

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Referred 3/10

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): DAC ENTERPRISES, INC. DOUG CRANDALL PHONE: 294-5243
 ADDRESS: P.O. BOX 16658 FAX: 247-4530
 CITY: ALBUQUERQUE STATE NM ZIP 87191 E-MAIL: _____

APPLICANT: DOUGLAS H. PETERSON d/b/a CARLISLE SHOPS PHONE: 884-3578
 ADDRESS: 2325 SAN PEDRO, NE, STE 2-A FAX: 884-6793
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: WWW.PETERSONPROPERTIES.NET
 Proprietary interest in site: OWNER/MANAGER List all owners: N/A

DESCRIPTION OF REQUEST: APPROVAL OF AMENDED SITE PLAN FOR BUILDING PERMIT TO ALLOW A BAKERY WITH ASSOCIATED CAFE SERVICE W/ 12 SEATS MAX.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 2B-A Block: A Unit: _____
 Subdiv/Addn/TBKA: ALTURA ADDITION
 Existing Zoning: SU-1 FOR C-1 W/ EXCEPTIONS Proposed zoning: N/A
 Zone Atlas page(s): J-16 UPC Code: 101705801150421423 MRGCD Map No N/A

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z-, V-, S-, etc.): PROJECT #1003801, 04 EPC-01821 & 05 EPC-00745

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: N/A Total area of site (acres): < 1.0 AC
 LOCATION OF PROPERTY BY STREETS: On or Near: 2000 CARLISLE BLVD NE
 Between: INDIAN SCHOOL ROAD NE and HANNETT AVE. NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Doug Crandall DATE 3/5/08
 (Print) DOUG CRANDALL, DAC ENTERPRISES, INC. Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
08 EPC - 40026

 Hearing date 4-17-08

Action	S.F.	Fees
<u>SBP</u>	<u>PU</u>	\$ <u>255.00</u>
<u>Adv</u>		\$ <u>75.00</u>
<u>CMP</u>		\$ <u>50.00</u>
		\$ _____
		\$ _____
		\$ _____
		\$ _____
		Total
		\$ <u>380.00</u>

Andrew Jones 3/5/08
 Planner signature / date

Project # 1003801

FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"**
 - IP MASTER DEVELOPMENT PLAN (EPC11)**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30 copies**.
For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - ___ Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Completed Site Plan for Subdivision and/or Building Permit Checklist
 - ___ Sign Posting Agreement
 - ___ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15) Maximum Size: 24" x 36"**
 - SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (EPC17)**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30 copies**.
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted.
(Folded to fit into an 8.5" by 14" pocket.) **30 copies**
 - ___ Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Completed Site Plan for Subdivision and/or Building Permit Checklist
 - ___ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- NOTE:** For wireless telecom facilities (administrative reviews referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:
- ___ Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
 - ___ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
 - ___ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
 - ___ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
 - ___ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
 - ___ Registered Engineer's stamp on the Site Development Plans
 - ___ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"**
 - AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**
 - ✓ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30 copies**
 - ✓ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30 copies**
 - ✓ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30 copies**
 - ✓ Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
 - ✓ Zone Atlas map with the entire property(ies) clearly outlined
 - ✓ Letter briefly describing, explaining, and justifying the request
 - ✓ Letter of authorization from the property owner if application is submitted by an agent
 - ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ✓ Sign Posting Agreement
 - ✓ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ✓ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DOUG CRANDALL, DACCENTERPRISES, INC

Applicant name (print)

Doug Crandall 3/15/08

Applicant signature / date



Form revised October 2007

Andrew Garcia 3/15/08

Planner signature / date

Project # 100380

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
08EPC-40026

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Doug Gamble DAC ENTERPRISES, INC
Applicant or Agent Signature / Date 03/05/08

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- ___ A. 8-1/2" x 11" reduction for each plan sheet.
- ___ B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- ___ 1. Date of drawing and/or last revision
- ___ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
- ___ 3. Bar scale
- ___ 4. North arrow
- ___ 5. Scaled vicinity map
- ___ 6. Property lines (clearly identify)
- ___ 7. Existing and proposed easements (identify each)
- ___ 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: _____ provided: _____
 - Handicapped spaces required: _____ provided: _____
 - Motorcycle spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: _____ provided: _____
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 –PRELIMINARY GRADING PLAN –

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 2/22/07

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: DAC ENTERPRISES, INC DATE OF REQUEST: 2/29/08 ZONE ATLAS PAGE(S): J-16

