W OR EQUAL.
- DUAL-TECHNOLOGY OCCUPANCY DIMMER SWITCH, WATT-STOPPER #WDT200W OR EQUAL.
- CEILING MOUNTED 360-DEGREE OCCUPANCY SENSOR SYNCHRONIZED PER ZONE (DO NOT INSTALL WITHIN 5'-0" OF ANY SUPPLY OR RETURN HVAC REGISTER). DEVICE(S) SHALL EXTINGUISH LIGHT FIXTURES IN ASSOCIATED CONTROLLED ZONE WITHIN 20 MINUTES WITHOUT OCCUPANCY.
- 12-HOUR SPRING WOUND TIMER SWITCH WITH HOLD FEATURE FOR CONTROLLED RECEPTACLES. INTERMATIC #HF312HH OR EQUAL. PROVIDE LABEL STATING "CONTROLLED RECEPTACLES".
- CONTROLLED SPLIT-CIRCUIT RECEPTACLE PROPERLY MARKED IN ACCORDANCE WITH NEC 406(E). CONNECT TO CIRCUIT INDICATED FOR CONSTANT AND CONTROLLED OPERATION ON LOAD SIDE OF SPRING WOUND TIMER SERVING THIS ROOM.
- TWO POLE, 20-AMP THERMAL SWITCH INSTALLED ON, OR ADJACENT TO, MECHANICAL UNIT.
- .75" BUSHED CONDUIT WITH PULL-STRING FOR T-STAT CONTROL WIRING STUBBED INTO ACCESSIBLE CEILING SPACE. COORDINATE EXACT LOCATION AND CONDUIT REQUIREMENTS PRIOR TO ROUGH-IN.

FOR PLENUM CEILING CAVITIES, CONDUIT(S) SHALL BE INSTALLED FROM T-STAT TO UNIT SUPERVISED UNLESS CONTROL WIRE IS LISTED FOR USE IN PLENUM ENVIRONMENTS.

FOR LINE-VOLTAGE T-STAT, ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND TERMINATE ALL WIRING RATED 120-VOLT OR ABOVE.

12. FIRE ALARM FLOW AND TAMPER SWITCH RELAY MODULES COORDINATE EXACT LOCATION WITH SPRINKLER RISER PRIOR TO ROUGH-IN.

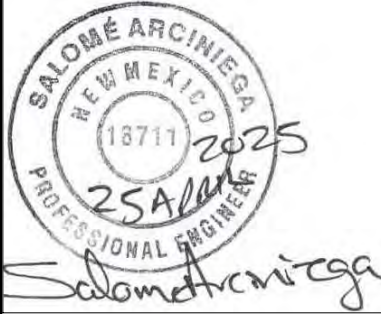
| No | Revision | Item | Date |
|----|----------|------|------|
|    |          |      |      |
|    |          |      |      |
|    |          |      |      |



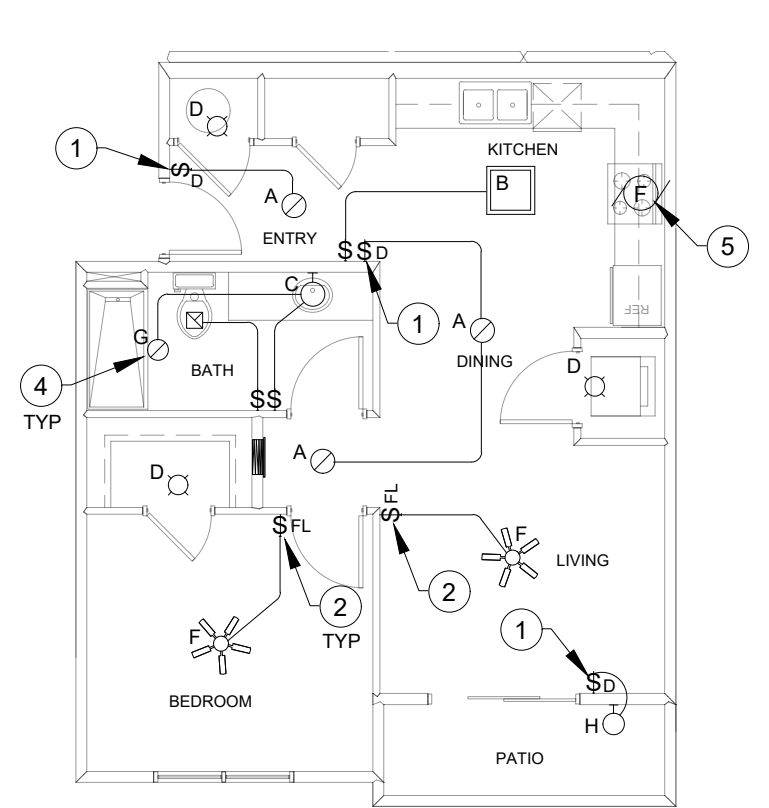
**SCOTT C. ANDERSON  
& associates architects**  
2818 4th St NW, Suite C Albuquerque NM 87107  
scott@scarchitects.com  
505.401.7575

LA PLATA APARTMENTS  
6000 4TH ST NW  
ALBUQUERQUE, NM 87107

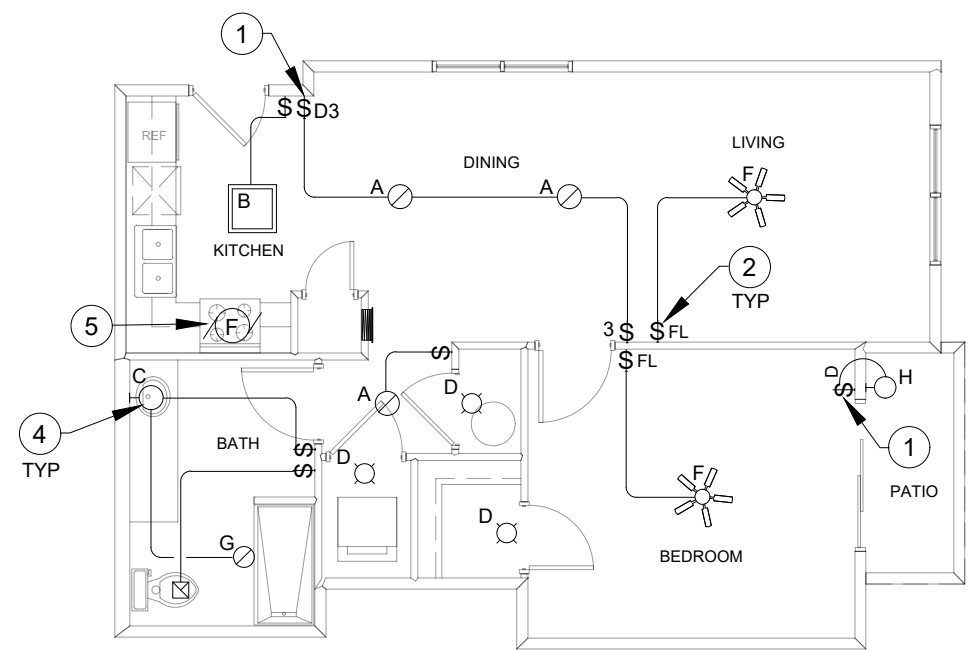
| DRAWING TITLE                         |  |  |
|---------------------------------------|--|--|
| FIRST & SECOND LEVEL ELECTRICAL PLANS |  |  |

|                                                                                       |            |              |
|---------------------------------------------------------------------------------------|------------|--------------|
| SEAL                                                                                  | DESIGNED   | PROJECT NO   |
|  | DRAWN      | SCALE        |
|                                                                                       | CHECKED    | DRAWING NO   |
|                                                                                       | REVIEWED   | <b>E-100</b> |
| DATE                                                                                  | 04-25-2025 | OF           |

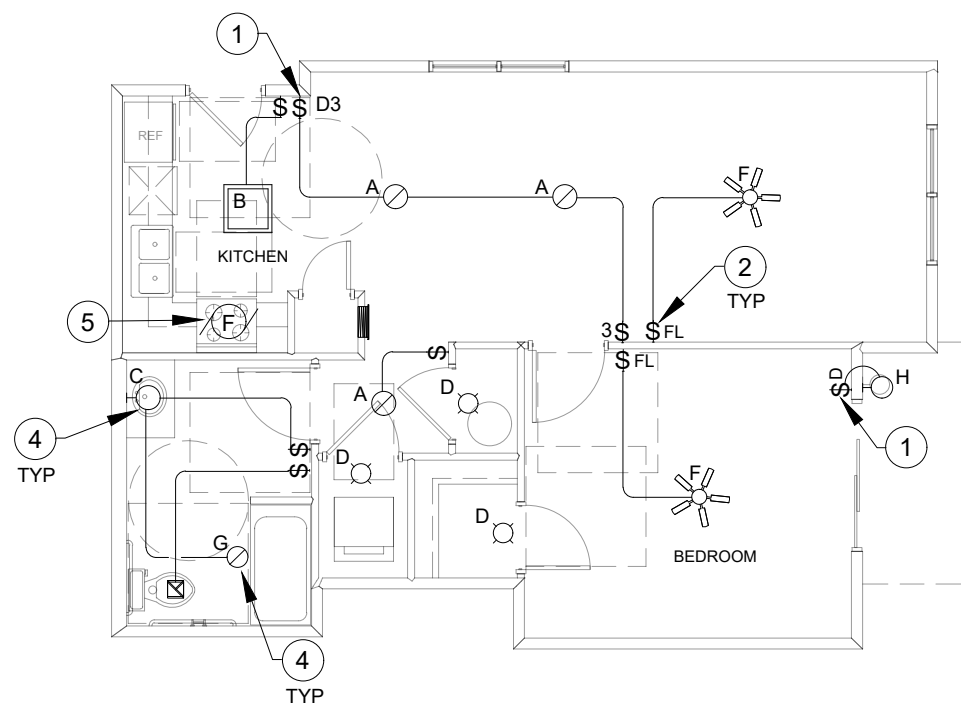




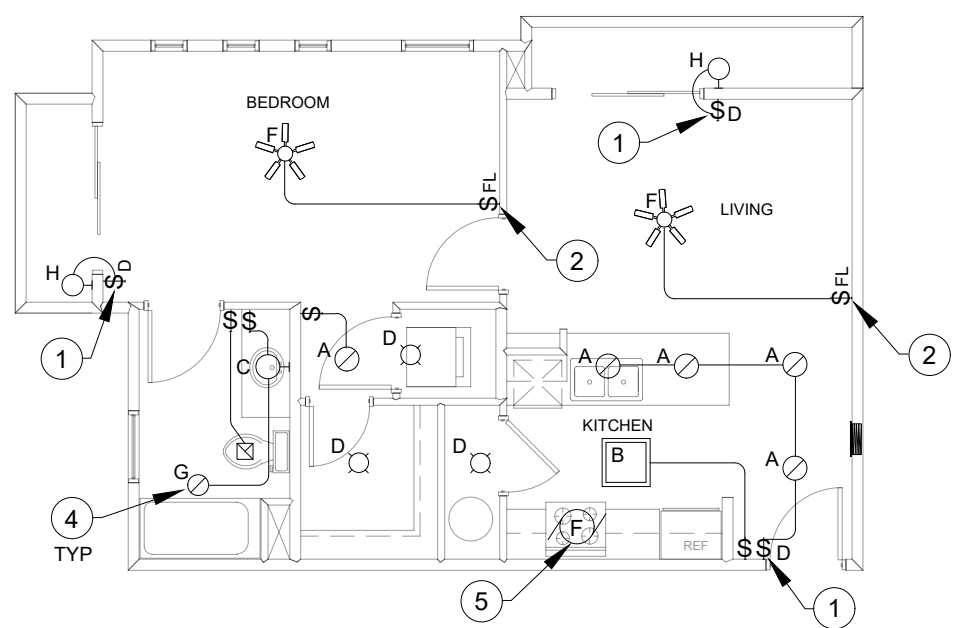
UNIT A ③



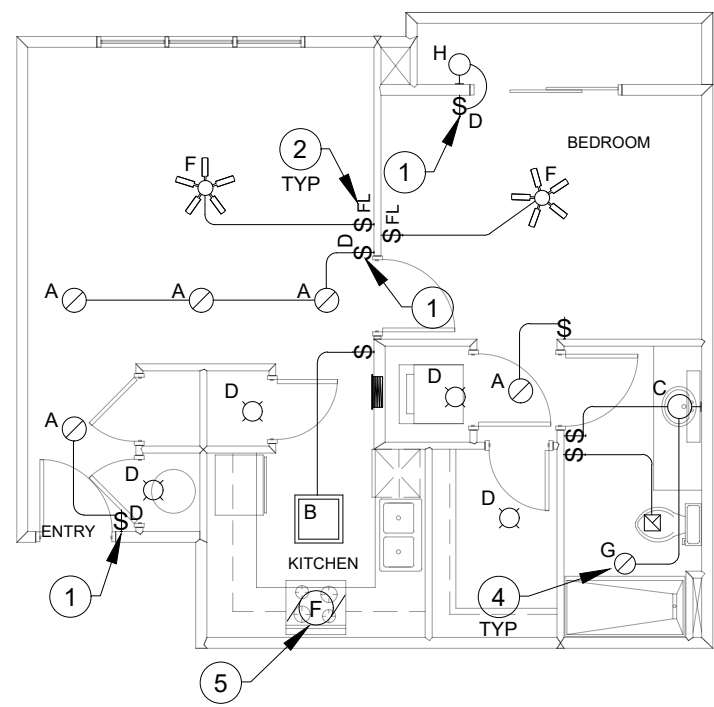
UNIT B ③



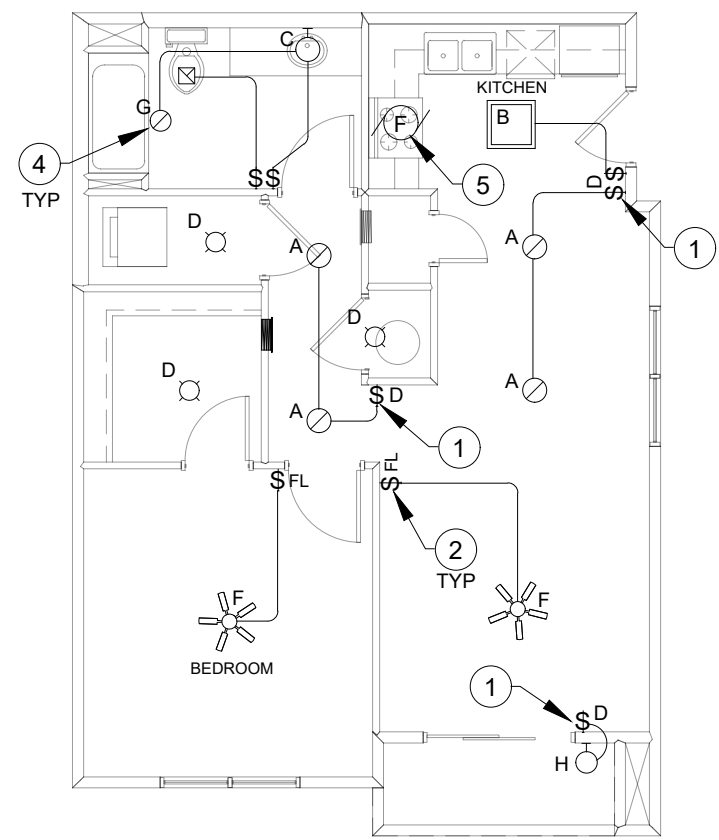
UNIT B - ADA ③



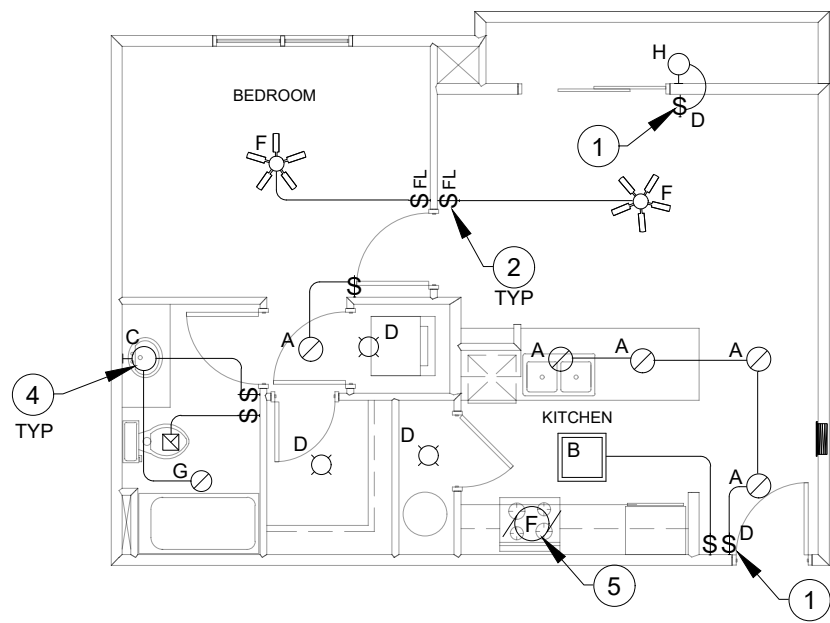
UNIT C ③



UNIT D ③



UNIT E ③



UNIT F ③

GENERAL NOTES:

- A. CONFIRM WITH ARCHITECT, PRIOR TO ROUGH-IN, WHICH UNITS MAY BE DESIGNATED AS HANDICAPPED ACCESSIBLE, HEARING OR VISUAL IMPAIRED, AND MAKE ADJUSTMENTS CONSISTENT WITH KEYED NOTES.
- B. SIZE CONDUCTORS ACCORDING TO CORRESPONDING BREAKER RATING.

ELECTRICAL KEYED NOTES: ○

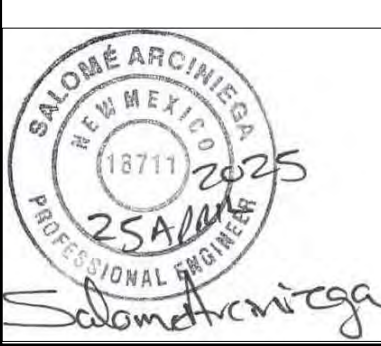
1. PROVIDE LINE VOLTAGE LED 0-10 DIMMER SWITCH. DIMMER MUST BE COMPATIBLE WITH FIXTURE(S) INSTALLED.
2. PROVIDE SEPARATE FAN SPEED CONTROL AND LIGHT DIMMER SWITCHES. DIMMER MUST BE COMPATIBLE WITH ACTUAL FIXTURE INSTALLED.
3. ALL APARTMENT LIGHTING TO BE ON TENANT PANEL CIRCUIT #1.
4. CONTRACTOR SHALL EXERCISE CARE DURING ROUGH-IN IN ORDER TO LOCATE FIXTURE "ON-CENTER" AND WITHOUT OBSTRUCTION(S). REFER TO ARCHITECTURAL DETAILS FOR EXACT DIMENSIONS.
5. EXHAUST FAN FURNISHED WITH KITCHEN APPLIANCE. SEE POWER PLAN E-501 FOR ADDITIONAL REQUIREMENTS.

| No | Revision | Item | Date |
|----|----------|------|------|
|    |          |      |      |
|    |          |      |      |
|    |          |      |      |



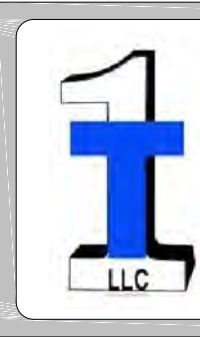
**SCOTT C. ANDERSON  
& associates architects**  
2818 4th St NW, Suite C, Albuquerque NM 87107  
scott@scarchitects.com  
505.401.7575

LA PLATA APARTMENTS  
6000 4TH ST NW  
ALBUQUERQUE, NM 87107

| DRAWING TITLE                                                                         |          |              |
|---------------------------------------------------------------------------------------|----------|--------------|
| UNIT LIGHTING PLANS                                                                   |          |              |
| SEAL                                                                                  | DESIGNED | PROJECT NO   |
|  | DRAWN    | SCALE        |
|                                                                                       | CHECKED  | DRAWING NO   |
|                                                                                       | REVIEWED | <b>E-200</b> |
|                                                                                       | DATE     |              |
| 04-25-2025                                                                            |          | OF           |