CURRENT:
ZONING SU-1/C-1

LEGAL DESCRIPTION:
LOT OR TRACT # 28A BLOCK # A
SUBDIVISION NAME ALTURA ADDN

PARCEL SIZE (AC/SQ. FT.) _____

REQUESTED CITY ACTION(S):

- | | | | | | |
|------------|-----|-----------------|-----|------------------------|-------------------------|
| ANNEXATION | [] | SECTOR PLAN | [] | SITE DEVELOPMENT PLAN: | |
| COMP. PLAN | [] | ZONE CHANGE | [] | A) SUBDIVISION | [] BUILDING PERMIT [] |
| AMENDMENT | [] | CONDITIONAL USE | [] | B) BUILD'G PURPOSES | [] ACCESS PERMIT [] |
| | | | | C) AMENDMENT | [X] OTHER [] |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: ¹

OF UNITS: _____
BUILDING SIZE: _____ (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Doug Candall DATE 2/29/08
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

Tony J. J.
TRAFFIC ENGINEER

2-29-08
DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

Doug Candall
APPLICANT

2/29/08
DATE

Required TIS and/or AQIA **must be completed prior to applying to the EPC.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER _____ DATE _____

March 1, 2008

Ms. Laurie Moye, Chair
Environmental Planning Commission
City of Albuquerque
Albuquerque, New Mexico

RE: Request for Approval of Amended Site Plan for Building Permit to Allow a Bakery with Associated Café Service. Project # 100380/ Lot 28A, Block A, Altura Addition (Zone Atlas Map J-16-Z)

Dear Mme. Chair and Commissioners:

This is a request for an amended site plan for building permit for the above referenced project in order to locate a bakery/café in an approximately 1660 square foot suite in the existing and approved building on the property. The bakery/café will have limited seating and will also sell products baked on the premises.

Although there will be no physical change to the property, this request is necessary because of a condition imposed by the Environmental Planning Commission (EPC) when the site was zoned SU-1 for C-1 uses with exclusions.

Specifically, Condition # 4 of 04EPC-1821 states "Restaurant Use is allowed only if approved by the EPC in conjunction with a site development plan for building permit that demonstrates adequate separation buffering and protection of adjacent residential uses from adverse effects of noise, lighting, pollution, traffic and odors."

Further, when the site plan for building permit was approved on June 16, 2005, a further condition was imposed which stated: "The applicant shall submit an amendment of this site plan to the Environmental Planning Commission in the event a restaurant or food service tenant is proposed for this site."

In February 2007, the EPC heard, and approved, a similar request (07EPC-00012) for this site in order to allow an ice cream shop to locate in this shopping center. Finding #5 of the approval said that "[t]his request is for approval of the use of one ice cream shop on the subject site. EPC site plan review will be required for any additional restaurant uses that may be proposed for the site." There was no opposition to the request.

The original 2005 condition and the finding from the 2007 case were included because of earlier concern of nearby residents that the odors from a food service establishment may have a deleterious effect on the enjoyment of their property.

Both the original request and the subsequent amended were supported by several policies of the *Albuquerque/Bernalillo Comprehensive Plan (Comprehensive Plan.)*

Policy II.B.5.d reads: "The location, intensity and design of this development shall respect existing neighborhood values, natural environment conditions and carrying capacities, scenic resource, and resources of other social, cultural and recreational concern." This policy is furthered by the fact that a landscaping buffer protects the existing neighborhood, and the intensity of the proposed bakery/café will not detract from neighborhood values.

Both the original approval and this request furthers Policy II.B.5.i: "Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse impacts of noise lighting, pollution and traffic on residential environs." The intent of the original approval was to provide neighborhood uses that may offer employment and also provide for uses that are complementary to the nearby neighborhood.

This policy is also furthered by the fact that there is no direct access to the abutting residential properties to the east of this development. The small, neighborhood friendly café and bakery that is being proposed will be of benefit to both the surrounding neighbors and nearby residents looking to enjoy a cup of coffee and a roll at the café, or to bring home baked goods for a family meal. The site plan has been approved in accordance with this policy and this request makes no changes to the approved site plan.

Further, Policy II.B.5.e says that "[n]ew growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services where the integrity of existing neighborhoods can be ensured." Substantial landscaping has been provided to protect the integrity of the existing neighborhood and the site is well served by existing municipal services.