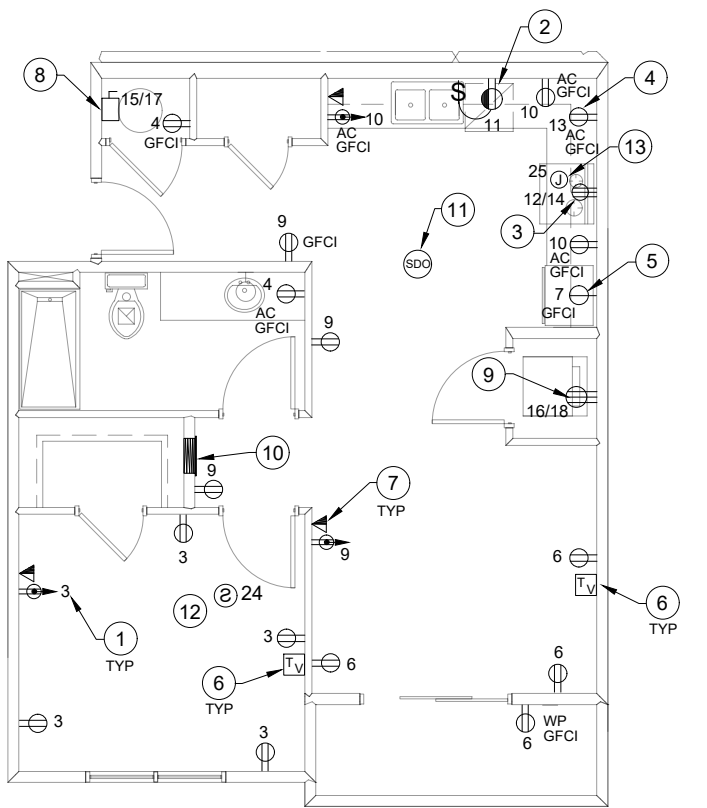
UNIT LIGHTING PLANS ○

1/8" = 1'-0"



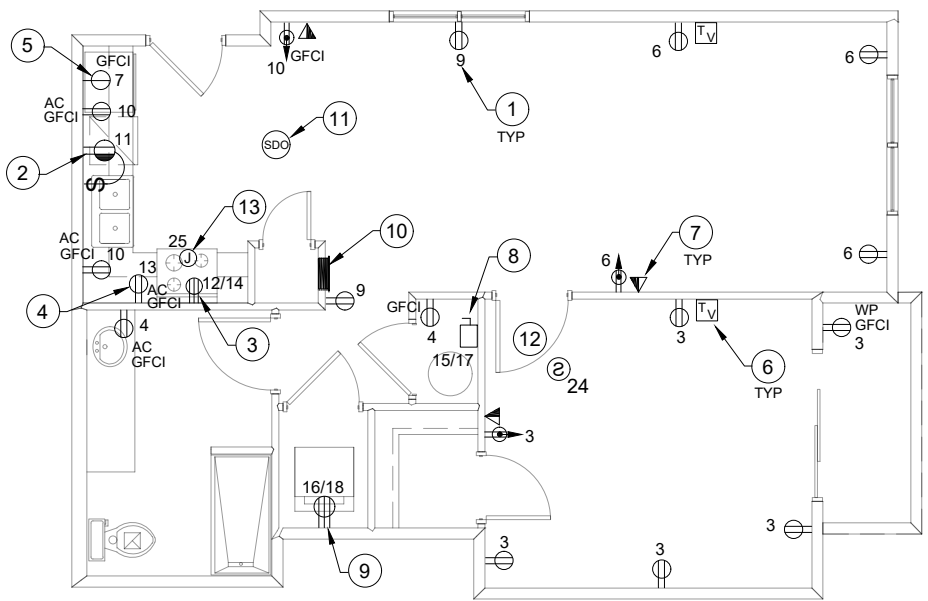
ONE TRENT LLC EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT ASSOCIATED WITH THESE DRAWINGS. AND THESE DOCUMENTS MAY NOT BE REPRODUCED, ALTERED, OR USED TO ANY PART WITHOUT EXPRESS WRITTEN PERMISSION OF ONE TRENT LLC. THESE ELECTRICAL DRAWINGS ARE DIAGNOSTIC AND ARE NOT MEANT TO FULLY DESCRIBE EVERY DETAIL, COMPONENT, OR REQUIREMENT OF THE WORK REQUIRED FOR A COMPLETE, FULLY OPERATIONAL, CURRENT CODE COMPLIANT SYSTEMS. ANY CONTRACTOR RELYING ON THESE DOCUMENTS SHALL ALSO OBTAIN THE CORRECT WITH CURRENT CODE CONSIDERATION. FIELD INVESTIGATION/VERIFICATION AND UTILITY COORDINATION IS ORDER TO PROVIDE A COMPREHENSIVE INSTALLATION.





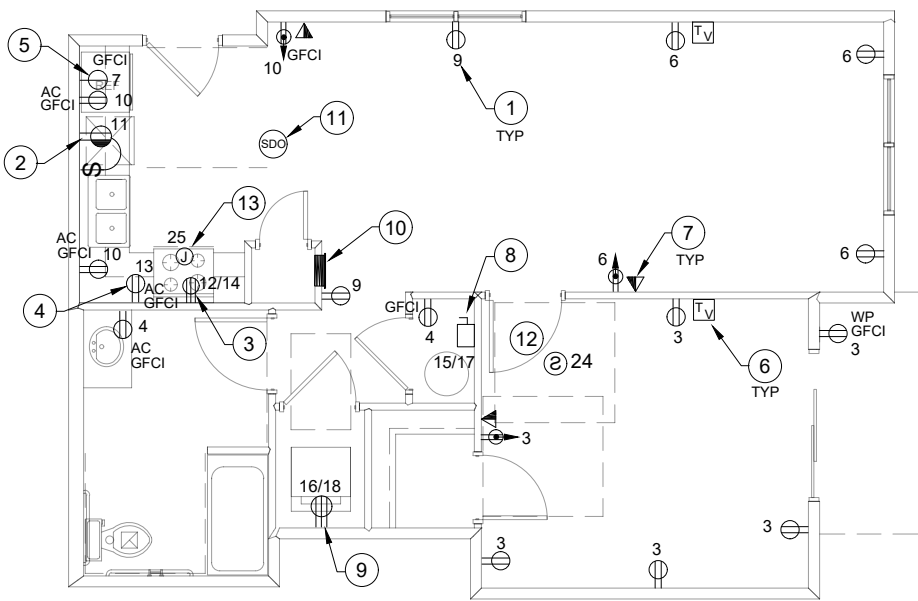
UNIT A

REFER TO GENERAL NOTE "F" ON SHEET E-001



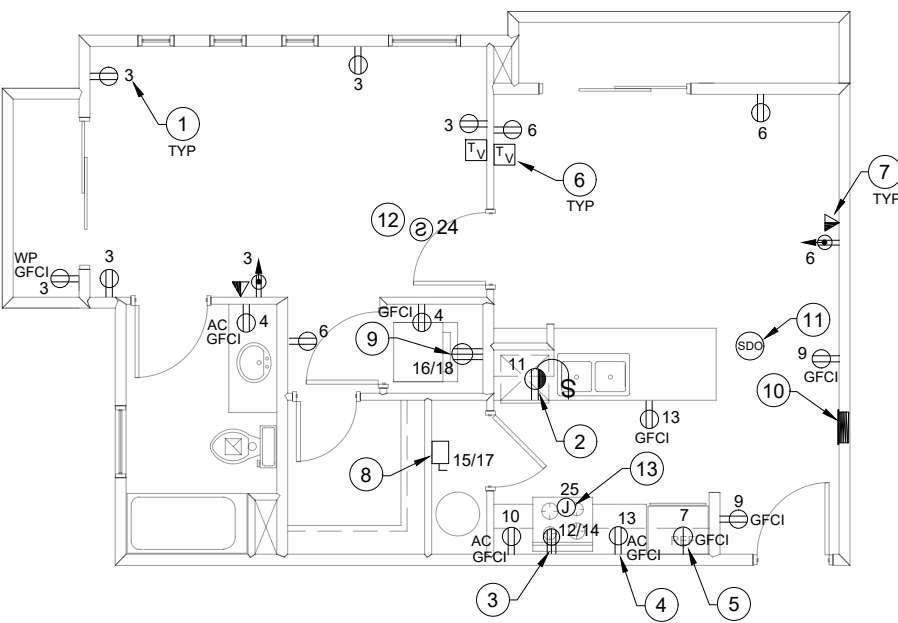
UNIT B

REFER TO GENERAL NOTE "F" ON SHEET E-001



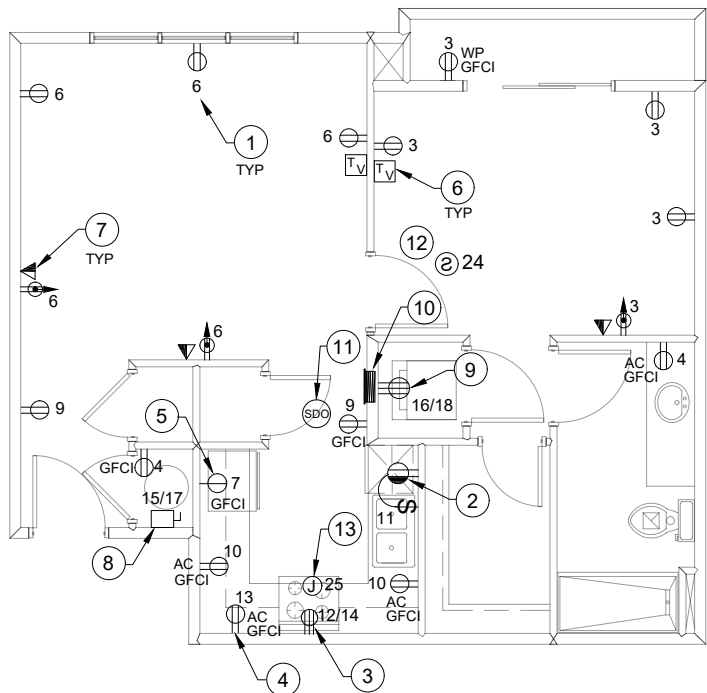
UNIT B - ADA

REFER TO GENERAL NOTE "F" ON SHEET E-001



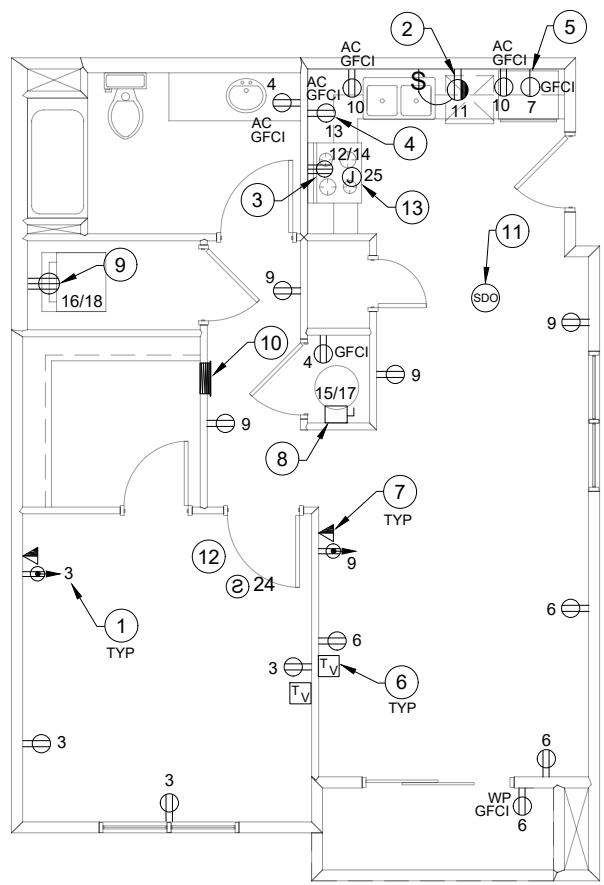
UNIT C

REFER TO GENERAL NOTE "F" ON SHEET E-001



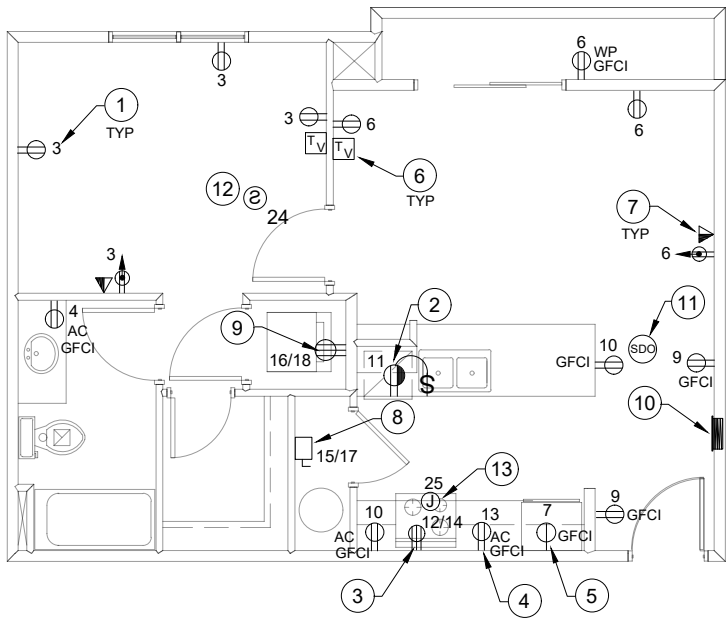
UNIT D

REFER TO GENERAL NOTE "F" ON SHEET E-001



UNIT E

REFER TO GENERAL NOTE "F" ON SHEET E-001



UNIT F

REFER TO GENERAL NOTE "F" ON SHEET E-001

GENERAL NOTES:

- A. CONFIRM WITH ARCHITECT, PRIOR TO ROUGH-IN, WHICH UNITS MAY BE DESIGNATED AS HANDICAPPED ACCESSIBLE, HEARING OR VISUAL IMPAIRED, AND MAKE ADJUSTMENTS CONSISTENT WITH KEYED NOTES.
- B. UNITS DESIGNATED PER GENERAL NOTE "A" SHALL HAVE A VISUAL/AUDIBLE DOORBELL. EDWARDS SIGNALING 7005-G5-KIT, OR EQUAL.
- C. REFER TO SHEET E-401 FOR UNIT HVAC CONNECTION REQUIREMENTS. COORDINATE ALL MECHANICAL EQUIPMENT LOCATIONS WITH DIV 23 PRIOR TO ROUGH-IN.
- D. ELECTRICAL CONTRACTOR SHALL FURNISH/INSTALL ALL APPLIANCE UTILITY CORDS (AKA "WHIPS").
- E. ALL DEVICES SHALL BE INSTALLED FOR COMPLIANCE WITH NEC 210.50.

ELECTRICAL KEYED NOTES: ○

- 1. NUMBER ADJACENT TO RECEPTACLE INDICATES CIRCUIT NUMBER. SIZE CONDUCTORS ACCORDING TO CORRESPONDING BREAKER RATING AND MAKE ALL FINAL POWER CONNECTIONS.
- 2. SPLIT WIRED GFCI RECEPTACLE BELOW COUNTER FOR DISPOSER AND DISHWASHER. PROVIDE SWITCH FOR DISPOSER AT COUNTERTOP.
- 3. 50A RANGE RECEPTACLE, INSTALL 24" AFF. EXTEND 3 #6 CU AND 1 #10 E.G.R. TO CIRCUIT INDICATED.
- 4. DEDICATED RECEPTACLE FOR MICROWAVE.
- 5. DEDICATED RECEPTACLE FOR REFRIGERATOR, GFCI WITH AUDIBLE ALARM, EATON #TRSGFA20GY OR EQUAL. INSTALL 36" AFF.
- 6. TELEVISION OUTLET, REFER TO CATV RISER DIAGRAM ON SHEET ES-100.
- 7. TELEPHONE/DATA OUTLET, REFER TO TELEPHONE RISER ON SHEET ES-100.
- 8. 30A, 208V POWER CONNECTION FOR ELECTRIC WATER HEATER, INSTALL NON-FUSED DISCONNECT. EXTEND 3 #10 CU TO CIRCUIT INDICATED.
- 9. 30A STACKED WASHER/DRYER RECEPTACLE. INSTALL AT 24" A.F.F. EXTEND 4 #10 CU TO CIRCUIT INDICATED
- 10. TYPICAL APARTMENT PANEL FOR THIS TYPE APARTMENT. MOUNT ACCORDING TO ADA REQUIREMENTS IN ACCESSIBLE UNITS.
- 11. 120V COMBINATION SMOKE DETECTOR/CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP. MULTIPLE DETECTORS SHALL BE INTERCONNECTED AND CAPABLE OF PLACING ALL DETECTORS INTO ALARM WHEN ANY OF THE DETECTORS GOES INTO ALARM. GENTEX OR EQUAL. CONNECT DETECTORS TO CIRCUIT #24 OF THE ASSOCIATED APARTMENT PANEL.  
  
FOR HEARING OR VISUALLY IMPAIRED DESIGNATED UNITS, UTILIZE AUDIBLE/VISUAL STYLE DEVICE.
- 12. 120V SMOKE DETECTOR WITH BATTERY BACK-UP. MULTIPLE DETECTORS SHALL BE INTERCONNECTED AND CAPABLE OF PLACING ALL DETECTORS INTO ALARM WHEN ANY OF THE DETECTORS GOES INTO ALARM. GENTEX OR EQUAL. CONNECT DETECTORS TO CIRCUIT #24 OF THE ASSOCIATED APARTMENT PANEL.  
  
FOR HEARING OR VISUALLY IMPAIRED DESIGNATED UNITS, UTILIZE AUDIBLE/VISUAL STYLE DEVICE.
- 13. RECEPTACLE FOR HOOD EXHAUST FAN WITH INTEGRAL SWITCH. VERIFY EXACT LOCATION AND HEIGHT WITH ARCHITECTURAL DETAILS.  
  
FOR HANDICAPPED DESIGNATED UNITS, INSTALL CONVENIENCE AUXILIARY SWITCH AT WHEELCHAIR ACCESSIBLE LOCATION.

| No | Revision | Item | Date |
|----|----------|------|------|
|    |          |      |      |
|    |          |      |      |
|    |          |      |      |



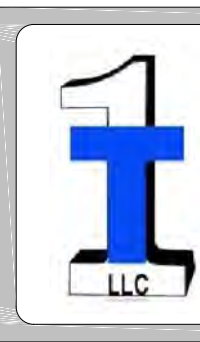
**SCOTT C. ANDERSON**  
& associates architects  
2818 4th St NW, Suite C, Albuquerque NM 87107  
scott@scarchitects.com  
505.401.7575

LA PLATA APARTMENTS  
6000 4TH ST NW  
ALBUQUERQUE, NM 87107

| DRAWING TITLE                                                                         |            |                                |
|---------------------------------------------------------------------------------------|------------|--------------------------------|
| UNIT POWER PLANS                                                                      |            |                                |
| SEAL                                                                                  | DESIGNED   | PROJECT NO                     |
|  | DRAWN      | SCALE                          |
|                                                                                       | CHECKED    | DRAWING NO                     |
|                                                                                       | REVIEWED   | <b>E-201</b><br>_____ OF _____ |
|                                                                                       | DATE       |                                |
|                                                                                       | 04-25-2025 |                                |

UNIT POWER PLANS

1/8" = 1'-0"