According to Policy II.B.5.k, "[l]and adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operation." This site is approximately 240 in length along Carlisle Boulevard. Nearly two-thirds of the frontage is affected by a limited raised median that controls cross traffic. Reciprocal cross access to adjoining lots is also required of this site. Between that requirement and the modifications to the median that were also required in the original site plan approval, applicant believes provides sufficient mitigation to further this policy.

In addition to the above cited policies, the original approval of this zone change was also determined to further both Policy II.B.5.o (encouraging redevelopment and rehabilitation of older neighborhoods) and Policy II.B.5.l (quality and innovation in design). As noted, this is a request for a tenant improvement only and will have no affect on the approved site plan.

As mentioned earlier in this letter, there was no neighborhood opposition to the previous request for a food service establishment on the site. In fact, Finding #7 of the original zone map amendment approval read: "The applicant has worked closely with areas residents and community organizations to in the design of this project and the submitted proposal is the end result of that collaboration."

Finding #4 of the previous site plan amendment request in February 2007 addressed the concern that "[a]pproval of this use may create a parking deficiency on the site according to Zoning Code parking requirements." The finding went on to say that "due to the site's SU-1 zoning the EPC has discretion in this matter. As this use is for a bakery with an associated café with limited seating, there is no reason to believe that there will be a parking problem. The site is served by transit and is easily accessible to pedestrians and cyclists. The other uses currently occupying the center include an office that specializes in wills, an organic store that operates primarily by appointment, a small haircutting establishment and a drycleaners, in addition to the previously approved ice cream shop. There has been parking issues to this point and none are anticipated by this approval.

The appropriate neighborhood associations and adjoining neighbors have been contacted. Applicant does not anticipate any opposition.

Finally, applicant would like to request that the EPC review the original finding that requires the planning commission to review any amendment to the site plan that includes any type of restaurant use. The intent of that requirement was to allow for notification to the adjoining neighbors and affected neighborhood associations and provide them with an opportunity to review and comment on such businesses as some restaurant types may be harmful as a result of odors, traffic or other considerations.

Applicant believes that this requirement is burdensome to everyone involved, including planning staff and the EPC. As an alternative, applicant requests that this requirement to delegated to staff as an administrative amendment with neighborhood notification. Under this alternative, the same groups and individuals who are now notified and allowed to comment to the EPC would be notified and allowed to comment to the Planning Director.

Environmental Planning Commission
March 1, 2008
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If, any point, there were any unresolved neighborhood concerns, the Planning Director would require the applicant to make application to the EPC in the same manner as is currently prescribed.

Your favorable consideration of this request is sincerely appreciated. I am looking forward to answering any questions the commission may have.

Regards,

Doug Crandall
Principal, DAC Enterprises, Inc.



PETERSON PROPERTIES
Real Estate Services, Inc.

HAND DELIVERED
March 3, 2008

To Whom It May Concern:

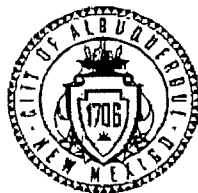
This letter is to authorize DAC Enterprises (Robert Romero and/or Doug Crandall) to act as agents for the owner (Carlisle Shops, LLC) of the property described as follows:

LOT 28-A, BLOCK A, ALTURA ADDITION (BEING A REPLAT OF LOTS 28 THRU 31, BLOCK A, ALTURA ADDITION), AS THE SAME IS SHOWN AND DESIGNATED ON MAP RECORDED OCTOBER 11, 2005, IN BOOK 2005C, PAGE 335, IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.

with respect to applications made to the Environmental Planning Commission and / or the D.R.B. of the City of Albuquerque.

Sincerely,

Douglas H. Peterson
Manager of Carlisle Shops, LLC



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: February 29, 2008

TO CONTACT NAME: Robert E. Romero
COMPANY/AGENCY: DAC Enterprises Inc.
ADDRESS/ZIP: P.O. Box 16658 87191
PHONE/FAX #: 242. 2232- / 247. 4530

Thank you for your inquiry of February 29, 2008 (date) requesting the names of **ALL Affected**

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Lot 28-A Blk A, Altura Addition Located on Carlisle Blvd. NE between Indian School Rd NE and Hannett Ave NE zone map page(s) J-16.