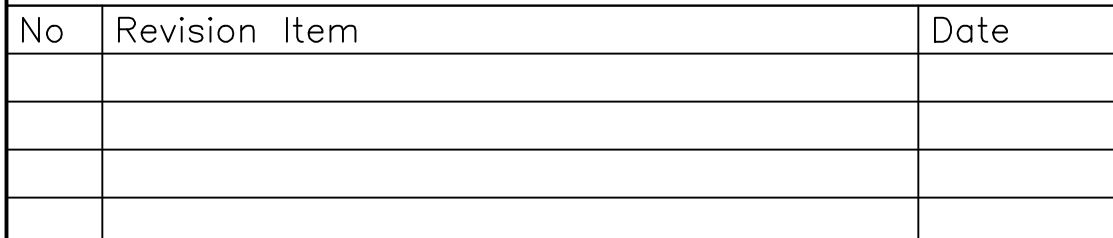
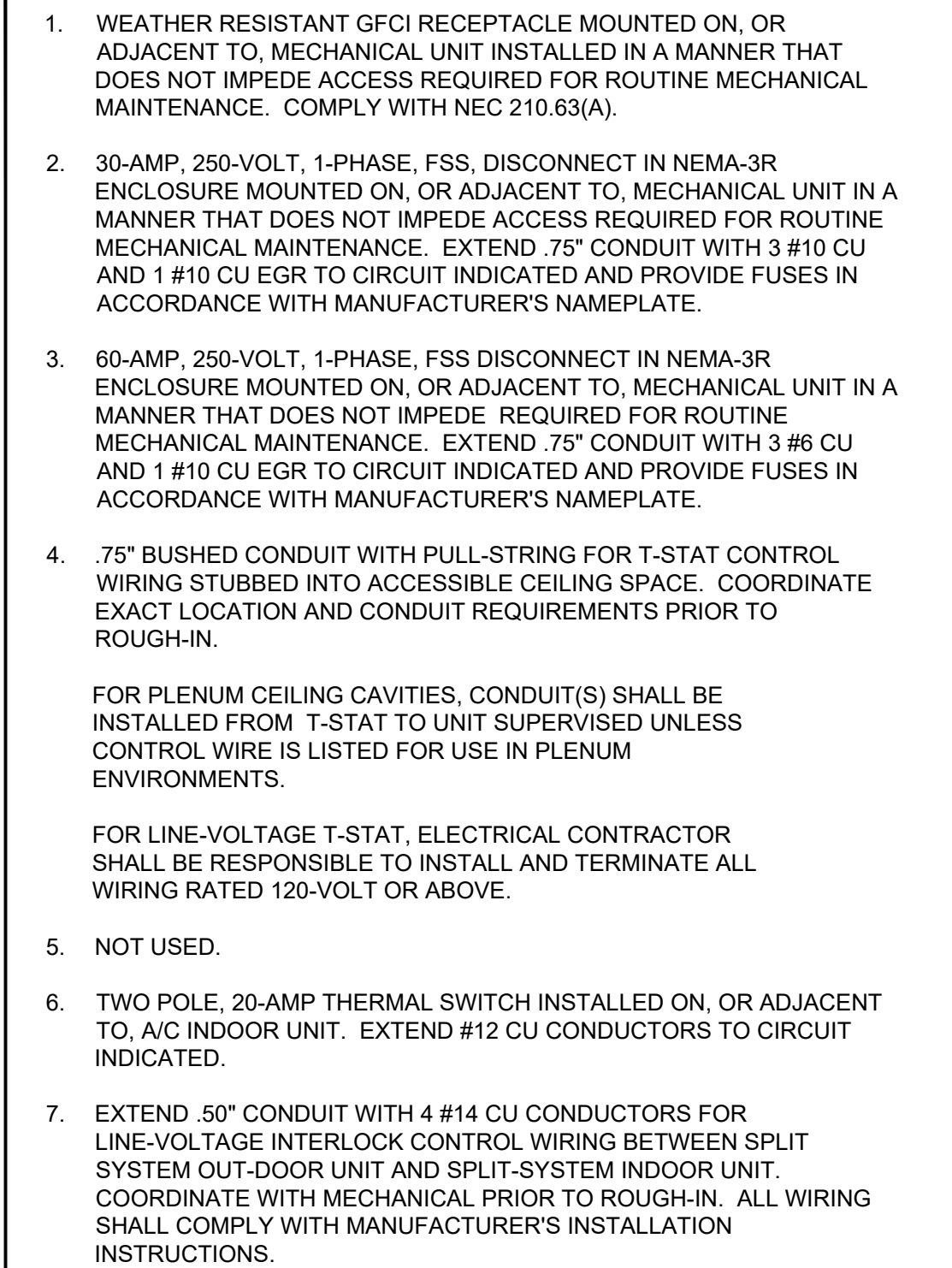
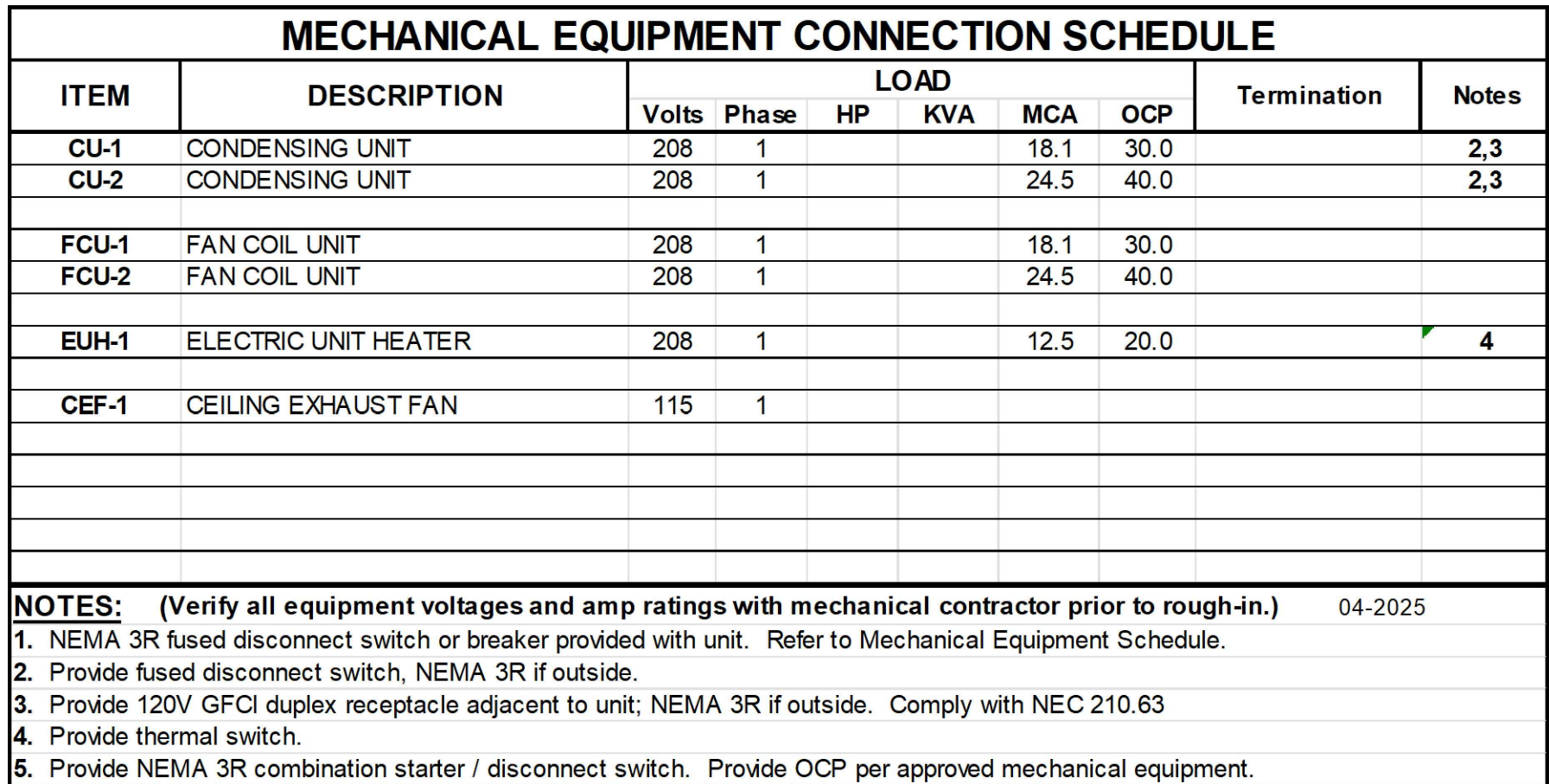


ONE TRIDENT LLC EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT ASSOCIATED WITH THESE DRAWINGS, AND THESE DOCUMENTS MAY NOT BE REPRODUCED, ALTERED, OR SENT TO ANY THIRD PARTY WITHOUT EXPRESS WRITTEN PERMISSION OF ONE TRIDENT LLC. THESE ELECTRICAL DRAWINGS ARE DIAGNOSTIC AND ARE NOT MEANT TO FULLY DESCRIBE EVERY DETAIL, COMPONENT, OR REQUIREMENT OF THE WORK REQUIRED FOR A COMPLETE, FULLY OPERATIONAL, CURRENT CODE COMPLIANT SYSTEMS. ANY CONTRACTOR RELYING ON THESE DOCUMENTS SHALL DO SO AT HIS/HER OWN RISK. THESE DOCUMENTS SHALL BE USED IN CONJUNCTION WITH CURRENT CODE REQUIREMENTS, FIELD INVESTIGATION/VERIFICATION AND UTILITY COORDINATION IS ORDER TO PROVIDE A COMPREHENSIVE INSTALLATION.





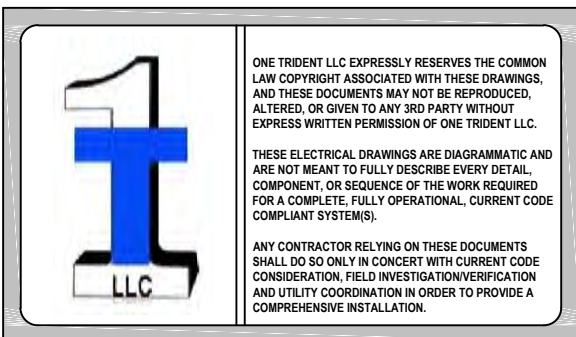
**NORTH**



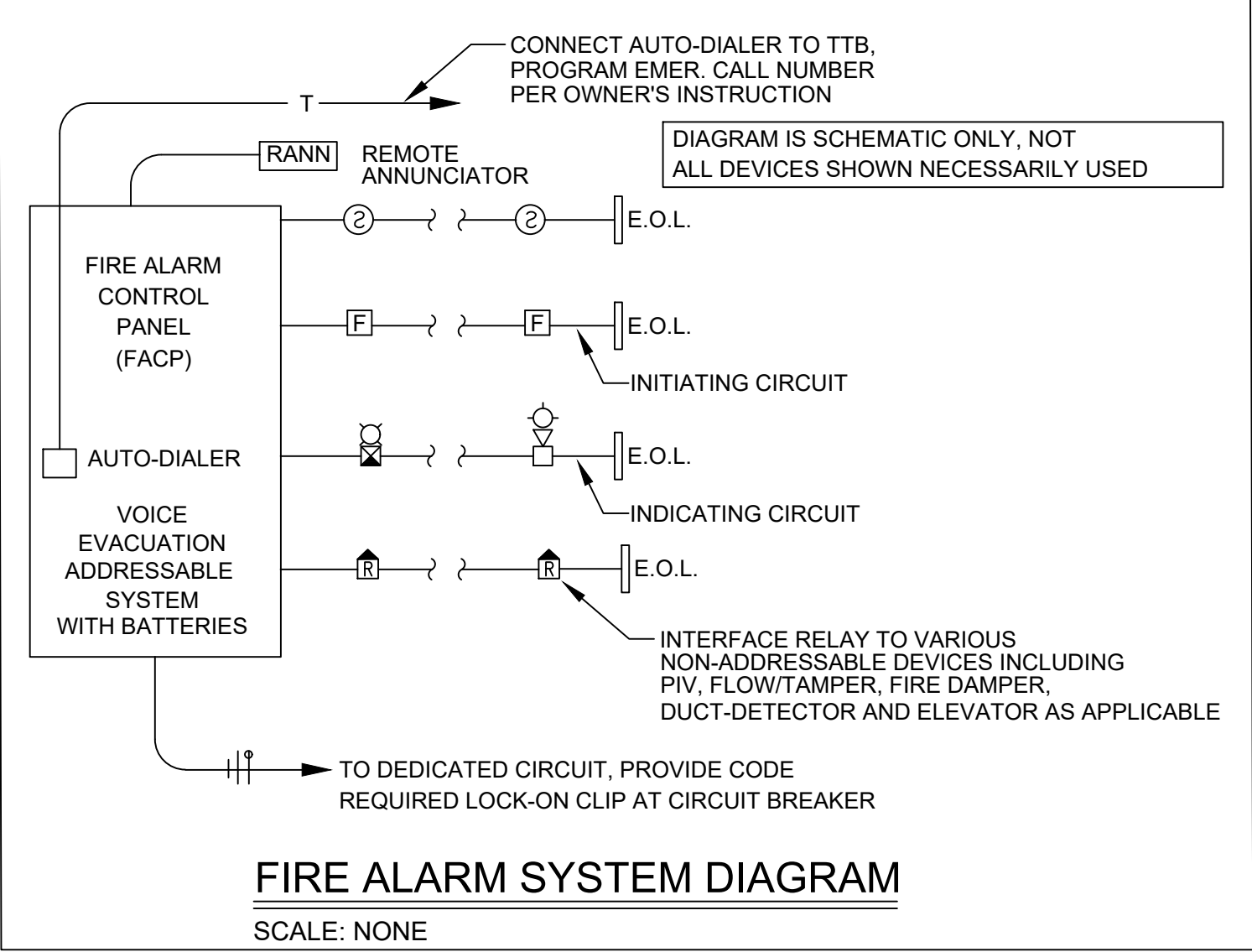
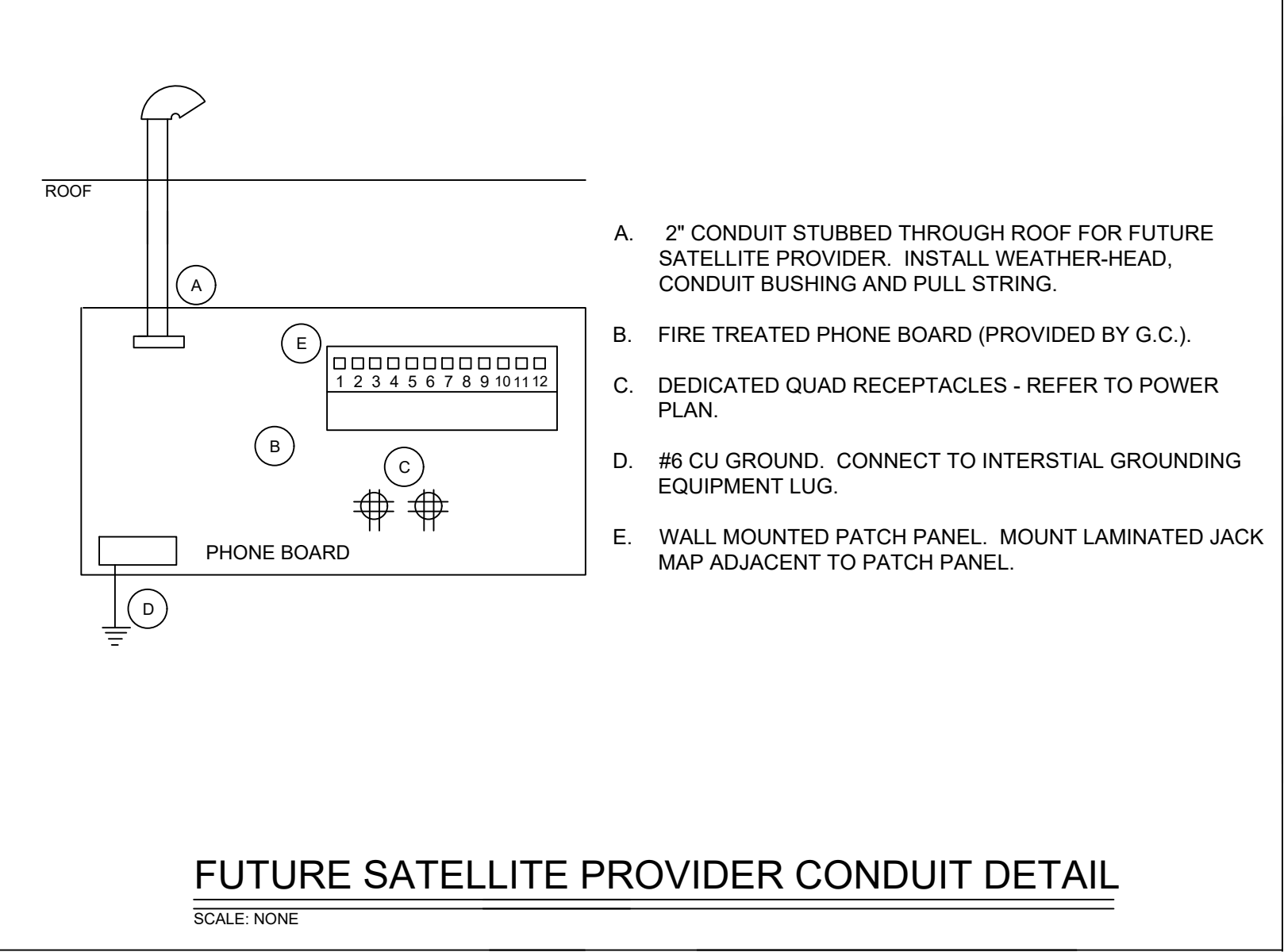
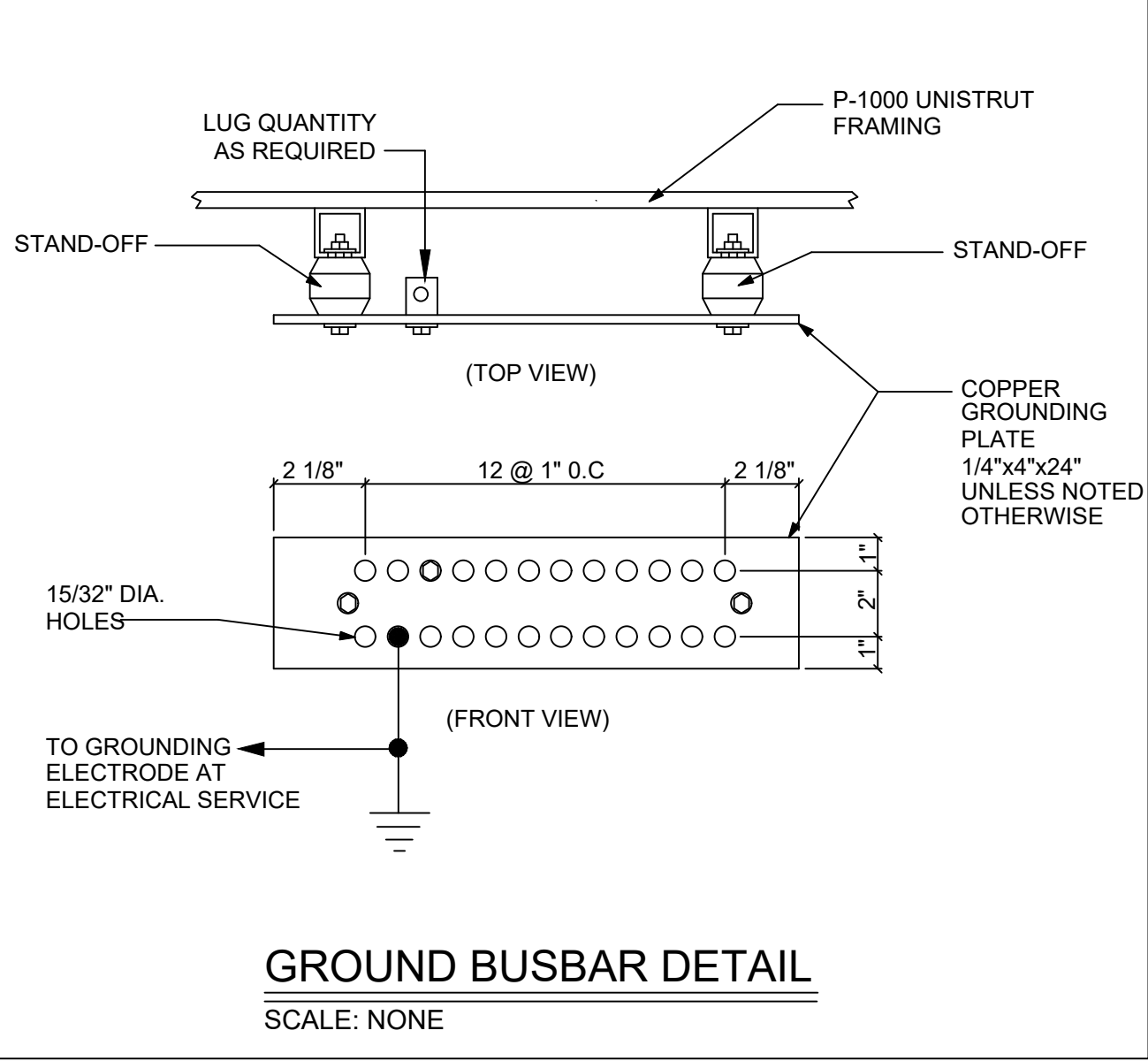
LA PLATA APARTMENTS  
6000 4TH ST NW  
ALBUQUERQUE, NM 87107

|      |          |            |
|------|----------|------------|
| SEAL | DESIGNED | PROJECT NO |
|------|----------|------------|

|      |                 |                                                                                                                                        |
|------|-----------------|----------------------------------------------------------------------------------------------------------------------------------------|
| SEAL | DESIGNED        | PROJECT NO                                                                                                                             |
|      | DRAWN           | SCALE                                                                                                                                  |
|      | CHECKED         | DRAWING NO                                                                                                                             |
|      | REVIEWED        | <div style="font-size: 48pt; font-weight: bold; text-align: center;">E-300</div> <div style="text-align: center;">_____ OF _____</div> |
|      | DATE 04-25-2025 |                                                                                                                                        |





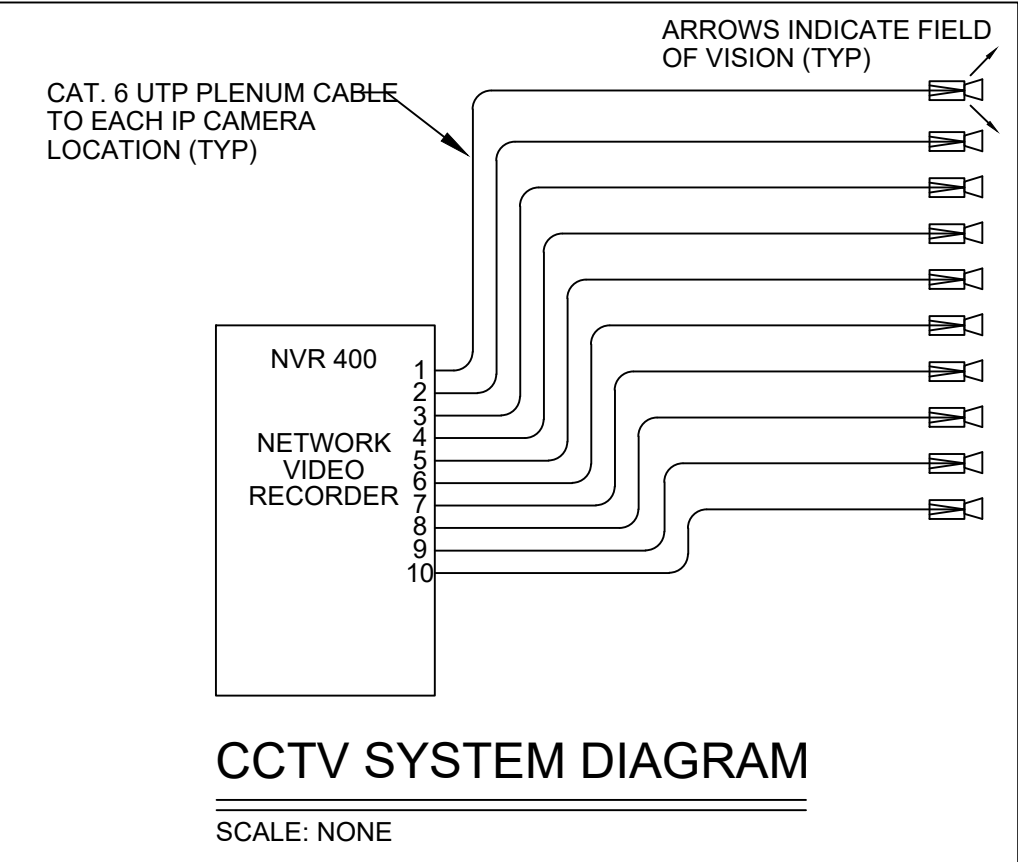
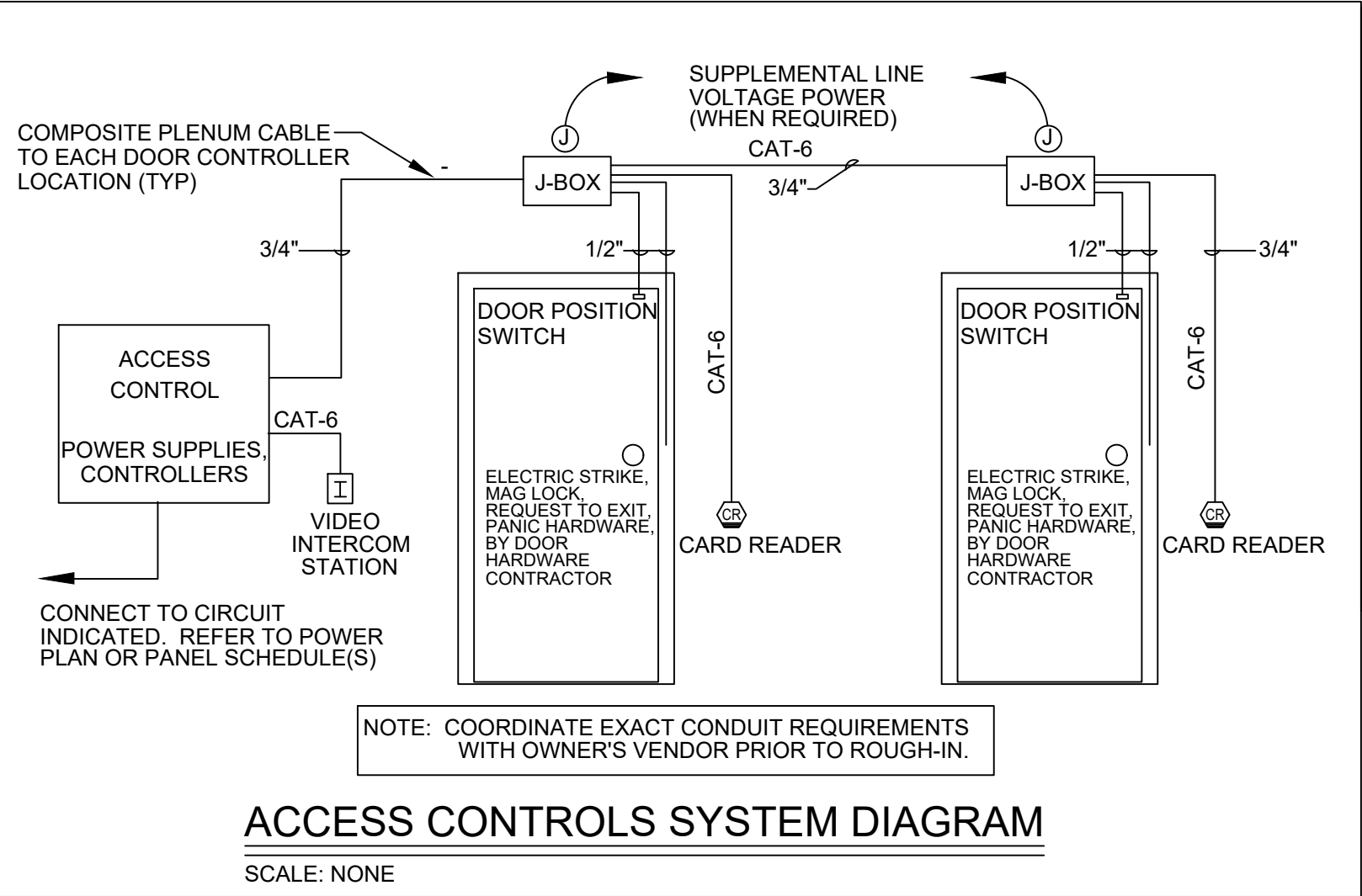
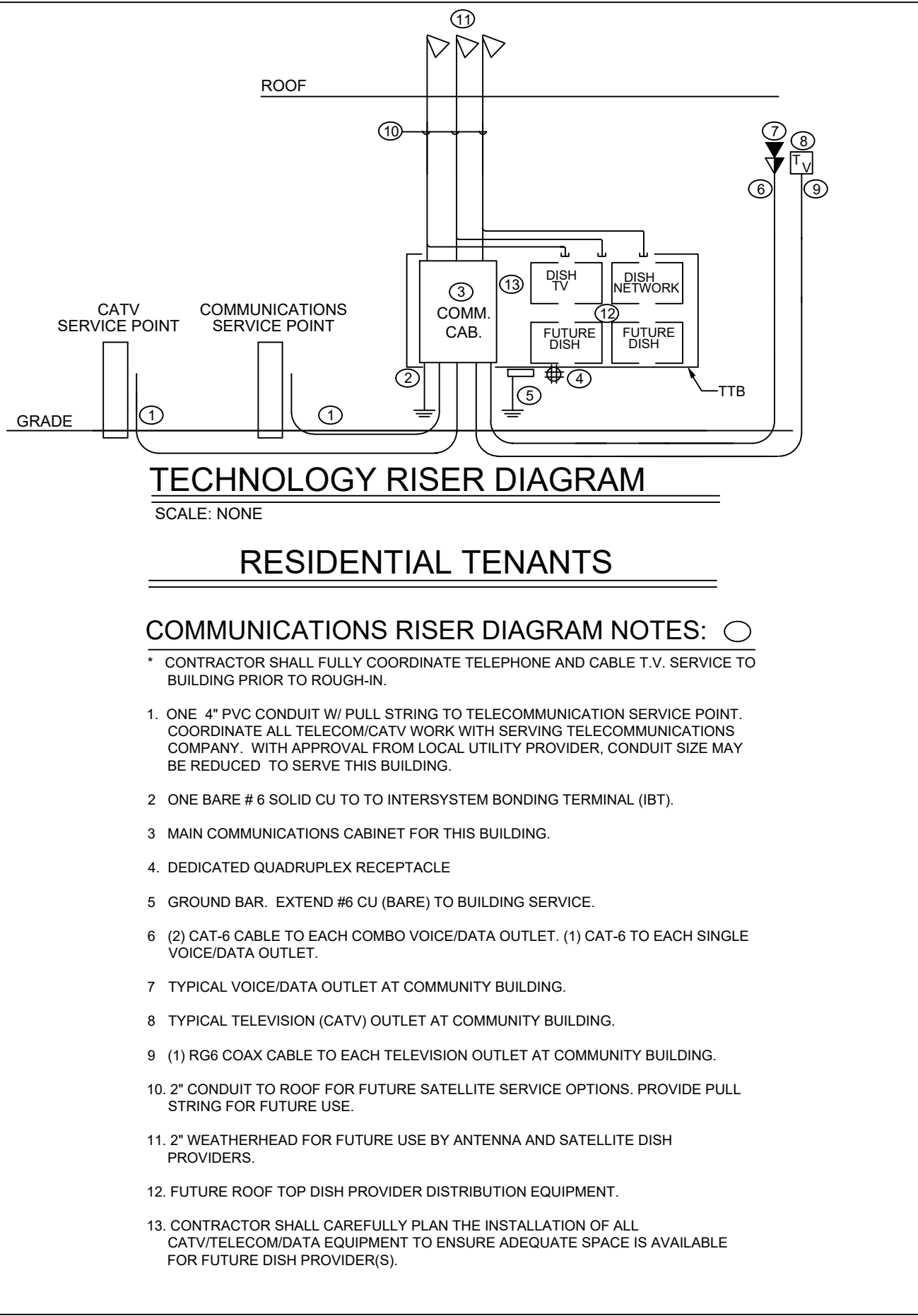


**FIRE ALARM GENERAL NOTES:**

- A. THE FIRE ALARM CONTRACTOR SHALL EMPLOY THE SERVICES OF A NICET 3 (OR BETTER) FIRE ALARM DESIGNER AND SHALL PROCESS SHOP DRAWINGS FOR APPROVAL BY THE FIRE MARSHAL. ALL DEVICES REQUIRED BY CODE AND/OR THE AHJ, WHETHER OR NOT SHOWN ON THIS DRAWING, SHALL BE THE RESPONSIBILITY OF THE FIRE ALARM CONTRACTOR AND SHALL BE INSTALLED AT NO ADDITIONAL COST.
- B. ALL DEVICES SHALL BE SUITABLE FOR THE ENVIRONMENT IN WHICH THEY ARE LOCATED AND APPROPRIATELY U.L. LISTED WHENEVER APPLICABLE.
- C. SMOKE DETECTORS SHALL NOT BE LOCATED WITHIN 36" OF ANY AIR REGISTER (SUPPLY OR RETURN).
- D. PULL STATIONS: PULL STATIONS ARE REQUIRED AT EVERY EXTERIOR MEANS OF EGRESS. MOUNT 3'-5" - 4'-5" TO CENTER OF DEVICE. LOCATE WITHIN 5' OF EXTERIOR DOOR. MAXIMUM TRAVEL BETWEEN PULL STATIONS IS 200'.
- E. ALL MOUNTED STROBES AND HORN/STROBES SHALL BE LOCATED SO THE ENTIRE LENS IS BETWEEN 80° AND 96° AFF.
- F. IN CORRIDORS STROBES AND HORN/STROBES SHALL BE LOCATED WITHIN 15'-0" OF THE END OF THE CORRIDOR AND NOT MORE THAN 100'-0" APART.
- G. INSTALL MONITOR MODULES AT EACH FLOW AND TAMPER SWITCH (INCLUDING DAMPERS AND F.L.V.'S). VERIFY LOCATIONS WITH MECHANICAL AND FIRE SPRINKLER DRAWINGS PRIOR TO INSTALLATION.
- H. INSTALL DUCT DETECTORS ON THE RETURN SIDE OF ALL AIR HANDLING UNITS RATED OVER 2000 CFM. COORDINATE OPERATING VOLTAGE PRIOR TO INSTALLATION. DUCT DETECTORS SHALL BE FURNISHED BY FIRE ALARM CONTRACTOR AND INSTALLED BY MECHANICAL CONTRACTOR.
- I. ELECTRICAL CONTRACTOR SHALL INSTALL ALL 3/4" CONDUIT REQUIRED FOR FIRE ALARM SYSTEM. ALL CONDUIT SHALL BE RED OR HAVE RED BANDING EVERY 5'-0". BUSH ALL EXPOSED CONDUIT ENDS.
- J. ALL CONDITIONS THAT APPLY SHALL COMPLY WITH NFPA 72.
- K. FIRE ALARM SYSTEM SHALL HAVE A MINIMUM 1 YEAR WARRANTY ON ALL PARTS AND INSTALLATION. UPON COMPLETION OF INSTALLATION AND TRAINING THE CONTRACTOR SHALL GIVE THE OWNER A COMPLETE COPY OF THE FIRE ALARM PROGRAMMING MANUAL (INCLUDING PASSWORDS).
- L. FIRE ALARM CONTRACTOR SHALL HAVE A MINIMUM OF 5 YEARS EXPERIENCE AND UPON REQUEST DEMONSTRATE AT LEAST 3 PAST PROJECTS OF SIMILAR SCALE AND SCOPE. CONTRACTOR SHALL PROVIDE 24 HOUR EMERGENCY RESPONSE SERVICES DURING THE WARRANTY PERIOD AT NO ADDITIONAL COST TO THE OWNER. INSTALLER SHALL BE RESPONSIBLE FOR CABLING, TERMINATIONS, PROGRAMMING, ETC... "PARTS & SMARTS" JOINT VENTURES ARE UNACCEPTABLE.
- M. FIRE ALARM CONTRACTOR SHALL HAVE 20 CALENDAR DAYS FROM NOTICE OF AWARD TO PRODUCE JOB SPECIFIC SHOP DRAWINGS AND SUBMIT THEM TO THE FIRE MARSHAL FOR APPROVAL.
- N. SMOKE DETECTORS IN RESIDENCES SHALL BE INSTALLED PER NFPA 72. SMOKE DETECTORS WITH INTEGRAL ALARM SHALL BE LOCATED IN EACH BEDROOM, OUTSIDE EACH SLEEPING AREA, AND ON EVERY FLOOR LEVEL. THE SMOKE DETECTORS SHALL BE INTERCONNECTED SO THAT WHEN ONE SOUNDS, THEY ALL SOUND.

**FIRE ALARM NOTES:**

- 1. FIRE ALARM CONTROL PANEL (FACP). REFER TO FIRE ALARM RISER DIAGRAM.
- 2. FIRE ALARM REMOTE ANNUNCIATOR (FARA) AND VOICE COMMAND CENTER. REFER TO FIRE ALARM RISER DIAGRAM.
- 3. ADDITIONAL INITIATION AND NOTIFICATION DEVICES TO BE LOCATED THROUGH-OUT PARKING GARAGE. QUANTITIES AND LOCATIONS TO BE DETERMINED BY NICET PROFESSIONAL.
- 4. COORDINATE EXACT PLACEMENT OF FIRE SPRINKLER FLOW AND TAMPER SWITCHES PRIOR TO ROUGH-IN.
- 5. COORDINATE EXACT LOCATION OF POST INDICATOR VALVE PRIOR TO ROUGH-IN. EXTEND .75" CONDUIT FOR FIRE ALARM WIRING.
- 6. REFER TO UNIT PLAN E-501 FOR ADDITIONAL FIRE ALARM DEVICE PLACEMENT.
- 7. COORDINATE EXACT PLACEMENT OF FIRE SMOKE DAMPER(S) PRIOR TO ROUGH-IN.



**GENERAL NOTES:**

- A. THE REQUIREMENT(S) ILLUSTRATED HERE-IN SHALL APPLY TO THE ENTIRE SCOPE OF THE WORK, UNLESS EXPLICITLY MODIFIED ELSEWHERE.
- B. IN THE EVENT THE CONTRACTOR BELIEVES THERE MAY BE A CONFLICT BETWEEN THE REQUIREMENT(S) ILLUSTRATED HERE-IN, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.
- C. IN THE EVENT THE CONTRACTOR REQUIRES CLARIFICATION, THE CONTRACTOR SHALL REQUEST SUCH CLARIFICATION(S) PRIOR TO COMMENCING WITH THE WORK.

CONTRACTOR SHALL NOT BE COMPENSATED OR REIMBURSED FOR "RE-WORK" RESULTING FROM IT'S FAILURE TO OBTAIN CLARIFICATION PRIOR TO COMMENCING WITH ANY PORTION OF THE WORK.

| No                                                                                                                                                                             | Revision | Item                    | Date |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|-------------------------|------|
|                                                                                                                                                                                |          |                         |      |
|                                                                                                                                                                                |          |                         |      |
|                                                                                                                                                                                |          |                         |      |
|                                                                                                                                                                                |          |                         |      |
| <div><div></div><div><b>SCOTT C. ANDERSON &amp; associates architects</b><br/>2818 4th St NW, Suite C Albuquerque NM 87107<br/>scott@scarchitects.com 505.401.7575</div></div> |          |                         |      |
| <b>LA PLATA APARTMENTS</b><br>6000 4TH ST NW<br>ALBUQUERQUE, NM 87107                                                                                                          |          |                         |      |
| DRAWING TITLE <b>ELECTRICAL DETAILS</b>                                                                                                                                        |          |                         |      |
| SEAL                                                                                                                                                                           | DESIGNED | PROJECT NO              |      |
|                                                                                                                                                                                | DRAWN    | SCALE                   |      |
|                                                                                                                                                                                | CHECKED  | DRAWING NO <b>E-400</b> |      |
|                                                                                                                                                                                | REVIEWED | DATE 04-25-2025         |      |
| DATE 04-25-2025                                                                                                                                                                |          | OF                      |      |



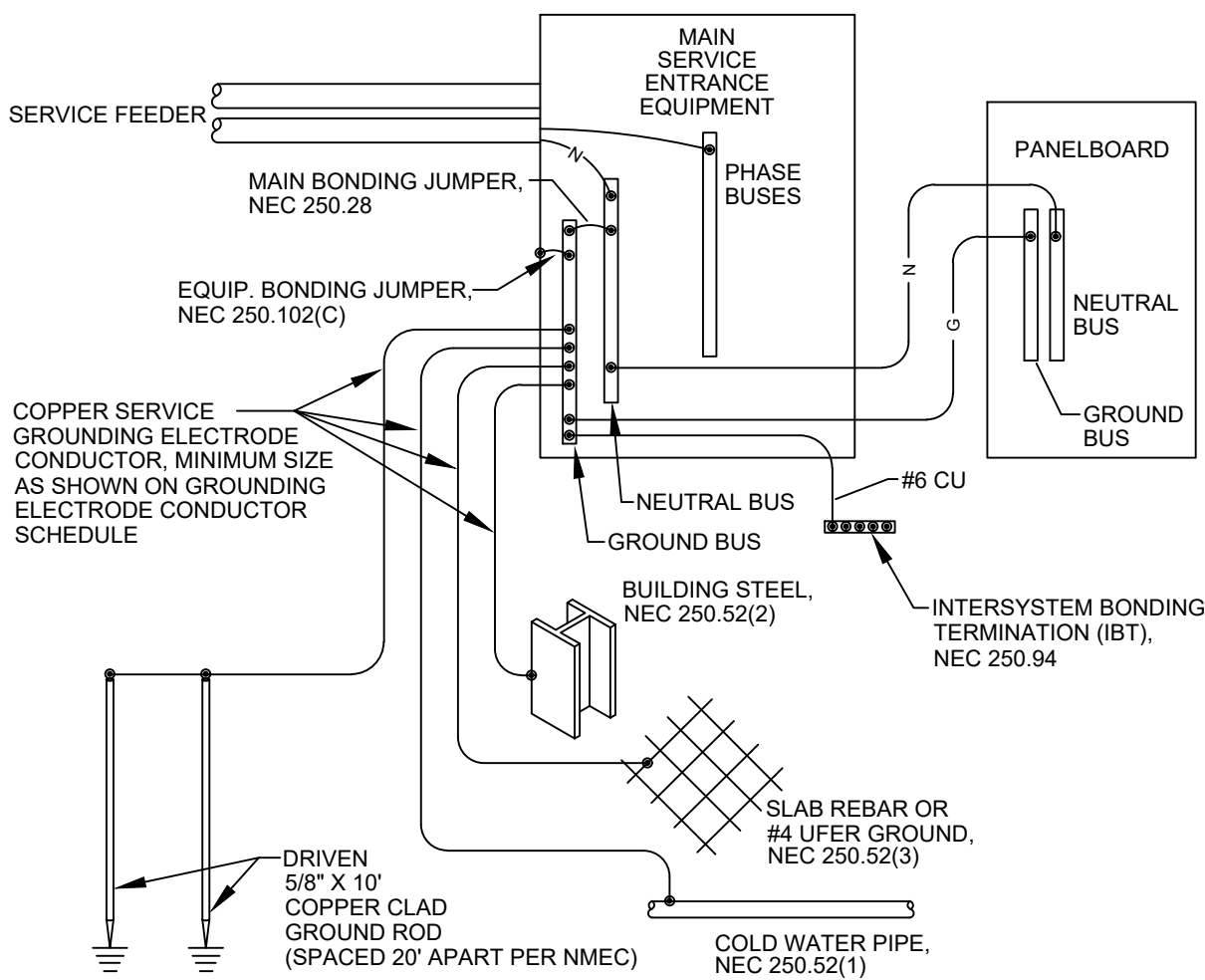


SERVICE GROUNDING SYSTEM GENERAL NOTES

- A. ALL CONDUCTORS USED FOR THE GROUNDING SYSTEM SHALL BE COPPER.
- B. CONNECT THE GROUNDING SYSTEM TO THE FOUR FOLLOWING COMPONENTS IF AVAILABLE:
- BUILDING STEEL.
  - METAL U.G. COLD WATER PIPE.
  - CONCRETE ENCASED REBAR OR #4 COPPER UFER.
  - 10' GROUND RODS.
- C. ANY SPLICING SHALL BE VIA IRREVERSIBLE COMPRESSION TYPE.
- D. THE GROUNDING SYSTEM SHALL COMPLY WITH ALL REQUIREMENTS OF ARTICLE 250 NEC, AND SHALL PROVIDE 5 OHMS OR LESS RESISTANCE TO GROUND. PROVIDE TEST REPORT VERIFYING RESISTANCE LEVEL IS IN COMPLIANCE WITH 5 OHM MAXIMUM.