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Altura Addition N.A.
Neighborhood or Homeowner Association
Contacts: Denise Hammer
1735 Aliso Dr. NE 87110
268-1250 (h)
Jeanne Adams
1405 Solano Dr. NE 87110
265-9538 (h)

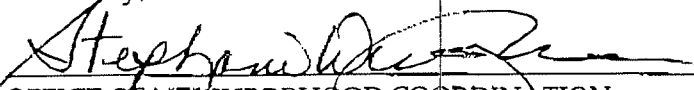
Netherwood Park N.A.
Neighborhood or Homeowner Association
Contacts: Chuck Maguire
1925 Apache Ct. NE 87106
255-4008 (h)
Karl Schwerin
2305 Cutler NE 87106
255-9344 (h)

See reverse side for additional Neighborhood and/or Homeowner Associations Information:

YES NO { }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,


OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

Additional Neighborhood or Homeowner Association Information

Summit Park N.A.
 Neighborhood or Homeowner Association
 Contacts: Keith Rasmussen
3401 Calle del Rancho NE 87106
265-0426(h) 681-5243(c)
Liz Jenkins
720 Lafayette Dr. NE 87106-2039
266-7559(h)

 Neighborhood or Homeowner Association
 Contacts: _____

 Neighborhood or Homeowner Association
 Contacts: _____

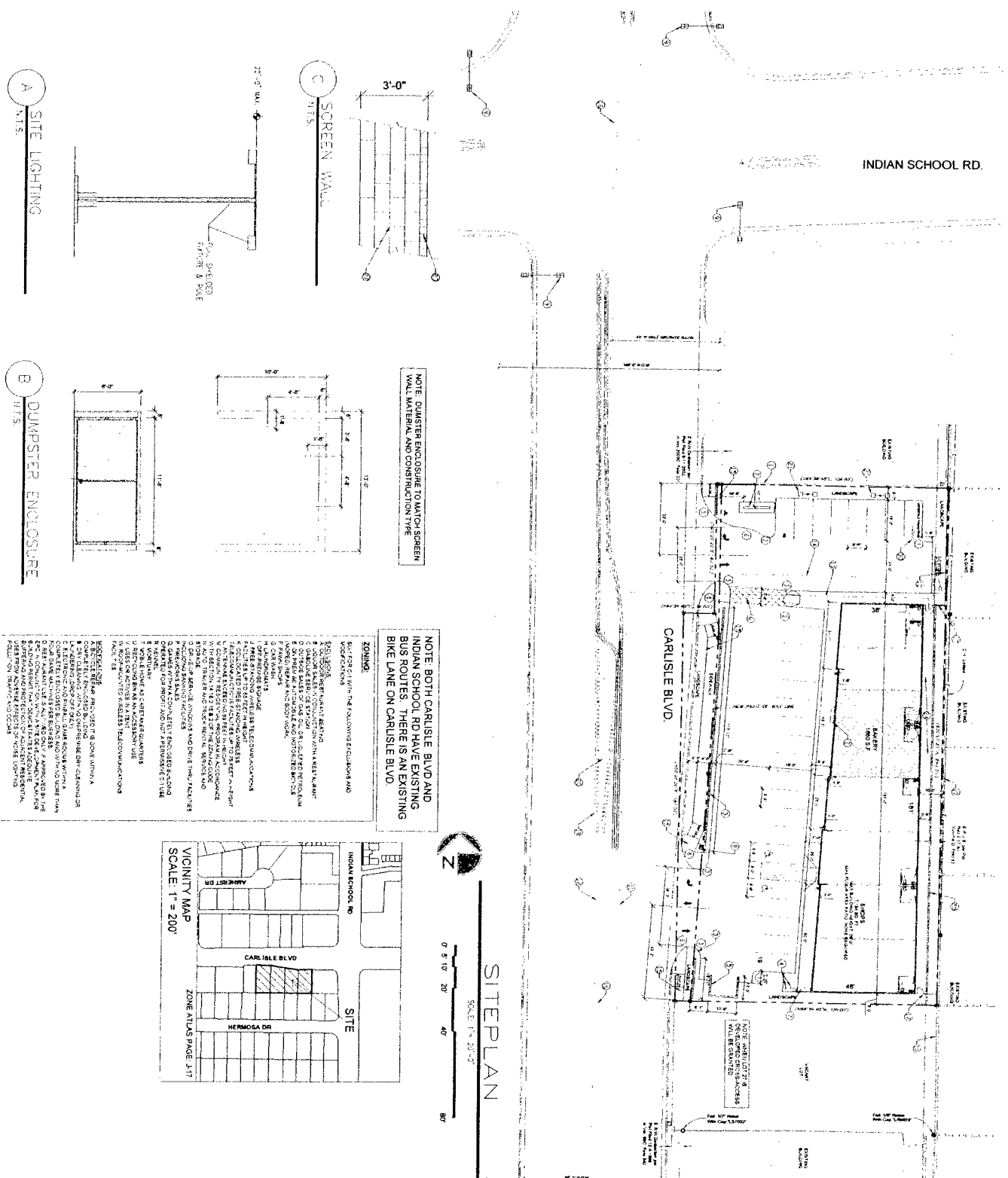
 Neighborhood or Homeowner Association
 Contacts: _____

 Neighborhood or Homeowner Association
 Contacts: _____

 Neighborhood or Homeowner Association
 Contacts: _____

 Neighborhood or Homeowner Association
 Contacts: _____

 Neighborhood or Homeowner Association
 Contacts: _____



INDIAN SCHOOL RD.

CARLISLE BLVD.

NOTE: DUMPSTER ENCLOSURE TO MATCH SCREEN WALL MATERIAL AND CONSTRUCTION TYPE

NOTE: BOTH CARLISLE BLVD AND INDIAN SCHOOL RD HAVE EXISTING BUS ROUTES. THERE IS AN EXISTING BIKE LANE ON CARLISLE BLVD

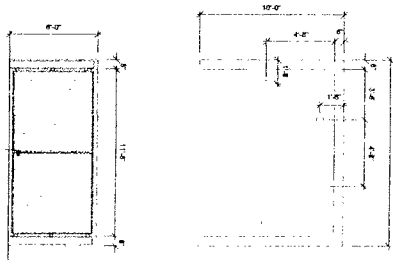
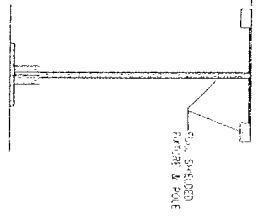
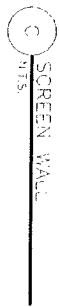
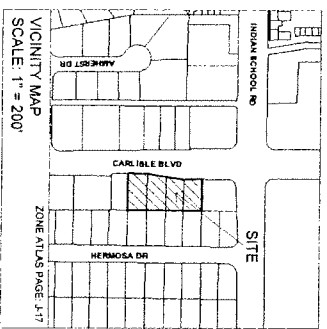
ZONING:

- 1. SEE CITY OF ALBUQUERQUE ZONING ORDINANCES
- 2. ZONING DISTRICT: M-1 (MEDIUM DENSITY RESIDENTIAL)
- 3. ZONING REGULATIONS:
 - a. MAXIMUM BUILDING HEIGHT: 35 FEET
 - b. MAXIMUM LOT COVERAGE: 40%
 - c. MAXIMUM LOT AREA: 10,000 SQ. FT.
 - d. MAXIMUM GROUND COVER: 50%
 - e. MAXIMUM NUMBER OF UNITS: 10 PER LOT
 - f. MAXIMUM NUMBER OF STORIES: 3
 - g. MAXIMUM NUMBER OF PARKING SPACES: 1 PER UNIT
 - h. MAXIMUM NUMBER OF DRIVEWAYS: 2 PER LOT
 - i. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - j. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - k. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - l. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - m. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - n. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - o. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - p. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - q. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - r. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - s. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - t. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - u. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - v. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - w. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - x. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - y. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1
 - z. MAXIMUM NUMBER OF DRIVEWAYS PER UNIT: 1



0 10' 20' 40' 80'

SITEPLAN



KEYED NOTES

1. EXISTING CURB EQUAL TO EXISTING CURB
2. EXISTING CURB EQUAL TO EXISTING CURB
3. EXISTING CURB EQUAL TO EXISTING CURB
4. EXISTING CURB EQUAL TO EXISTING CURB
5. EXISTING CURB EQUAL TO EXISTING CURB
6. EXISTING CURB EQUAL TO EXISTING CURB
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12. EXISTING CURB EQUAL TO EXISTING CURB
13. EXISTING CURB EQUAL TO EXISTING CURB
14. EXISTING CURB EQUAL TO EXISTING CURB
15. EXISTING CURB EQUAL TO EXISTING CURB
16. EXISTING CURB EQUAL TO EXISTING CURB
17. EXISTING CURB EQUAL TO EXISTING CURB
18. EXISTING CURB EQUAL TO EXISTING CURB
19. EXISTING CURB EQUAL TO EXISTING CURB
20. EXISTING CURB EQUAL TO EXISTING CURB
21. EXISTING CURB EQUAL TO EXISTING CURB
22. EXISTING CURB EQUAL TO EXISTING CURB
23. EXISTING CURB EQUAL TO EXISTING CURB
24. EXISTING CURB EQUAL TO EXISTING CURB
25. EXISTING CURB EQUAL TO EXISTING CURB
26. EXISTING CURB EQUAL TO EXISTING CURB
27. EXISTING CURB EQUAL TO EXISTING CURB
28. EXISTING CURB EQUAL TO EXISTING CURB
29. EXISTING CURB EQUAL TO EXISTING CURB
30. EXISTING CURB EQUAL TO EXISTING CURB