GROUNDING ELECTRODE CONDUCTOR SCHEDULE

| SERVICE AMPACITY | EQUIV. CU WIRE SIZE | MAIN BONDING JUMPER | EQUIPMENT BONDING JUMPER | METALLIC PIPE CONDUCTOR | BUILDING STEEL CONDUCTOR | REBAR OR UFER CONDUCTOR | GROUND ROD CONDUCTOR |
|------------------|---------------------|---------------------|--------------------------|-------------------------|--------------------------|-------------------------|----------------------|
| 100A             | #2                  | #8                  | #8                       | #8                      | #8                       | #8                      | #8                   |
| 150A             | #1/0                | #6                  | #6                       | #6                      | #6                       | #6                      | #6                   |
| 200A             | #3/0                | #4                  | #4                       | #4                      | #4                       | #4                      | #6                   |
| 225A             | #4/0                | #2                  | #2                       | #2                      | #2                       | #4                      | #6                   |
| 400A             | #600                | #1/0                | #1/0                     | #1/0                    | #1/0                     | #4                      | #6                   |
| 600A             | (2) X 350           | #2/0                | #2/0                     | #2/0                    | #2/0                     | #4                      | #6                   |
| 800A             | (2) X 600           | #3/0                | #3/0                     | #2/0                    | #2/0                     | #4                      | #6                   |
| 1000A            | (3) X 400           | #3/0                | #3/0                     | #3/0                    | #3/0                     | #4                      | #6                   |
| 1200A            | (4) X 350           | #4/0                | #4/0                     | #3/0                    | #3/0                     | #4                      | #6                   |
| 1600A            | (5) X 400           | 250KCMIL            | 250KCMIL                 | #3/0                    | #3/0                     | #4                      | #6                   |
| 2000A            | (6) X 400           | 350KCMIL            | 350KCMIL                 | #3/0                    | #3/0                     | #4                      | #6                   |



SERVICE GROUNDING SYSTEM DIAGRAM  
SCALE: NONE

SERVICE CHARACTERISTICS: APARTMENTS

208/120 VOLT, 3PHASE, 4 WIRE, 60 HZ

APARTMENT(S) METER CENTER:

CALCULATED LOADS (APARTMENTS): 840.8 KVA

ESTIMATED DEMAND (APARTMENTS): 294.3 KVA (818 AMPS)

COMMON AREA: 40.3 KVA (112 AMPS)

FUTURE LOAD: 7.2 KVA

TOTAL LOAD: 341.8 KVA (949 AMPS)

RECOMMENDED UTILITY TRANSFORMER SIZE IS 500 KVA  
AVAILABLE FAULT CURRENT PER PNM DM-4-11.0: 60,000 AIC

\*ALL SERVICE EQUIPMENT SHALL BE BRACED AT 65K AIC UNLESS NOTED OTHERWISE

RISER DIAGRAM KEYED NOTES

- NEW UTILITY OWNED OIL-FILLED 3-PHASE TRANSFORMER. REFER TO GENERAL NOTES ON SHEET E-001 FOR ADDITIONAL REQUIREMENTS.
- CONCRETE PAD IN ACCORDANCE WITH SERVING UTILITY'S CONSTRUCTION STANDARD DS-7-16.5.
- GROUNDING ELECTRODES IN COMPLIANCE WITH NEC 250.

IF ONE, OR MORE, OF THE PRESCRIBED GROUNDING ELECTRODES ARE ABSENT FROM THIS PROJECT, CONTRACTOR SHALL COMPLY WITH NEW MEXICO STATE CODE NMAC 14.10.4 ARTICLE 250-50.

- MODULAR METERING CENTER, SIZE AS SHOWN, WITH ARC ENERGY REDUCTION. METER CENTER SHALL BE 208Y/120-VOLT, 3-PHASE IN; 1-PHASE OUT, WITH ALUMINUM BUS AND METER SOCKETS ACCEPTABLE TO THE SERVING UTILITY COMPANY. ALL BREAKERS SHALL BE BRACED AT 65,000 AIC.

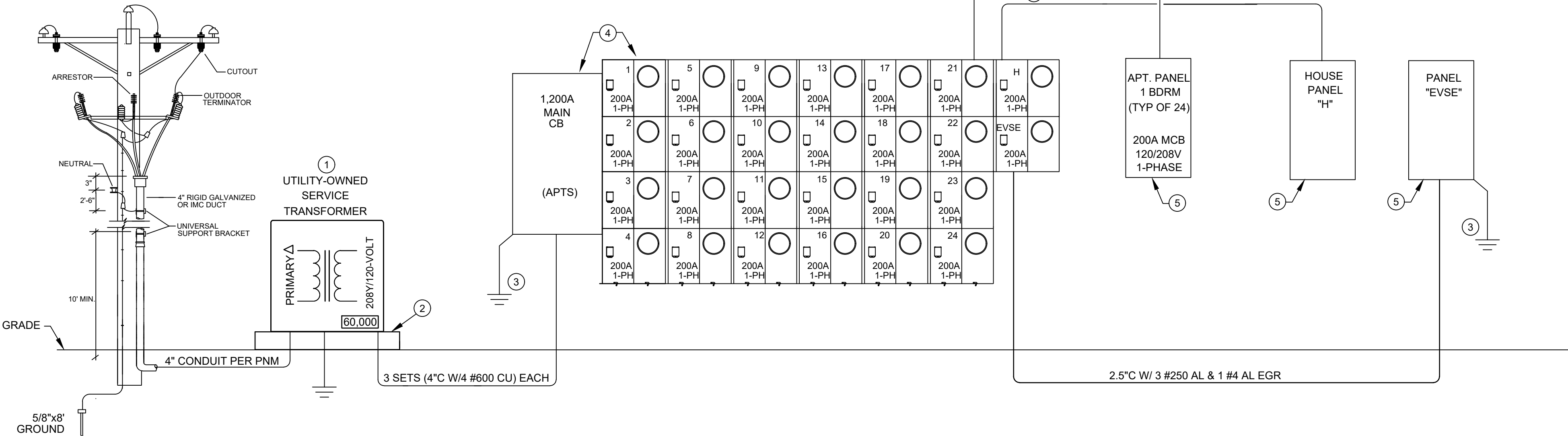
CONTRACTOR SHALL PRODUCE A SCALE DRAWING OF ENTIRE METER CENTER BASED ON ACTUAL MANUFACTURER'S DIMENSIONS AND COORDINATE THE EXACT PLACEMENT OF ELECTRICAL DISTRIBUTION EQUIPMENT WITH THE ARCHITECT ARCHITECT PRIOR TO ORDERING, ROUGH-IN, OR INSTALLATION TO AVOID CONFLICTS WITH WINDOWS, DOORS, WORKING CLEARANCES AND THE LIKE.

- LOAD CENTER. REFER TO SCHEDULE FOR ADDITIONAL REQUIREMENTS.

- 200-AMP, 1-PHASE, FEEDER OPTIONS BEFORE VOLTAGE DROP CONSIDERATIONS. REFER TO GENERAL NOTES ON SHEET E-001.

COPPER: 2" CONDUIT WITH 3 #2/0 CU AND 1 #6 CU EGR  
ALUMINUM: 2" CONDUIT WITH 3 #4/0 AL AND 1 #4 AL EGR.

PROPERLY LISTED MULTI-WIRE ASSEMBLIES ACCEPTABLE TO THE AHJ ARE PERMISSIBLE IN LIEU OF CONDUIT. WHERE TYPE "SER" CABLE IS UTILIZED, CONTRACTOR SHALL COMPLY WITH NM STATE CODE NMAC 14.10.4 ARTICLE 215.



POWER RISER DIAGRAM

SCALE: NONE

| PANEL: TYP. 1 BDRM APT                                            |                   |             |      | VOLTAGE: 120/208V |         |         | MAINS: 200A MLO              |         |                  |      | WIRING: 1 PHASE, 3-W |                 |          |
|-------------------------------------------------------------------|-------------------|-------------|------|-------------------|---------|---------|------------------------------|---------|------------------|------|----------------------|-----------------|----------|
| LOCATION: REFER TO UNIT PLANS                                     |                   |             |      | MOUNTING: FLUSH   |         |         | DEVICE FAMILY: PLUG-ON       |         |                  |      | ENCLOSURE: NEMA 1    |                 |          |
| FED FROM: METER CENTER                                            |                   |             |      | FEED: BOTTOM      |         |         | O.C. DEVICE: CIRCUIT BREAKER |         |                  |      | AIC: 10,000          |                 |          |
| BKR SIZE                                                          | NOTES             | DESCRIPTION | CODE | LOAD (VA)         | CKT NO. | PHASE A | PHASE B                      | CKT NO. | LOAD (VA)        | CODE | DESCRIPTION          | NOTES           | BKR SIZE |
| 20A-1P                                                            | LIGHTING          | LIGHTING    | LTG  | 272               | 1       | 272     |                              | 2       |                  |      | SPARE                |                 | 20A-1P   |
| 20A-1P                                                            | BEDROOM           | RECEPTACLES | REC  | 1080              | 3       |         | 1440                         | 4       | 360              | REC  | RECEPTACLES          | BATH GFCI       | 20A-1P   |
| 20A-1P                                                            |                   | SPARE       |      |                   | 5       | 1080    |                              | 6       | 1080             | REC  | RECEPTACLES          | LIVING/DINING   | 20A-1P   |
| 20A-1P                                                            | REFRIGERATOR      | RECEPTACLES | REC  | 1140              | 7       |         | 1140                         | 8       |                  |      | SPARE                |                 | 20A-1P   |
| 20A-1P                                                            | KITCHEN           | RECEPTACLES | REC  | 1500              | 9       | 3000    |                              | 10      | 1500             | REC  | RECEPTACLES          | KITCHEN         | 20A-1P   |
| 20A-1P                                                            | DISHWASH/DISPOSAL | RECEPTACLES | REC  | 900               | 11      |         | 5060                         | 12      | 4160             | REC  | RECEPTACLES          | RANGE           | 50A-2P   |
| 20A-1P                                                            | MICROWAVE         | RECEPTACLES | REC  | 1200              | 13      | 5360    |                              | 14      | 4160             |      |                      |                 |          |
| 35A-2P                                                            | WATER HEATER      | MECHANICAL  | MECH | 2246              | 15      |         | 4746                         | 16      | 2500             | REC  | RECEPTACLE           | WASHER/DRYER    | 30A-2P   |
| -                                                                 | -                 | -           | -    | 2246              | 17      | 4746    |                              | 18      | 2500             |      |                      |                 |          |
| 20A-1P                                                            | GENERAL           | RECEPTACLES | REC  | 180               | 19      |         | 2062                         | 20      | 1882             | MECH | MECHANICAL           | FCLU-2          | 30A-2P   |
| 30A-2P                                                            | CU-2              | MECHANICAL  | MECH | 1882              | 21      | 3764    |                              | 22      | 1882             | -    | -                    |                 |          |
| -                                                                 | -                 | -           | -    | 1882              | 23      |         | 2182                         | 24      | 300              | REC  | RECEPTACLES          | SMOKE DETECTORS | 20A-1P   |
| 20A-1P                                                            | HOOD EXHAUST      | MECHANICAL  | REC  | 180               | 25      | 180     |                              | 26      |                  |      | PROV                 |                 | 20A-1P   |
| 20A-1P                                                            |                   | SPARE       |      |                   | 27      |         |                              | 28      |                  |      | PROV                 |                 | 20A-1P   |
| 20A-1P                                                            |                   | SPARE       |      |                   | 29      |         |                              | 30      |                  |      | PROV                 |                 | 20A-1P   |
| TOTAL                                                             |                   |             | KVA  |                   |         | AMPS    |                              |         | PHASE TOTALS: VA |      |                      |                 |          |
|                                                                   |                   |             |      |                   |         |         |                              |         | PHASE A: 18402   |      |                      | 153.4           |          |
|                                                                   |                   |             |      |                   |         |         |                              |         | PHASE B: 16630   |      |                      | 138.6           |          |
| 1.) PROVIDE GROUND BAR, NEUTRAL BAR, DOOR-IN-DOOR TRIM.           |                   |             |      |                   |         |         |                              |         |                  |      |                      |                 |          |
| 2.) PROVIDE INTEGRAL 50ka SURGE PROTECTIVE DEVICE PER NEC 242.14. |                   |             |      |                   |         |         |                              |         |                  |      |                      |                 |          |
| 3.) PROVIDE GFCI AND AFCI BREAKERS PER NEC 2020.                  |                   |             |      |                   |         |         |                              |         |                  |      |                      |                 |          |
| 4.) BREAKER CHARACTERISTICS SHALL MATCH LOAD(S) SERVED.           |                   |             |      |                   |         |         |                              |         |                  |      |                      |                 |          |

| PANEL: "H"             |                        |                |                  | VOLTAGE: 120/240V |         |            | MAINS: 200A MLO              |                                                                   |           |      | WIRING: 1 PHASE, 3-W |                       |          |        |  |
|------------------------|------------------------|----------------|------------------|-------------------|---------|------------|------------------------------|-------------------------------------------------------------------|-----------|------|----------------------|-----------------------|----------|--------|--|
| LOCATION: OFFICE AREA  |                        |                |                  | MOUNTING: SURFACE |         |            | DEVICE FAMILY: PLUG-ON       |                                                                   |           |      | ENCLOSURE: NEMA 3R   |                       |          |        |  |
| FED FROM: METER CENTER |                        |                |                  | FEED: TOP         |         |            | O.C. DEVICE: CIRCUIT BREAKER |                                                                   |           |      | AIC: 10,000          |                       |          |        |  |
| BKR SIZE               | NOTES                  | DESCRIPTION    | CODE             | LOAD (VA)         | CKT NO. | PHASE A    | PHASE B                      | CKT NO.                                                           | LOAD (VA) | CODE | DESCRIPTION          | NOTES                 | BKR SIZE |        |  |
| 20A-1P                 | STAIRS/ STORAGE        | LIGHTING       | LTG              | 1175              | 1       | 2255       | 2400                         | 2                                                                 | 1080      | REC  | RECEPTACLES          | COMMON AREAS          | 20A-1P   |        |  |
| 20A-1P                 |                        | EXT WALL PACKS | LTG              | 600               | 3       |            |                              | 4                                                                 | 1800      | REC  | ROOFTOP GFCI         | NEC 210.63(A)         | 20A-1P   |        |  |
| 20A-1P                 | OFFICE                 | LIGHTING       | LTG              | 317               | 5       | 677        |                              | 6                                                                 | 360       | REC  | RECEPTACLES          | TELE/DATA TBB         | 20A-1P   |        |  |
| 20A-1P                 | COPPER                 | RECEPTACLES    | REC              | 900               | 7       |            |                              | 1620                                                              | 8         | 720  | REC                  | RECEPTACLES           | OFFICE   | 20A-1P |  |
| 20A-1P                 |                        | SPARE          |                  |                   | 9       |            |                              |                                                                   | 10        |      |                      | SPARE                 |          | 20A-1P |  |
| 20A-1P                 |                        | SPARE          |                  |                   | 11      |            |                              |                                                                   | 12        |      |                      | SPARE                 |          | 20A-1P |  |
| 20A-1P                 |                        | SPARE          |                  |                   | 13      |            |                              |                                                                   | 14        |      |                      | SPARE                 |          | 20A-1P |  |
| 20A-1P                 |                        | SPARE          |                  |                   | 15      |            |                              |                                                                   | 16        |      |                      | SPARE                 |          | 20A-1P |  |
| 20A-1P                 |                        | SPARE          |                  |                   | 17      |            |                              |                                                                   | 18        |      |                      | SPARE                 |          | 20A-1P |  |
| 20A-1P                 |                        | SPARE          |                  |                   | 19      |            |                              |                                                                   | 20        |      |                      | SPARE                 |          | 20A-1P |  |
| 20A-1P                 |                        | SPARE          |                  |                   | 21      |            |                              | 22                                                                |           |      | SPARE                |                       | 20A-1P   |        |  |
| 20A-1P                 |                        | SPARE          |                  |                   | 23      |            |                              | 24                                                                |           |      | SPARE                |                       | 20A-1P   |        |  |
| 20A-1P                 |                        | SPARE          |                  |                   | 25      |            |                              | 26                                                                |           |      | SPARE                |                       | 20A-1P   |        |  |
| 20A-1P                 | PROVIDE LOCK-ON DEVICE | OCTV HEAD-END  | REC              | 900               | 27      |            | 900                          | 28                                                                |           |      | SPARE                |                       | 20A-1P   |        |  |
| 20A-1P                 | PROVIDE LOCK-ON DEVICE | ACCESS CONTROL | REC              | 900               | 29      | 2100       |                              | 30                                                                | 1200      | REC  | HOT-BOX              | DOMESTIC              | 20A-1P   |        |  |
| 20A-1P                 | PROVIDE LOCK-ON DEVICE | FACP           | REC              | 900               | 31      |            | 2100                         | 32                                                                | 1200      | REC  | HOT-BOX              | IRRIGATION            | 20A-1P   |        |  |
| 20A-1P                 |                        | MOTORIZED GATE | REC              | 900               | 33      | 1080       |                              | 34                                                                | 180       | REC  | RECEPTACLES          | IRRIGATION CONTROLLER | 20A-1P   |        |  |
| 40A-2P                 |                        | FCU-2          |                  | 2548              | 35      |            | 3848                         | 36                                                                | 1300      | MEC  | ELU-I                |                       | 25A-2P   |        |  |
| -                      |                        |                |                  | 2548              | 37      | 3848       |                              | 40                                                                | 1300      |      |                      |                       | -        |        |  |
| 40A-2P                 |                        | CU-2           |                  | 2548              | 39      |            | 2548                         | 42                                                                |           |      | PROV                 |                       |          |        |  |
| -                      |                        |                |                  | 2548              | 41      | 2548       |                              |                                                                   |           |      |                      | PROV                  |          |        |  |
|                        |                        |                | PHASE TOTALS: VA |                   |         |            | AMPS                         | NOTES:                                                            |           |      |                      |                       | 04-2025  |        |  |
|                        |                        |                | PHASE A: 12508   |                   |         |            | 104.2                        | 1.) PROVIDE GROUND BAR, NEUTRAL BAR, DOOR-IN-DOOR TRIM.           |           |      |                      |                       |          |        |  |
|                        |                        |                | PHASE B: 13416   |                   |         |            | 111.8                        | 2.) PROVIDE INTEGRAL 50ka SURGE PROTECTIVE DEVICE PER NEC 242.14. |           |      |                      |                       |          |        |  |
|                        |                        |                |                  |                   |         |            |                              | 3.) PROVIDE GFCI AND AFCI BREAKERS PER NEC 2020.                  |           |      |                      |                       |          |        |  |
|                        |                        |                |                  |                   |         |            |                              | 4.) BREAKER CHARACTERISTICS SHALL MATCH LOAD(S) SERVED.           |           |      |                      |                       |          |        |  |
| TOTAL                  |                        |                | KVA 25.9         |                   |         | AMPS 108.0 |                              |                                                                   |           |      |                      |                       |          |        |  |

| PANEL: "EVSE"                |       |             |                  | VOLTAGE: 120/240V |         |         |                                                         | MAINS: 200A MLO              |                                                                  |      |             | WIRING: 1 PHASE, 3-W |          |         |  |
|------------------------------|-------|-------------|------------------|-------------------|---------|---------|---------------------------------------------------------|------------------------------|------------------------------------------------------------------|------|-------------|----------------------|----------|---------|--|
| LOCATION: REFER TO SITE PLAN |       |             |                  | MOUNTING: SURFACE |         |         |                                                         | DEVICE FAMILY: PLUG-ON       |                                                                  |      |             | ENCLOSURE: NEMA 3R   |          |         |  |
| FED FROM: METER CENTER       |       |             |                  | FEED: BOTTOM      |         |         |                                                         | O.C. DEVICE: CIRCUIT BREAKER |                                                                  |      |             | AIC: 10,000          |          |         |  |
| BKR SIZE                     | NOTES | DESCRIPTION | CODE             | LOAD (VA)         | CKT NO. | PHASE A | PHASE B                                                 | CKT NO.                      | LOAD (VA)                                                        | CODE | DESCRIPTION | NOTES                | BKR SIZE |         |  |
| 50A-2P                       |       | EV CHARGER  |                  | 3600              | 1       | 7200    |                                                         | 2                            | 3600                                                             |      | EVSE        | FUTURE               | 50A-2P   |         |  |
|                              |       |             |                  | 3600              | 3       |         | 7200                                                    | 4                            | 3600                                                             |      |             |                      | -        |         |  |
| 50A-2P                       |       | EV CHARGER  |                  | 3600              | 5       | 3600    |                                                         | 6                            |                                                                  |      | PROV        |                      |          |         |  |
| -                            |       |             |                  | 3600              | 7       |         | 3600                                                    | 8                            |                                                                  |      | PROV        |                      |          |         |  |
|                              |       | PROV        |                  |                   | 9       |         |                                                         | 10                           |                                                                  |      | PROV        |                      |          |         |  |
|                              |       | PROV        |                  |                   | 11      |         |                                                         | 12                           |                                                                  |      | PROV        |                      |          |         |  |
|                              |       |             | PHASE TOTALS: VA |                   |         |         | AMPS                                                    |                              | NOTES:                                                           |      |             |                      |          | 04-2025 |  |
|                              |       |             | PHASE A: 10800   |                   |         |         | 90.0                                                    |                              | 1.) PROVIDE GROUND BAR, NEUTRAL BAR, DOOR-IN-DOOR TRIM.          |      |             |                      |          |         |  |
| TOTAL                        |       |             | PHASE B: 10800   |                   |         |         | 90.0                                                    |                              | 2.) PROVIDE INTEGRAL 50ka SURGE PROTECTIVE DEVICE PER NEC 242.14 |      |             |                      |          |         |  |
|                              |       |             |                  |                   |         |         | 3.) PROVIDE GFCI AND AFCI BREAKERS PER NEC 2020.        |                              |                                                                  |      |             |                      |          |         |  |
|                              |       |             |                  |                   |         |         | 4.) BREAKER CHARACTERISTICS SHALL MATCH LOAD(S) SERVED. |                              |                                                                  |      |             |                      |          |         |  |