LEGAL DESCRIPTION

LOT 28 (PART OF) BLOCK A, ALBUQUERQUE

SITE DATA

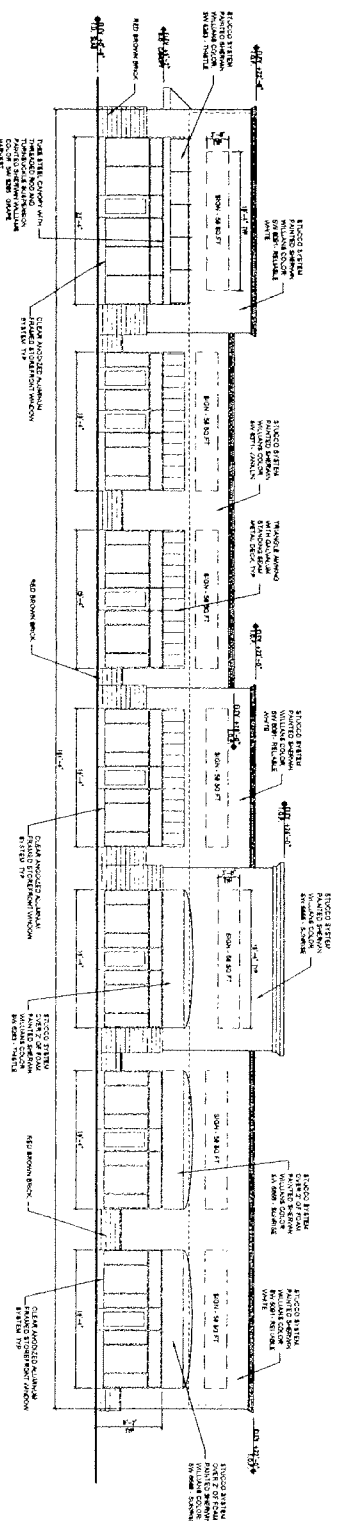
PROJECT NO: 2011-001
 LOT AREA: 27,803 SQ. FT. (640 ACRES)
 ZONING: M-1 (MEDIUM DENSITY RESIDENTIAL)
 DISTRICT: 114400
 MAP NO: 114400
 DATE: 11/14/11
 DRAWN BY: JCS
 CHECKED BY: JCS
 DATE: 11/14/11

RADIUS

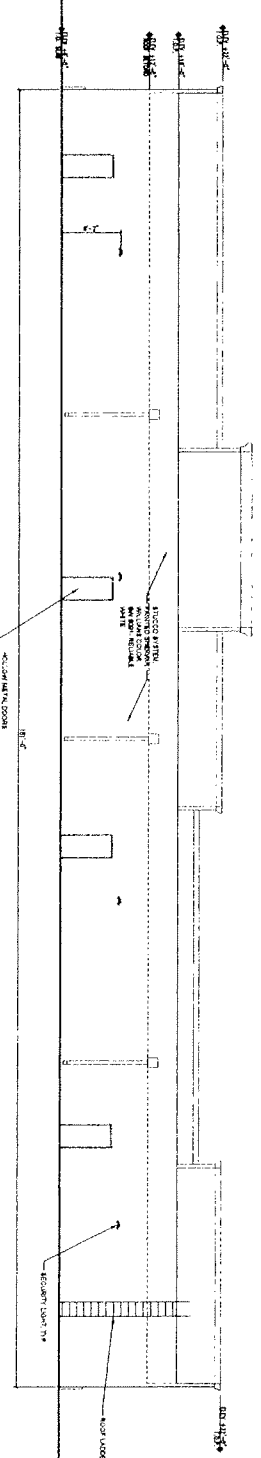
- 1. RADIUS 1'-0"
- 2. RADIUS 2'-0"
- 3. RADIUS 3'-0"
- 4. RADIUS 4'-0"
- 5. RADIUS 5'-0"
- 6. RADIUS 6'-0"
- 7. RADIUS 7'-0"
- 8. RADIUS 8'-0"
- 9. RADIUS 9'-0"
- 10. RADIUS 10'-0"
- 11. RADIUS 11'-0"
- 12. RADIUS 12'-0"
- 13. RADIUS 13'-0"
- 14. RADIUS 14'-0"
- 15. RADIUS 15'-0"
- 16. RADIUS 16'-0"
- 17. RADIUS 17'-0"
- 18. RADIUS 18'-0"
- 19. RADIUS 19'-0"
- 20. RADIUS 20'-0"
- 21. RADIUS 21'-0"
- 22. RADIUS 22'-0"
- 23. RADIUS 23'-0"
- 24. RADIUS 24'-0"
- 25. RADIUS 25'-0"
- 26. RADIUS 26'-0"
- 27. RADIUS 27'-0"
- 28. RADIUS 28'-0"
- 29. RADIUS 29'-0"
- 30. RADIUS 30'-0"

NOTE: RAMP SLOPE NOT TO BE GREATER THAN 1:12.

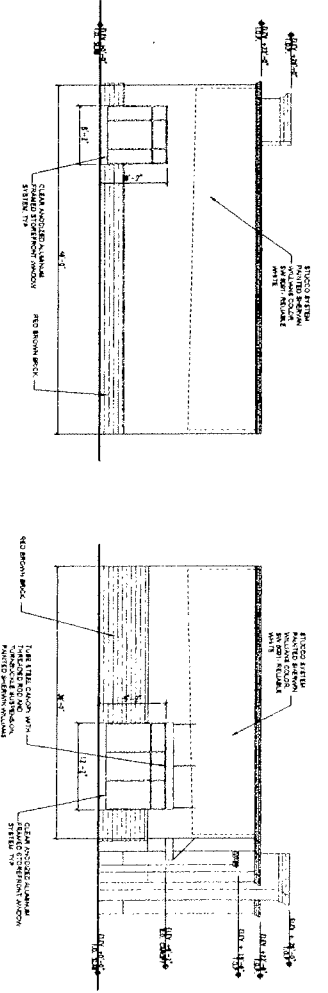
<p>PROJECT TITLE CARLISLE SHOPS CARLISLE AND INDIAN SCHOOL, ALBUQUERQUE, NM</p>	<p>DATE 11/14/11</p>	<p>SCALE AS NOTED</p>	<p>PROJECT NUMBER 2011-001</p>	<p>DRAWN BY JCS</p>	<p>CHECKED BY JCS</p>	<p>DATE 11/14/11</p>	<p>REVISION</p>
<p>PROJECT TITLE SITE PLAN FOR BUILDING PERMIT</p>							
<p>GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C. 2325 SAN PEDRO NE., SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 884-9110 FAX (505) 837-9877</p>							



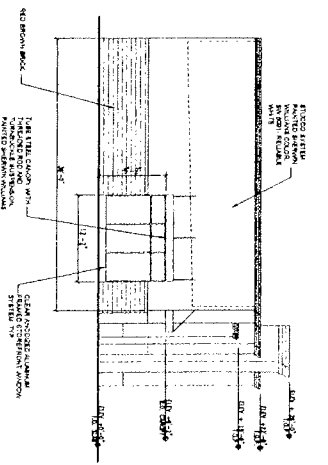
A
WEST ELEVATION
1/8" = 1'-0"



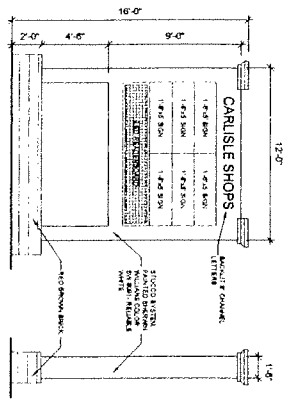
B
EAST ELEVATION
1/8" = 1'-0"



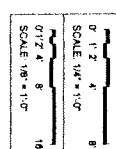
C
SOUTH ELEVATION
1/8" = 1'-0"



D
NORTH ELEVATION
1/8" = 1'-0"