LA PLATA APARTMENTS  
6000 4TH ST NW  
ALBUQUERQUE, NM 87107

RISER DIAGRAM

|      |            |    |            |
|------|------------|----|------------|
| SEAL | DESIGNED   | JT | PROJECT NO |
|      | DRAWN      | DP | SCALE      |
|      | CHECKED    | JT | DRAWING NO |
|      | REVIEWED   | JT |            |
| DATE | 04-25-2025 |    |            |

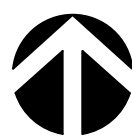
E-600





## ELECTRICAL SITE PLAN

SCALE: 1" = 20'-0"

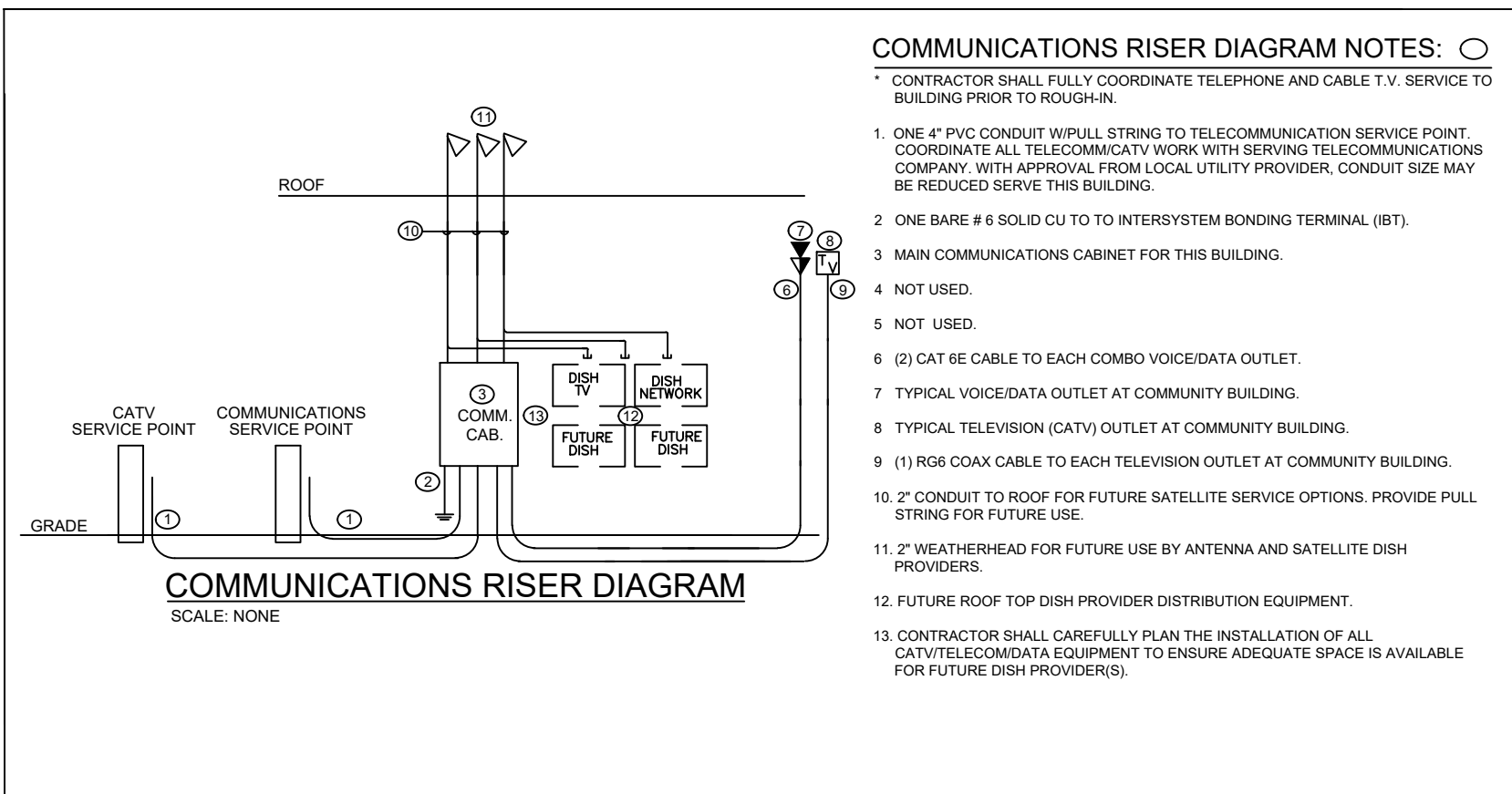


### GENERAL NOTES:

- A. REFER TO SHEET E-400 FOR FIRE ALARM RISER DIAGRAM AND ADDITIONAL REQUIREMENTS.

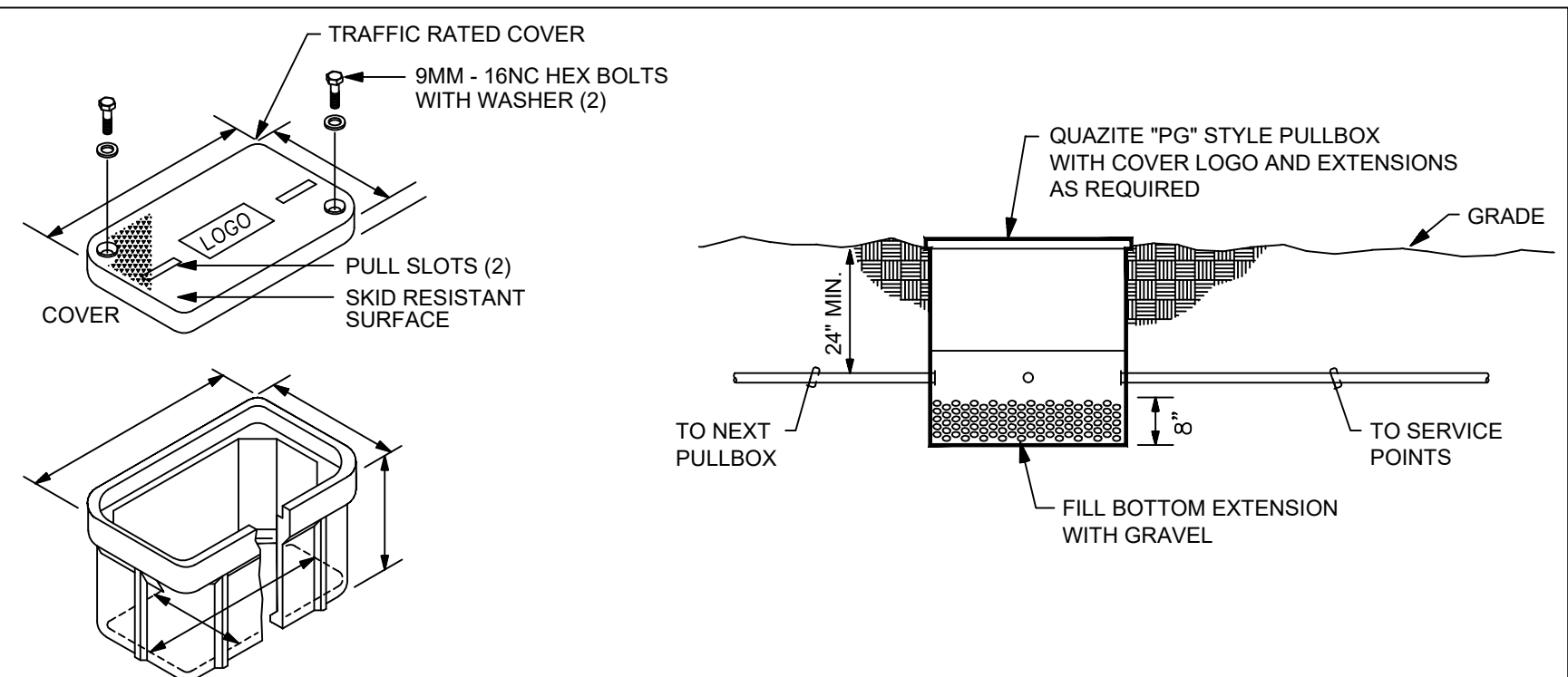
### ELECTRICAL KEYED NOTES: ○

- EXISTING 1-PHASE TRANSFORMER - TO REMAIN.
- EXISTING POWER POLE.
- NEW 3-PHASE TRANSFORMER AND SERVICE ENTRANCE EQUIPMENT. REFER TO RISER DIAGRAM FOR ADDITIONAL REQUIREMENTS..
- METERING EQUIPMENT PER PNM REQUIREMENTS. REFER TO RISER DIAGRAM.
- EXISTING TRAFFIC SIGNAL - TO REMAIN.
- EXISTING TELECOM BOX - TO REMAIN.
- EXISTING TRAFFIC CONTROL VAULT- TO REMAIN.
- WEATHER-PROOF J-BOX SERVING MOTORIZED GATE OPERATOR. EXTEND 1" CONDUIT WITH 2 #6 CU AND 1 #6 CU EGR TO CIRCUIT INDICATED. COORDINATE EXACT LOCATION WITH GATE INSTALLER PRIOR TO ROUGH-IN.
- WEATHERPROOF JUNCTION BOX FOR DATA COMMUNICATION WITH OPERABLE GATE OPERATOR. EXTEND 1" CONDUIT WITH MULE-TAPE MEASURING PULL-STRING TO MAIN TELE-COM CLOSET. COORDINATE EXACT LOCATION WITH GATE INSTALLER PRIOR TO ROUGH-IN.
- APPROXIMATE LOCATION OF IRRIGATION TIME-CLOCK. PROVIDE GFCI RECEPTACLE LOCATED PER LANDSCAPE DRAWINGS.
- WEATHERPROOF GFCI RECEPTACLE WITH AUDIBLE ALARM INSTALLED IN HOT-BOX FOR HEAT-TAPE. VERIFY EXACT LOCATION(S) PRIOR TO ROUGH-IN. EXTEND .75" CONDUIT WITH 2 #10 CU AND 1 #0 CU EGR TO CIRCUIT INDICATED.
- ELECTRIC VEHICLE CHARGER FBO. INSTALL 50-AMP, 208-VOLT, 1 PHASE, WEATHER RESISTANT RECEPTACLE IN NEMA CONFIGURATION COMPATIBLE WITH OWNER'S EQUIPMENT. ON WALL OR UNISTRUT POST. EXTEND 1" CONDUIT WITH 3 #6 CU AND 1 #6 CU EGR TO PANEL "H".
- FUTURE EVSE. PROVIDE 17X30 TIER 22 POLYMER CONCRETE PULL-BOX WITH ETCHED LID "ELECTRIC". EXTEND 1" CONDUIT WITH MULE-TAPE PULL-STRING TO HOUSE PANEL.
- 4" PVC CONDUIT FOR TELEPHONE/DATA UTILITY SERVICE. REFER TO COMMUNICATIONS RISER DIAGRAM FOR ADDITIONAL REQUIREMENTS. COORDINATE EXACT ROUTING AND SERVICE POINT WITH UTILITY PROVIDER PRIOR TO ROUGH-IN.
- FIRE ALARM POST INDICATOR VALVE RELAY MODULE. EXTEND .75" CONDUIT TO FACP. CONFIRM EXACT LOCATION WITH FIRE SPRINKLER INSTALLER PRIOR TO ROUGH-IN.



### COMMUNICATIONS RISER DIAGRAM NOTES: ○

- CONTRACTOR SHALL FULLY COORDINATE TELEPHONE AND CABLE T.V. SERVICE TO BUILDING PRIOR TO ROUGH-IN.
- ONE 4" PVC CONDUIT W/ PULL STRING TO TELECOMMUNICATION SERVICE POINT. COORDINATE ALL TELECOMMUNICATION WORK WITH SERVING TELECOMMUNICATIONS COMPANY. WITH APPROVAL FROM LOCAL UTILITY PROVIDER, CONDUIT SIZE MAY BE REDUCED SERVE THIS BUILDING.
  - ONE BARE # 6 SOLID CU TO TO INTERSYSTEM BONDING TERMINAL (BT).
  - MAIN COMMUNICATIONS CABINET FOR THIS BUILDING.
  - NOT USED.
  - NOT USED.
  - (2) CAT 6E CABLE TO EACH COMBO VOICE/DATA OUTLET.
  - TYPICAL VOICE/DATA OUTLET AT COMMUNITY BUILDING.
  - TYPICAL TELEVISION (CATV) OUTLET AT COMMUNITY BUILDING.
  - (1) RG6 COAX CABLE TO EACH TELEVISION OUTLET AT COMMUNITY BUILDING.
  - 2" CONDUIT TO ROOF FOR FUTURE SATELLITE SERVICE OPTIONS. PROVIDE PULL STRING FOR FUTURE USE.
  - 2" WEATHERHEAD FOR FUTURE USE BY ANTENNA AND SATELLITE DISH PROVIDERS.
  - FUTURE ROOF TOP DISH PROVIDER DISTRIBUTION EQUIPMENT.
  - CONTRACTOR SHALL CAREFULLY PLAN THE INSTALLATION OF ALL CATV/TELECOM/DATA EQUIPMENT TO ENSURE ADEQUATE SPACE IS AVAILABLE FOR FUTURE DISH PROVIDER(S).



### PULL BOX DETAIL

- A. DIMENSIONS VARY: REFER TO ELECTRICAL SITE PLAN FOR SIZE(S). CONTRACTOR SHALL ADJUST PULL BOX DIMENSIONS AND MAINTAIN NEC COMPLIANCE WHEN CONDUITS ARE ADDED OR INCREASED FOR VOLTAGE DROP.

- B. TIER RATINGS SHALL BE ACCORDING TO PEDESTRIAN/VEHICLE TRAFFIC LOCATIONS.

### UG PULL BOX DETAIL

SCALE: NONE

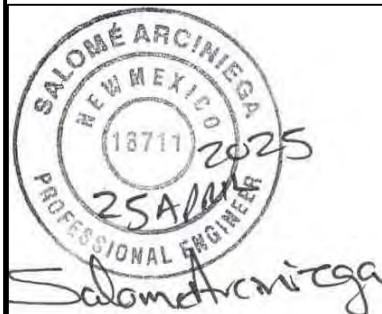
| No | Revision | Item | Date |
|----|----------|------|------|
|    |          |      |      |
|    |          |      |      |
|    |          |      |      |



**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**  
2818 4th St NW, Suite C Albuquerque NM 87107  
scott@scarchitects.com  
505.401.7575

**LA PLATA APARTMENTS**  
6000 4TH ST NW  
ALBUQUERQUE, NM 87107

DRAWING TITLE  
**ELECTRICAL SITE PLAN**

| SEAL                                                                                  | DESIGNED | PROJECT NO    |
|---------------------------------------------------------------------------------------|----------|---------------|
|  | DRAWN    | SCALE         |
|                                                                                       | CHECKED  | DRAWING NO    |
|                                                                                       | REVIEWED | <b>ES-100</b> |
|                                                                                       | DATE     | 04-25-2025    |



SECTION 26 0500- BASIC ELECTRICAL MATERIALS AND METHODS

- PART 1 GENERAL
- 1.1 RELATED DOCUMENTS
- A. The Contractor shall make a thorough field investigation of all work described above and shown on the contract drawings prior to submitting a bid on this project to ensure the bid is complete and comprehensive. All "systems" shall be installed in order to be fully functional.
- 1.2 SUMMARY
- A. This Section includes the following electrical materials and methods:
1. Building wire, connectors, and splices for branch circuits and feeders.
  2. Supporting devices for electrical components.
- B. Furnish all labor and materials necessary for complete electrical service to all equipment which requires electric connections installed as part of this project. Provide temporary electric power of sufficient capacity to allow construction.
- C. Refer to Electrical Drawings for additional details required for this project.
- 1.3 ELECTRICAL SPECIFICATION INDEX
- 26 0500 - Basic Electrical Materials and Methods  
26 0533 - Raceways and Boxes  
26 2416 - Panelboards  
26 2816 - Enclosed Switches and Circuit Breakers
- 1.4 SUBMITTALS
- A. General: Electrical submittals shall be provided for approval. The Contractor shall provide submittal information for:
1. Panelboards
  2. Safety switches
  3. Fuses
  4. Light Fixtures
  5. Occupancy Sensors (Controls)
  6. Fire Alarm
  7. Dry-type transformers
  8. Special systems illustrated on the contract drawings.

- 1.5 QUALITY ASSURANCE
- A. Comply with the current edition of NFPA 70 (NEC) and current State Electrical Code for components and installation.
- B. When Applicable, IECC, HUD, LEED, Energy Star, Night sky Statutes, along with all local ordinances shall be satisfied by the installation of the Contractor.
- 1.6 DRAWINGS
- A. All drawings included in the Contract Documents are to be considered as part of the work. Architectural drawings shall take precedence over electrical drawings.
- B. As-built drawings: During project construction, the Contractor shall maintain an accurate record of the installation of all electrical work, carefully noting any deviations from the contract drawings. Upon project completion, the Contractor shall transfer all as-built information to a single neat and legible drawing set.
- C. Upon completion of the fire alarm system installation, the contractor shall give the owner a complete copy of the fire alarm programming manual (including passwords).

- PART 2 - PRODUCTS
- 2.1 EQUIPMENT REQUIREMENTS
- A. The electrical equipment connections on the drawings are based on specific equipment and models. Any additional costs resulting from any changes in equipment furnished will be the complete responsibility of the Division furnishing the equipment.
- B. Duplex receptacles and wall switches shall be rated 20A.
- C. Fuses shall be dual element Buss Fusestrons unless noted otherwise.
- D. Safety switches rated 100A and above shall be heavy-duty rated.
- 2.2 BUILDING WIRE
- A. Description: Single conductor, copper. Solid conductor for No. 10 AWG and smaller; stranded conductor for larger than No. 10 AWG.
- 2.3 SUPPORTING DEVICES
- A. Channel and angle support systems, hangers, anchors, sleeves, brackets, fabricated items, and fasteners are designed to provide secure support from the building structure for electrical components.
1. Material: Steel, except as otherwise indicated, protected from corrosion with zinc coating or with treatment of equivalent corrosion resistance using approved alternative finish or inherent material characteristics.
  2. Metal Items for Use Outdoors or in Damp Locations: Hot-dip galvanized steel, except as otherwise indicated.
- B. Steel channel supports have 9/16-inch diameter holes at a maximum of 8 inches o.c., in at least 1 surface.
1. Fittings and accessories mate and match with channels and are from the same manufacturer.
- C. Nonmetallic Channel and Angle Systems: Structural-grade, factory-formed, fiberglass-resin channels and angles with 9/16-inch diameter holes at a maximum of 8 inches o.c., in at least one surface.
1. Fittings and accessories shall mate with channels or angles and be of the same manufacturer.
  2. Fitting and Accessory Material: Same as channels, except metal items may be stainless steel.

- 2.4 ELECTRICAL IDENTIFICATION
- A. Use colors prescribed by ANSI A13.1 and NFPA 70. Color code all wiring as follows: For 120/208V - Phase A-Black; Phase B-Red; Phase C-Blue; Neutral-White; Ground-Green.
- 2.5 TOUCH-UP PAINT
- A. For Equipment: Provided by equipment manufacturer and selected to match equipment finish.
- B. For Non-equipment Surfaces: Matching type and color of undamaged, existing adjacent finish.

- PART 3 - EXECUTION
- 3.1 EQUIPMENT INSTALLATION REQUIREMENTS
- A. Where components and equipment are indicated to be installed, the term "install" includes all work, materials, and associated accessories necessary to obtain a completely operational system.
- B. Install items level, plumb, and parallel and perpendicular to other building systems and components, except where otherwise indicated. Conduits and wiring shall be concealed wherever possible and allowed by code.
- 3.2 WIRING METHODS
- A. Feeders: Type THHN/THWN, in copper conductor, RHW or XHHW in aluminum conductor, in raceway, except as otherwise indicated. Branch Circuits: Type THHN/THWN, in raceway or type MC Cable or type NM, NMC or NMS where allowed by NEC and State codes.
- B. Type MC or Type NMB cable shall be acceptable where in compliance with current NEC, unless prohibited by HUD or MFA financing.
- C. Upsize circuits and feeders as necessary to limit overall voltage drop to the furthest outlet on a branch circuit to 5% maximum.
- 3.3 ELECTRICAL SUPPORTING METHODS
- A. Damp Locations and Outdoors: Hot-dip galvanized materials.
- B. Dry Locations: Steel materials.
- C. Strength of Supports: Adequate to carry all present and future loads, times and safety factor of at least 4; 200-lb-minimum design load.
- 3.4 INSTALLATION
- A. Install wires in raceway according to manufacturer's written instructions and NECA's "Standard of Installation". Coordinate special systems work with Owner and Cabling Contractor.
- B. Conductor Splices: Keep to the minimum possible.
- C. Install devices to securely and permanently fasten and support electrical components.
- D. Raceway Supports: Comply with NFPA 70 and the following requirements:
1. Conform to manufacturer's recommendations for selecting and installing supports.
- E. Fire stopping: Apply to cable and raceway penetrations of fire-rated floor and wall assemblies. Perform fire stopping to reestablish the original fire-resistance rating of the assembly at the penetration.
- F. Fastening: Unless otherwise indicated, securely fasten electrical items and their supporting components. Install identification devices where required.
1. Install labels where indicated and at locations for best convenience of viewing.
- 3.5 DEMOLITION
- A. Where electrical work to remain is damaged or disturbed in the course of the Work, remove damaged portions and install new products of equal capacity, quality, and functionality.
- 3.6 CUTTING AND PATCHING
- A. Cut, channel, chase, and drill floors, walls partitions, ceilings, and other surfaces necessary for electrical installations. Perform cutting and patching by skilled mechanics of the trades involved.
- B. General Contractor shall pair disturbed surfaces to match adjacent undisturbed surfaces.

- 3.7 TESTING
- A. Perform complete testing on all systems to ensure proper operation.
- 3.8 TRAINING
- A. Instruct Owner's personnel in the proper operation of electrical systems.
- 3.9 TOUCH-UP PAINT
- A. Thoroughly clean damaged areas and provide primer, intermediate, and finish coats.
- END OF SECTION 26 0500

SECTION 26 0533 - RACEWAYS AND BOXES

- PART 1 GENERAL
- 1.1 SECTION INCLUDES
- A. Conduits and fittings
- B. Outlet boxes
- 1.2 QUALITY ASSURANCE
- A. Comply with the current National Electrical Code (NEC) for installation.
- PART 2 PRODUCTS
- 2.1 COATINGS
- A. Provide products with zinc coating or with treatment of equivalent corrosion resistance.
- 2.2 INTERMEDIATE METAL CONDUIT AND FITTINGS (IMC)
- A. Furnish intermediate metal conduit (IMC) that meets the requirements of UL1242 - Intermediate Metal Conduit, ANSI C80.6 - Electrical Intermediate Conduit (IMC).
- B. Furnish zinc-plated, threaded, malleable iron fittings and conduit bodies that meet the requirements of UL514B - Fittings for Conduit and Outlet Boxes, and ANSI/NEMA FB1 - Fittings, Cast Metal Boxes, and Conduit Bodies for Conduit and Cable Assemblies.
- 2.3 ELECTRICAL METALLIC TUBING AND FITTINGS (EMT)
- A. Furnish galvanized electrical metallic tubing (EMT) that meets the requirements of UL797 - Electrical Metallic Tubing, NEMA C80.3 - Steel Electrical Metallic Tubing (EMT).
- B. Furnish compression or set-screw type fittings that meet the requirements of UL514B - Fittings for Conduit and Outlet Boxes, and ANSI/NEMA FB1 - Fittings, Cast Metal Boxes, and Conduit Bodies for Conduit and Cable Assemblies. Furnish insulated throat connectors.
- 2.4 FLEXIBLE METAL CONDUIT AND FITTINGS
- A. Furnish galvanized steel flexible metal conduit that meets the requirements of UL1 - Flexible Metal Electrical Conduit.
- 2.5 LIQUID-TIGHT FLEXIBLE METAL CONDUIT AND FITTINGS
- A. Furnish liquid-tight flexible metal conduit that meets that requirements of UL360 - Liquid-Tight Flexible steel Conduit, Electrical.
- 2.6 OUTLET BOXES
- A. Provide outlet boxes selected for specific installations using the guidance in NEMA OS 3, Selection and Installation Guidelines for Electrical Outlet Boxes, and the requirements of this Selection.
- B. For dry locations provide galvanized steel outlet boxes that comply with UL Standard 514-A - Metallic Outlet Boxes and ANSI/NEMA OS1 - Sheet-Steel Outlet Boxes, Device Boxes, Covers, and Box Supports.
- C. For damp or wet locations and for surface-mounted RMC or IMC raceways systems, provide outlet boxes that comply with UL Standard 498 and 514, ANSI/NEMA FB1.
- 2.7 PULL AND JUNCTION BOXES
- A. For dry locations in clean, non-contaminated environments use galvanized sheet steel pull and junction boxes that comply with UL Standard 50 Type 1 and the NEC as to size and construction. Use boxes not less than 4 inches square x 1-1/2 inches deep with screw-secured covers. Provide larger boxes as required by the number and size of conduits and conductors.
- B. For damp or wet, non-corrosive locations, in conduit runs 1 inch trade size and larger, provide galvanized sheet-steel pull and junction boxes and covers that comply with UL 50 Type 3R.

- PART 3 EXECUTION
- 3.1 EXISTING WORK
- A. Remove all exposed abandoned raceways, including abandoned raceways above accessible ceiling finishes, to the point that non-removable building construction (e.g. concrete or masonry) covers the raceway. Cut raceways flush with non-removable building construction.
- B. Disconnect abandoned outlets and remove devices. Remove abandoned outlets when raceway is abandoned and removed. Install blank cover for abandoned outlets not removed.
- 3.2 EXAMINATION
- A. Examine surfaces to receive raceways and boxes for compliance with installation tolerances and other conditions affecting performance of the raceway system. Do not proceed with installation until unsatisfactory conditions have been corrected.
- 3.3 GENERAL
- A. Install complete systems of raceways and boxes for wiring systems.
- B. Install raceways and boxes according to NECA 1 Standard Practices for Good Workmanship in Electrical Construction.
- C. Raceway termination points and box locations shown on the Drawings are in approximate locations unless dimensioned. Verify locations before rough-in.
- D. Raceway routing is shown on the Drawings in approximate locations unless dimensioned. Coordinate routing with structure and with work of other trades. Route as required for a complete wiring system.
- E. Ground and bond raceways and boxes as required by the NEC.
- F. Support raceways and boxes in accordance with the NEC. Arrange raceways and boxes to maintain headroom and present a neat, workmanlike appearance.
- 3.4 CONDUIT INSTALLATION
- A. For wiring systems less than 1000 volts use conduit materials in accordance with the NEC.
- B. Use 3/4-inch or larger conduit to enclose multiple conductors larger than 12 AWG. For home-run circuits, conduit shall be a minimum of 3/4".
- C. Conceal conduits, unless noted otherwise on drawings, within walls, floors and ceilings.
- D. Install insulating bushing or connectors with an insulated throat to protect conductors or cables at conduit terminations.
- E. Join nonmetallic conduit using cement as recommended by manufacturer.
- F. Install plastic-coated RMC and fittings according to the NEC and manufacturer's instructions. Use only fittings approved for use with that material. Patch all nicks and scrapes in PVC coating after installing conduits.
- G. Do not use RMC 90 degree elbows larger than 3 inch trade size; use plastic-coated RMC, tape-wrapped RMC, or tape-wrapped IMC for 3-1/2 inch trade size and larger 90 degree elbows.
- H. Maintain the following minimum clearances between conduit and surfaces with temperatures exceeding 104 degrees F (40 degrees C):
1. 6" at perpendicular crossings, 12" between parallel runs.
- I. Install pull string in all empty and spare conduits.
- J. Any conduit run below slab on grade shall be a minimum of 6" below slab.
- 3.5 OUTLET BOX INSTALLATION
- A. Install outlet boxes with centers at the following heights unless noted otherwise on the Drawings:
1. Receptacles, general use duplex type: 18 inches to center of I-box above finished floor (AFF).
  2. Voice/data outlets: 18 inches AFF to center.
  3. Light switches: center 44 inches AFF to center and within 6 inches of door frame.
  4. Thermostats: center 44 inches AFF to center.
  5. Fire alarm audible/visible alarm devices: center of strobe light 80 inches AFF or 6 inches below the ceiling, whichever is lower.
  6. Fire alarm pull stations: center 44 inches AFF to center.
- B. Install a multi-gang box where more than one device is mounted together. Do not use sectional type boxes. Mount multiple controls as close together as possible and in-line with each other. Where shown within two feet of each other, group voice/data outlets and receptacles together.
- C. Install box with plaster ring for single or multiple device outlets.
- D. Use flush mounted outlet boxes in finished areas.
- E. Install a blank cover plate on each outlet box in which no device is installed.

- 3.6 CLEANING
- A. Clean interior of boxes to remove dust, debris, and other material.
- B. Repair damage to galvanized finishes with zinc-rich paint recommended by manufacturer.
- C. Repair damage to paint finishes with matching touch-up coating recommended by the manufacturer.
- END OF SECTION 26 0533

SECTION 26 2416 - PANELBOARDS

- PART 1 GENERAL
- 1.1 SECTION INCLUDES
- A. Power panelboards
- 1.2 SUBMITTALS
- A. Submit the following:
1. Catalog data: Submit catalog data describing each type panelboard, accessory item, and component specified. Include data substantiating that materials comply with specified requirements.
- 1.3 QUALITY ASSURANCE
- A. Comply with the current National Electrical Code (NEC) for installation.
- PART 2 PRODUCTS
- 2.1 PANELBOARDS, GENERAL REQUIREMENTS
- A. Provide panelboard cabinets for flush or surface mounted as indicated on the Drawings.
1. Furnish NEMA Type 1 enclosures, except where the Drawings indicate the following enclosure requirements: NEMA 3R - Rainlight
  2. Provide galvanized steel cabinets constructed according to UL 50 requirements.
- B. Provide trim fronts that meet the strength and rigidity requirements of UL 50.
1. Fronts for flush panels shall overlap boxes at least 1 inch.
  2. Fronts shall have ANSI 49 medium gray enamel.
3. For NEMA 1 panel boards, provide fronts with hinged trim construction having a piano hinge down one side. The front shall contain a smaller lockable door, which when open, shall provide access to all conductors and wiring terminals.
4. Provide a metal panelboard directory frame mounted inside the panelboard door.
- C. Panelboard phase and neutral bus shall be copper.
- D. Provide compression type lugs for mains plus all feeder and branch circuits 100 amperes and larger; smaller lugs shall be mechanical type.
- E. Provide copper equipment ground bus that is adequate for feeder and branch circuit equipment ground conductors. Bond ground bus to cabinet.
- F. Provide thermal-magnetic circuit breakers that meet the requirements of UL 489 Molded Case Circuit Breakers and NEMA AB 1 Molded Case Circuit Breakers and Molded Case Switches.
- 2.2 LIGHTING AND APPLIANCE PANELBOARDS
- A. Provide lighting and appliance branch circuit panelboards as indicated on the Drawings.
- B. Lighting and appliance branch circuit panelboards enclosures shall be not less than 20 inches or more than 26 inches in width.
- C. Manufacturers:
1. Cutter-Hammer: PRL3a (480Y/277V) and PRL1a and PRL2a (208Y/120V or 120/240V).
  2. General Electric: Spectra (480Y/277V) and AQ (208Y/120V or 120/240V).
  3. Siemens: P2 (480Y/277V) and P1 (208Y/120V or 120/240V).
  4. Square D: L-Line (480Y/277V) and NQOD (208Y/120V or 120/240V).

- 2.3 LIGHTING AND APPLIANCE LOAD CENTERS
- A. Provide lighting and appliance branch circuit load centers as indicated on the Drawings.
- B. Load centers identified for use as service equipment are to be labeled for this application.
- C. A directory label shall be provided with circuits identified as indicated on the schedule.
- D. Bus bar connections to the branch circuit breakers shall be the distributed phase type and shall accept plug on circuit breakers.
- E. Manufacturers:
1. Cutter Hammer, General Electric, Siemens or Square D

- PART 3 EXECUTION
- 3.1 EXAMINATION
- A. Examine surfaces to receive panelboards for compliance with installation tolerances and other instructions, NECA 407, and the NEC.
- 3.2 INSTALLATION
- A. Install panelboards where indicated on the Drawings and according to manufacturer's installation instructions.
- B. Ground and bond panelboards as required by NEC.
- C. At all flush panelboards install four 1-inch spare conduits, extend to above accessible ceiling space.
- D. Home-run conduits (all conduits connected to a panel) shall be a minimum of 3/4 inch.
- 3.3 IDENTIFICATION
- A. Provide typewritten circuit directories for each branch circuit panel board. Revise directories to reflect field circuiting changes including any changes required to balance phase loads.
- B. Provide plastic nameplates for power panels. Nameplate to include panel designation, voltage, and phase, e.g. PANEL "MRA" / 120/208V / 3-PHASE.
- 3.4 FIELD QUALITY CONTROL
- A. Clean, inspect, test, and energize installed panel boards in accordance with NECA 407.
- B. After completing installation, cleaning, and testing, touch up scratches and mars on finish to match original finish.

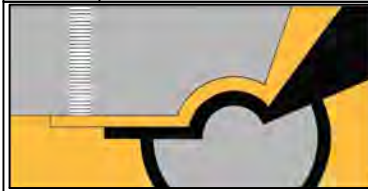
END OF SECTION 26 2916

SECTION 26 2816 - ENCLOSED SWITCHES AND CIRCUIT BREAKERS

- PART 1 GENERAL
- 1.1 SECTION INCLUDES
- A. Safety switches
- B. Fuses
- C. Enclosed circuit breakers
- 1.2 SUBMITTALS
- A. Submit the following:
1. Product Data: Submit manufacturer's technical data for each type of safety switch and enclosed circuit breaker. Provide catalog sheets showing voltage, current ratings, short circuit ratings, dimensions, and enclosure details.
- 1.3 QUALITY ASSURANCE
- A. Comply with the current National Electrical Code (NEC) for components and installation.
- B. Provide safety switches and circuit breaks that are listed and labeled by a Nationally Recognized Testing Laboratory (NRTL) for the application, installation condition, and the environment in which installed.
- C. Comply with the following standards as applicable:
1. NEMA AB 1 (UL 489) Molded Case Circuit Breakers, Molded Case Switches, and Circuit Breaker Enclosures.
  2. UL 50 - Enclosures for Electrical Equipment.
- PART 2 PRODUCTS
- 2.1 SAFETY SWITCHES
- A. Provide NRTL-listed, NEMA KS 1 Type HD safety switches with ratings and number of poles as indicated on the Drawings. Use Type HD for switches rated 100A and above.
- B. Provide safety switches for use as service equipment that are NRTL labeled for the application.
- C. Provide enclosure type in accordance with NEMA ratings as required by the conditions of installation and use.
- D. For fusible safety switches provide rejection clip designed to accommodate NEMA FU 1, Class R.
- E. Furnish each safety switch with an equipment ground bar.
- F. Furnish a neutral bar for each safety switch used on a circuit that includes a grounded "neutral" conductor.
- G. Provide each safety switch with a factory-installed cover-mounted viewing window positioned over the blades to allow visual verification of ON-OFF status.
- H. Provide auxiliary electrical interlock switches with safety switches as indicated on the Drawings or as required by the application.
- 2.2 FUSES
- A. Provide NRTL-listed, NEMA FU 1 Class R fuses for fusible safety switches as indicated on the Drawings, required by the NEC, or required by the manufacturer of served equipment.
- B. Provide a lime green spare fuse cabinet with "Fuses" stenciled in OSHA purple. Cabinet shall be sized to hold one set of (3) fuses of each size used on this project.
- 2.3 ENCLOSED CIRCUIT BREAKERS
- A. Provide NRTL-listed, NEMA AB 1 enclosed molded-case circuit breakers with ratings and number of poles and indicated on the Drawings or as required by NEC.
- PART 3 EXECUTION
- 3.1 EXAMINATION
- A. Examine surfaces to receive safety switches and enclosed circuit breakers for compliance with installation tolerances and other conditions affecting performance of the product. Do not proceed with installation until unsatisfactory conditions have been corrected.
- 3.2 INSTALLATION
- A. Install safety switches and enclosed circuit breakers where indicated on the Drawings and according to manufacturer's instructions, NECA 1, and the NEC. Have the manufacturer's installation instruction available at the construction site.
- B. Install each safety switch and enclosed circuit breaker so the interlock bypass will be accessible.
- C. Provide supports and seismic anchorage in accordance with the manufacturer's installation instructions.
- D. Ground and bond safety switches and enclosed circuit breakers as required by NEC.
- E. Install conduits as required in Section 26 0533 Raceways and Boxes for Electrical Systems.
- F. Install conductors as required in Section 26 0519, Low Voltage Electrical Power Conductors and Cables.
1. Use compression type lugs to connect all service, feeder, and branch circuit cables to enclosed circuit breakers rated greater than 100 amperes, unless approved otherwise by engineer.
  2. Tighten electrical connectors and terminals to the manufacturer's published torque tightening values. Where manufacturer's torque values are not indicated, use those specified in UL 486A.
- G. Install fuses in fusible safety switches as indicated on the Drawings or as required to match installed motor or load characteristics.
- H. Install spare fuse cabinet in main electrical room or alternate location as shown on Drawings.
- 3.3 IDENTIFICATION
- A. Identify safety switches and enclosed circuit breakers with unit name and circuit number.
- 3.4 FIELD QUALITY CONTROL
- A. Clean interior and exterior of safety switches and enclosed circuit breakers.
- B. Verify that ratings for safety switches and enclosed circuit breakers match values indicated on the Drawings.

END OF SECTION 26 2816

| No | Revision | Item | Date |
|----|----------|------|------|
|    |          |      |      |
|    |          |      |      |
|    |          |      |      |
|    |          |      |      |



**SCOTT C. ANDERSON**  
& associates architects  
2818 4th St NW, Suite C Albuquerque NM 87107  
scott@scacarchitects.com  
505.401.7575

LA PLATA APARTMENTS  
6000 4TH ST NW  
ALBUQUERQUE, NM 87107

| DRAWING TITLE                                                                         |          |            |            |
|---------------------------------------------------------------------------------------|----------|------------|------------|
| ELECTRICAL SPECIFICATIONS                                                             |          |            |            |
| SEAL                                                                                  | DESIGNED | JT         | PROJECT NO |
|  | DRAWN    | DP         | SCALE      |
|                                                                                       | CHECKED  | JT         | DRAWING NO |
|                                                                                       | REVIEWED | JT         |            |
|                                                                                       | DATE     | 04-25-2025 |            |

ESP-100

OF





## METROPOLITAN REDEVELOPMENT TAX ABATEMENT APPLICANT EXPERIENCE MATRIX (APPENDIX F)

| Example                                      | 1 | 2 | 3 | 4 | 5 |
|----------------------------------------------|---|---|---|---|---|
| Project Name/Address                         |   |   |   |   |   |
| Proposer Entity                              |   |   |   |   |   |
| Participating Development Team member & role |   |   |   |   |   |
| Project Type (residential, retail, etc)      |   |   |   |   |   |
| # of housing units                           |   |   |   |   |   |
| Total Square Feet                            |   |   |   |   |   |
| Project Budget                               |   |   |   |   |   |
| % Over Budget                                |   |   |   |   |   |
| Construction Commencement Date               |   |   |   |   |   |
| Construction Completion Date                 |   |   |   |   |   |
| Months to Complete Construction              |   |   |   |   |   |
| Other Comments/Notes                         |   |   |   |   |   |

**SECTION 1: CONTACT INFORMATION**

NAME (as shown on your income tax return). Name is required on this line; do not leave this line blank.

Jose L. Rodriguez

BUSINESS NAME/ disregarded entity name, if different from above.

J&amp;S Development Inc.

PRIMARY BUSINESS ADDRESS (number, street, and apt or suite no)

504 Louisiana Blvd. SE

MAILING ADDRESS (number, street, and apt or suite no or PO Box)

P.O. Box 70287

CITY, STATE, and ZIP CODE

Albuquerque, NM 87108

MAILING CITY, STATE, and ZIP CODE

Albuquerque, NM 87197

PHONE

505-440-5104

EMAIL ADDRESS

rodriguez3003@hotmail.com

TAX CLASSIFICATION (check only one)

☐ INDIVIDUAL/SOLE PROPRIETOR or single-member LLC☒ C CORPORATION☐ S CORPORATION☐ PARTNERSHIP☐ TRUST/ESTATE☐ LIMITED LIABILITY COMPANY- Enter the tax classification (C=C Corporation, S=S Corporation, P=Partnership)

Note: For a single-member LLC that is disregarded, do not check LLC; check the appropriate box in the line above for the tax classification of the single-member owner.

☐ 501(C)(3) NON-PROFIT ORGANIZATION☐ OTHER (SEE INSTRUCTIONS)**SECTION 2: BUSINESS DEMOGRAPHICS (CHECK ALL THAT APPLY)**☒ Local Business - Headquartered and maintains its principal office and place of business within the Greater Albuquerque Metropolitan Area (City of Albuquerque or Bernalillo County).☐ Doing Business Locally - Either not headquartered or does not maintain its principal office and place of business here, but maintains a storefront in the Greater Albuquerque Metropolitan Area and employs one or more City of Albuquerque or Bernalillo County residents.☐ Woman Owned Business - At least 51% owned and controlled by one or more women, in the case of a publicly-owned business, at least 51% of the stock of which is owned by one or more women.☒ Minority Business Enterprise (MBE) Owned - At least 51% owned and controlled by one or more racial/ethnic minorities or, in the case of a publicly-owned business, at least 51% of the stock of which is owned by one or more racial/ethnic minorities. Please specify the race/ethnicity of minority owners (question to the right).☐ LGBTQ+ Owned Business - At least 51% owned and controlled by one or more LGBTQ+ individuals, in the case of a publicly-owned business, at least 51% of the stock of which is owned by one or more LGBTQ+ individuals.☐ None of the Above Categories Apply

If your business is MBE-owned, please specify the race/ethnicity of minority owner(s). Check all that apply:

☐ Hispanic American☐ Native American☐ Black or African American☐ Asian-Indian American☐ Asian-Pacific American**SECTION 3: [NOT APPLICABLE FOR RTA PROJECTS]****SECTION 4: CERTIFICATION**

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined in the instructions); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification Instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because of underreporting interest or dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN.

The Internal Revenue Service does not require your consent to any provision on this document other than the certifications required to avoid backup withholding.

SIGNATURE of U.S. person

*Jose Rodriguez*

DATE

09/23/2025

PRINT NAME

Jose L. Rodriguez

TITLE President





**SECTION 1: CONTACT INFORMATION**

**NAME** (as shown on your income tax return). Name is required on this line; do not leave this line blank.

**BUSINESS NAME/ disregarded entity name, if different from above.**

**PRIMARY BUSINESS ADDRESS** (number, street, and apt or suite no)

**MAILING ADDRESS** (number, street, and apt or suite no or PO Box)

**CITY, STATE, and ZIP CODE**

**MAILING CITY, STATE, and ZIP CODE**

**PHONE**

**EMAIL ADDRESS**

**TAX CLASSIFICATION** (check only one)

INDIVIDUAL/SOLE PROPRIETOR or single-member LLC

C CORPORATION

S CORPORATION

PARTNERSHIP

TRUST/ESTATE

LIMITED LIABILITY COMPANY-- Enter the tax classification (C=C Corporation, S=S Corporation, P=Partnership)

Note: For a single-member LLC that is disregarded, do not check LLC; check the appropriate box in the line above for the tax classification of the single- member owner.

501(C)3/NON-PROFIT ORGANIZATION

OTHER (SEE INSTRUCTIONS)

**SECTION 2: BUSINESS DEMOGRAPHICS (CHECK ALL THAT APPLY)**

**Local Business** - Headquartered and maintains its principal office and place of business within the Greater Albuquerque Metropolitan Area (City of Albuquerque or Bernalillo County).

**Doing Business Locally** - Either not headquartered or does not maintain its principal office and place of business here, but maintains a storefront in the Greater Albuquerque Metropolitan Area and employs one or more City of Albuquerque or Bernalillo County residents.

**Woman Owned Business** - At least 51% owned and controlled by one or more women, in the case of a publicly-owned business, at least 51% of the stock of which is owned by one or more women.

**Minority Business Enterprise (MBE) Owned** - At least 51% owned and controlled by one or more racial/ethnic minorities or, in the case of a publicly-owned business, at least 51% of the stock of which is owned by one or more racial/ethnic minorities. Please specify the race/ethnicity of minority owners (question to the right).

**LGBTQ+ Owned Business** - At least 51% owned and controlled by one or more LGBTQ+ individuals, in the case of a publicly-owned business, at least 51% of the stock of which is owned by one or more LGBTQ+ individuals.

**None of the Above Categories Apply**

If your business is MBE-owned, please specify the race/ethnicity of minority owner(s). Check all that apply:

Hispanic American

Native American

Black or African American

Asian-Indian American

Asian-Pacific American

**SECTION 3: [NOT APPLICABLE FOR RTA PROJECTS]**

**SECTION 4: CERTIFICATION**

Under penalties of perjury, I certify that:

- ~~The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and~~
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined in the instructions); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification Instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because of underreporting interest or dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN.

The Internal Revenue Service does not require your consent to any provision on this document other than the certifications required to avoid backup withholding.

SIGNATURE of U.S. person

DATE

PRINT NAME

TITLE

**Return To:**  
Fidelity National Title of New Mexico Inc.  
8500 Menaul Blvd. NE, Suite B-150  
Albuquerque, NM 87112

**GF No.:** SP000159683

**WARRANTY DEED**  
(Joint Tenants)

**Scott Sedillo Jeffries, an unmarried man**

for consideration paid, grant to

**Scott C Anderson, an unmarried man and Shastyn J. Blomquist, an unmarried woman**

whose address is 5009 Royene Ave NE, Albuquerque, NM 87110

as joint tenants, the following described real estate in Bernalillo County, New Mexico:

Lot numbered Thirty-two (32) of the Los Alamos Addition, as the same is shown and designated on the plat of said Addition, filed in the Office of the County Clerk in and for Bernalillo County, New Mexico, on September 8, 1938.

with warranty covenants.

SUBJECT TO Patent, reservations, restrictions, and easements of record and to taxes for the year 2024, and subsequent years.

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Dated: 1/26/2024

  
\_\_\_\_\_  
Scott Sedillo Jeffries

State of NEW MEXICO  
County of BERNALILLO

This instrument was acknowledged before me on this 26th day of January, 2023, by Scott Sedillo Jeffries, an unmarried man.

  
\_\_\_\_\_  
Notary Public  
My Commission Expires:

[SEAL]

STATE OF NEW MEXICO  
NOTARY PUBLIC  
Mary F. Holmes  
Commission No. 1094709  
December 29, 2025





**SCOTT C. ANDERSON**  
& associates architects  
2818 4th St NW, Suite C Albuquerque NM 87107  
scott@scaarchitects.com  
505.401.7575

September 16, 2025

Ms. Shastyn Blomquist, Managing Member  
4<sup>th</sup> and La Plata  
5009 Royene Ave NE  
Albuquerque, NM 87110  
[shastyn.nm@gmail.com](mailto:shastyn.nm@gmail.com)

RE: Neighborhood notification of the apartment project at 4<sup>th</sup> and La Plata

Dear Ms. Blomquist:

On April 27, 2025, I sent an email to Alice Ernst and Bret Haskins, the representatives of the Gavilan Addition Neighborhood Association as provided to me by the City of Albuquerque Office of Neighborhood Coordination (see attached). Neither of these individuals requested a meeting with me to discuss the subject project.

I have had email and telephone conversations regarding this project with Mark Frauenglass the property owner, to the east of the site. He had no objection to the project.

Respectfully,

Scott C. Anderson, Principal  
Scott C. Anderson & Associates Architects

**Fwd: Notice of Construction Project 313 La Plata NW**

1 message

**Scott Anderson** <[scott@scaarchitects.com](mailto:scott@scaarchitects.com)>  
To: [slernst@aol.com](mailto:slernst@aol.com)

Sun, Apr 27, 2025 at 6:47 PM

----- Forwarded message -----

From: **Scott Anderson** <[scott@scaarchitects.com](mailto:scott@scaarchitects.com)>  
Date: Sun, Apr 27, 2025 at 6:45 PM  
Subject: Notice of Construction Project 313 La Plata NW  
To: [bhaskins1@aol.com](mailto:bhaskins1@aol.com) <[bhaskins1@aol.com](mailto:bhaskins1@aol.com)>, <[slerst@aol.com](mailto:slerst@aol.com)>

Dear:  
Alice Ernst  
Bret Haskins

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K)(2) Mailed Public Notice, we are notifying you as a Neighborhood Association Representative /nearby Property Owner that Scott Anderson & Associates Architects will be submitting an application for a building permit to be reviewed and decided by the City Staff. The application is for a commercial strip center.

1. Property Owner: Shastyn Blomquist
2. Agent: Scott Anderson
3. Subject Property Address: 313 La Plata NW
4. Location Description: SE Corner of 4th and La Plata NW
5. Zone Atlas Page: F-14
6. Legal Description: Lot 32 Los Alamos Addition
7. Area of Property: 0.7084 Acres
8. IDO Zone District: MX-T
9. Overlay Zone: None



10. Center or Corridor Area: 4th St Corridor
11. Current Use: Vacant





**SCOTT C. ANDERSON**  
**& associates architects**  
2818 4th St NW, Suite C | Albuquerque NM 87107  
scott@scaarchitects.com  
505.401.7575

Scott C. Anderson  
Scott C. Anderson & Associates Architects  
2818 4th St NW Suite C  
Albuquerque, NM 87107  
505 401-7575  
[scott@scaarchitects.com](mailto:scott@scaarchitects.com)

---

## 2 attachments



**TCL.pdf**  
2160K



**Architectural La Plata Apts.pdf**  
5636K

---

**Notice of Construction Project 313 La Plata NW**

1 message

**Scott Anderson** <[scott@scaarchitects.com](mailto:scott@scaarchitects.com)>

Sun, Apr 27, 2025 at 6:45 PM

To: "bhaskins1@aol.com" <[bhaskins1@aol.com](mailto:bhaskins1@aol.com)>, [slerst@aol.com](mailto:slerst@aol.com)

Dear:

Alice Ernst

Bret Haskins

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K)(2) Mailed Public Notice, we are notifying you as a Neighborhood Association Representative /nearby Property Owner that Scott Anderson & Associates Architects will be submitting an application for a building permit to be reviewed and decided by the City Staff. The application is for a commercial strip center.

1. Property Owner: Shastyn Blomquist
2. Agent: Scott Anderson
3. Subject Property Address: 313 La Plata NW
4. Location Description: SE Corner of 4th and La Plata NW
5. Zone Atlas Page: F-14
6. Legal Description: Lot 32 Los Alamos Addition
7. Area of Property: 0.7084 Acres
8. IDO Zone District: MX-T
9. Overlay Zone: None



10. Center or Corridor Area: 4th St Corridor
11. Current Use: Vacant



Scott C. Anderson  
Scott C. Anderson & Associates Architects  
2818 4th St NW Suite C  
Albuquerque, NM 87107  
505 401-7575  
[scott@scaarchitects.com](mailto:scott@scaarchitects.com)



**2 attachments**

 **TCL.pdf**  
2160K

 **Architectural La Plata Apts.pdf**  
5636K

**Fwd: Notice of Construction Project 313 La Plata NW**

1 message

**Scott Anderson** <[scott@scaarchitects.com](mailto:scott@scaarchitects.com)>  
To: [slernst@aol.com](mailto:slernst@aol.com)

Sun, Apr 27, 2025 at 6:47 PM

----- Forwarded message -----

From: **Scott Anderson** <[scott@scaarchitects.com](mailto:scott@scaarchitects.com)>  
Date: Sun, Apr 27, 2025 at 6:45 PM  
Subject: Notice of Construction Project 313 La Plata NW  
To: [bhaskins1@aol.com](mailto:bhaskins1@aol.com) <[bhaskins1@aol.com](mailto:bhaskins1@aol.com)>, <[slerst@aol.com](mailto:slerst@aol.com)>

Dear:  
Alice Ernst  
Bret Haskins

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K)(2) Mailed Public Notice, we are notifying you as a Neighborhood Association Representative /nearby Property Owner that Scott Anderson & Associates Architects will be submitting an application for a building permit to be reviewed and decided by the City Staff. The application is for a commercial strip center.

1. Property Owner: Shastyn Blomquist
2. Agent: Scott Anderson
3. Subject Property Address: 313 La Plata NW
4. Location Description: SE Corner of 4th and La Plata NW
5. Zone Atlas Page: F-14
6. Legal Description: Lot 32 Los Alamos Addition
7. Area of Property: 0.7084 Acres
8. IDO Zone District: MX-T
9. Overlay Zone: None



10. Center or Corridor Area: 4th St Corridor
11. Current Use: Vacant





**SCOTT C. ANDERSON**  
**& associates architects**  
2818 4th St NW, Suite C | Albuquerque NM 87107  
scott@scaarchitects.com  
505.401.7575

Scott C. Anderson  
Scott C. Anderson & Associates Architects  
2818 4th St NW Suite C  
Albuquerque, NM 87107  
505 401-7575  
[scott@scaarchitects.com](mailto:scott@scaarchitects.com)

---

## 2 attachments



**TCL.pdf**  
2160K



**Architectural La Plata Apts.pdf**  
5636K



Property Info

Tax Calculation

Balance Due

Balance Due .pdf

Pay Your Taxes

Tax Estimate

PARID: 101406150849411301  
ANDERSON SCOTT C &  
BLOMQUIST SHASTYN J

4TH ST NW

1 of 1

Return to Search Results

Tax Year: 2024

Tax Amount Calculation

| Entity Name | Net Taxable Value | Tax Rate (in mills) | Amount Due |
|-------------|-------------------|---------------------|------------|
| STATE       | 22,031.00         | 1.360               | 29.96      |
| COUNTY      | 22,031.00         | 12.214              | 269.09     |
| ALBUQ       | 22,031.00         | 11.520              | 253.80     |
| SCHOOL APS  | 22,031.00         | 11.324              | 249.48     |
| CNM         | 22,031.00         | 3.838               | 84.56      |
| UNMH        | 22,031.00         | 6.400               | 141.00     |
| AMAFCA      | 22,031.00         | 1.152               | 25.38      |
| MRGCD       | 22,031.00         | 7.333               | 161.55     |
| Total:      |                   | 55.141              | 1,214.82   |



2025



## NOTICE OF VALUE

DAMIAN R. LARA  
BERNALILLO COUNTY ASSESSOR  
PO BOX 27108  
ALBUQUERQUE, NEW MEXICO 87125  
(505) 222-3700 [www.bernco.gov/assessor](http://www.bernco.gov/assessor)

THIS IS NOT A TAX BILL

Property Listed and Valued as of January 1, 2025

THIS VALUE WILL BE A FACTOR IN  
DETERMINING YOUR 2025  
PROPERTY TAX BILL

UPC# 101406150849411301  
68939\*159\*\*G50\*\*0.574\*\*1/4\*\*\*\*\*AUTO\*\*5-DIGIT 87110  
ANDERSON SCOTT C & BLOMQUIST SHASTYN J  
5009 ROYENE AVE NE  
ALBUQUERQUE NM 87110-5839



UPC Code  
101406150849411301

Official Mailing Date  
May 1, 2025

Protest Deadline  
June 02, 2025

**To Go Paperless!**  
Go to [eNoticesOnline.com](http://eNoticesOnline.com) and  
register with this code:  
BER-LNHFG4MW

REAL PROPERTY: THIS IS THE ONLY NOTICE OF VALUE YOU WILL RECEIVE UNLESS YOU ARE THE OWNER OF PERSONAL PROPERTY OR TAXABLE LIVESTOCK. TO UPDATE THE MAILING ADDRESS, PLEASE FILL OUT THE INFORMATION ON THE REVERSE SIDE OF THIS FORM AND RETURN IT TO THE BERNALILLO COUNTY ASSESSOR AT THE ABOVE ADDRESS.

District  
A1AM

## Property Address

4TH ST NW  
ALBUQUERQUE NM 87107

## Property Legal Description

LOT 32 LOS ALAMOS ADDITION CONT 30,856.9 SQ FT M/L

## 2024 PROPERTY VALUE INFORMATION

|                          |        |        |
|--------------------------|--------|--------|
| LAND                     | 66,100 |        |
| AGRICULTURAL LAND        | 0      |        |
| STRUCTURES               | 0      |        |
| FULL VALUE               | 66,100 |        |
| TAXABLE (1/3 FULL VALUE) |        | 22,031 |
| VETERAN EXEMPTION        | 0      |        |
| HEAD OF FAMILY EXEMPTION | 0      |        |
| OTHER EXEMPTION          | 0      |        |
| NET TAXABLE VALUE        |        | 22,031 |

Previous Years Tax Rate (per thousand): 55.141  
Previous Years Tax: \$1,214.82

## 2025 PROPERTY VALUE INFORMATION

|                          |        |        |
|--------------------------|--------|--------|
| LAND                     | 66,100 |        |
| AGRICULTURAL LAND        | 0      |        |
| STRUCTURES               | 0      |        |
| FULL VALUE               | 66,100 |        |
| TAXABLE (1/3 FULL VALUE) |        | 22,031 |
| VETERAN EXEMPTION        |        | 0      |
| HEAD OF FAMILY EXEMPTION |        | 0      |
| OTHER EXEMPTION          |        | 0      |
| NET TAXABLE VALUE        |        | 22,031 |

\* Instructions for calculating estimated taxes (NMSA 7-38-20): To estimate taxes based on the previous year's rate, multiply the net taxable value on this notice by the previous year's rate and divide by 1,000.

Example: (\$100,000 X 41.074/1,000 = \$4,107.40)

"FULL VALUE" MEANS THE VALUE DETERMINED FOR PROPERTY TAXATION PURPOSES. "TAXABLE VALUE" IS 33 1/3% OF THE "FULL VALUE".

"NET TAXABLE VALUE" IS "TAXABLE VALUE" LESS EXEMPTIONS AND IS THE VALUE UPON WHICH TAX IS IMPOSED.

\* DISCLAIMER: The calculation of estimated tax amount may be higher or lower based on the actual tax rate determined in September by the New Mexico Department of Finance and Administration.

ALWAYS USE THE UNIQUE PARCEL CODE (UPC)# AS REFERENCE:

2025 NOTICE OF VALUE

UPC# 101406150849411301

ANDERSON SCOTT C & BLOMQUIST SHASTYN J

5009 ROYENE AVE NE

ALBUQUERQUE NM 87110-5839

CLASS:

NON RES

DISTRICT:

A1AM

NET TAXABLE VALUES WILL BE ALLOCATED TO THE FOLLOWING  
AGENCIES:

State, County, Albuquerque, School APS, CNM,  
UNMH, AMAFCA, MRGCD

PROTEST DEADLINE: June 02, 2025

ONLINE PROTEST ACCESS CODE: 226920369



Instructions for filing a protest form, to this form are on the reverse side.  
To obtain a protest form online, go to [bernco.gov/assessor/protest-process](http://bernco.gov/assessor/protest-process) or use the QR code on the left.  
For assistance call (505) 222-3700, between hours of 8:00 and 5:00, Monday through Friday.

PLEASE RETAIN THIS PORTION FOR YOUR RECORDS



## Appendix H

### Certification & Acknowledgement of Redevelopment Tax Abatement Program Risks and Responsibilities

I, \_\_\_\_\_, authorized signer for \_\_\_\_\_ (the “Applicant”),  
Name Company  
acknowledge the following in relation to \_\_\_\_\_ (the “Project”) at  
Project Name  
\_\_\_\_\_ (“Property”) as it relates to my application for a Redevelopment Tax  
Address  
Abatement (the “Program”). I hereby certify that, to the best of my knowledge, the information provided in  
my application is true and accurate.

1. Applicant understands that the Program is effectuated by the City of Albuquerque taking title to the property and by signing a 7-year lease agreement.
2. Applicant acknowledges and has read the terms of the Sample Lease Agreement, which is included in the Application & Program Instructions as Appendix D.
3. Applicant understands that it is the Applicant’s responsibility to work with any lender it may engage related to financing for real property development at the Project as it relates to the Program. Such issues may concern, but are not limited to, subordination of the City’s interest to loans or mortgages secured, the Lease Agreement form, or title position. The City will work with the Applicant’s lender to address issues of subordination and title position as it relates to the Project within reason.
4. Applicant understands that there is a risk that the Project could not be approved by the Albuquerque City Council. Any pre-development expenses or expenses incurred to apply for this program are at the Applicant’s sole expense and risk.
5. Applicant acknowledges that if the Applicant submits for building permit, or begins any pre-construction or construction activity, prior to full City Council approval of the Project, these activities are at the sole expense and risk of the Applicant.
6. Applicant acknowledges that default on any loans tied to the Project or Property may result in the immediate termination of the tax abatement on the relevant property.
7. Applicant acknowledges that it is required to continue to pay Payments in Lieu of Property Taxes to Bernalillo County for the Property value assessed the year prior to the execution of a lease agreement and related property transfer documents. Failure to pay this fee may result in the termination of tax abatement on the Property.
8. Applicant acknowledges that it must pay an annual fee equal to 10% of the value of the tax abatement savings to the Metropolitan Redevelopment Agency for the term of the tax abatement. Failure to pay this fee may result in the termination of tax abatement on the Property.

Signature: Shastyn Blomquist

Date: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Company: \_\_\_\_\_

Property Owner? (Y/N): \_\_\_\_\_ (if no, legal Property Owner must also complete this form)