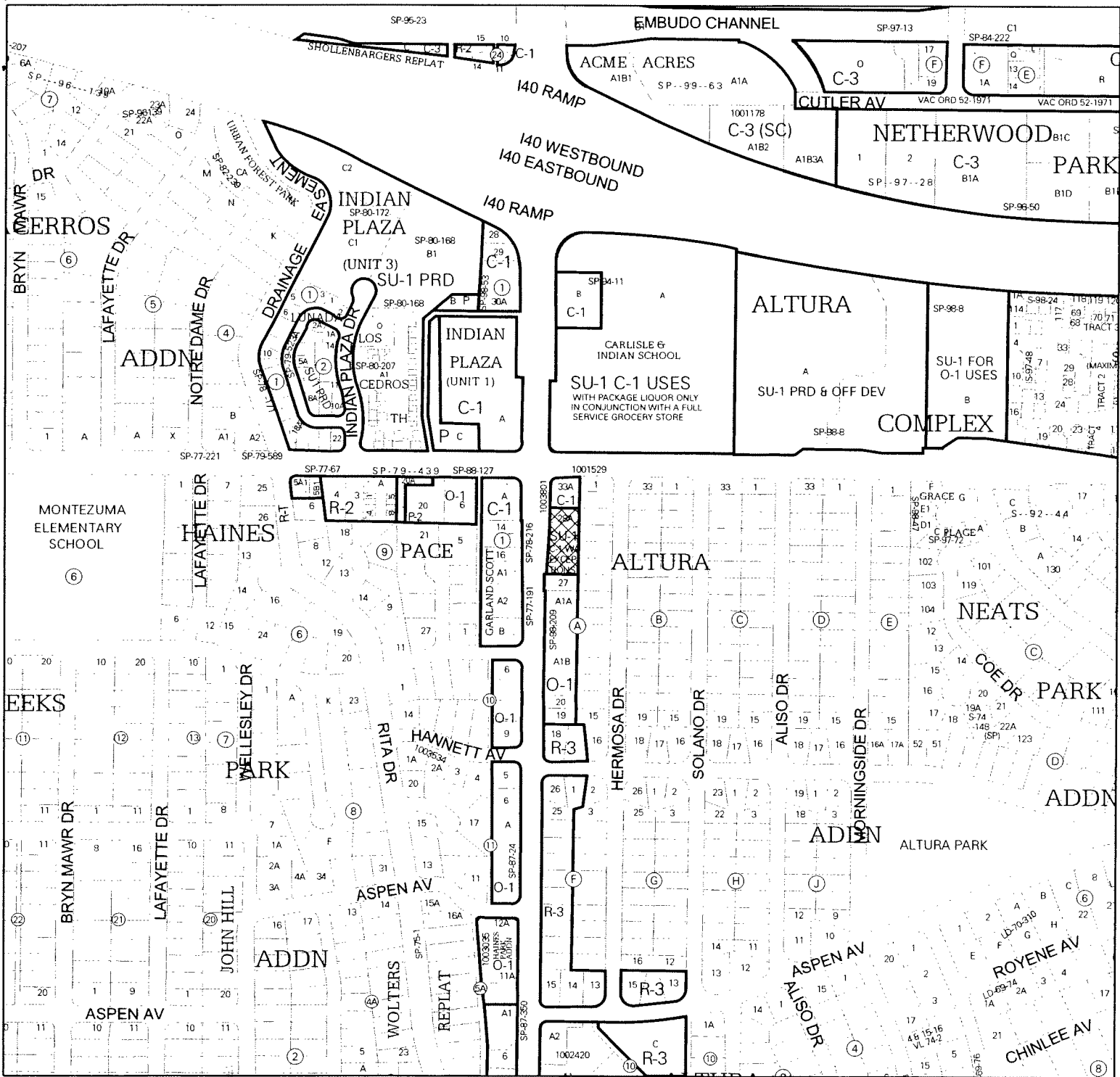
E
MONUMENT SIGN
1/4" = 1'-0"



DATE	PROJECT TITLE	DRAWN BY	
07/24/08	CARLISLE SHOPS CARLISLE AND INDIAN SCHOOL ALBUQUERQUE, NM	JCS	
SCALE	PROJECT MANAGER	JOB NO.	DRAWN BY
1/8" = 1'-0"	George Rainhart, AIA		JCS
1/4" = 1'-0"	SHEET TITLE		
1/8" = 1'-0"	BUILDING ELEVATIONS		

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2326 SAN PEDRO NE. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9677

REV	DATE	BY	REVISION



ZONING MAP

Note: Grey shading indicates County.



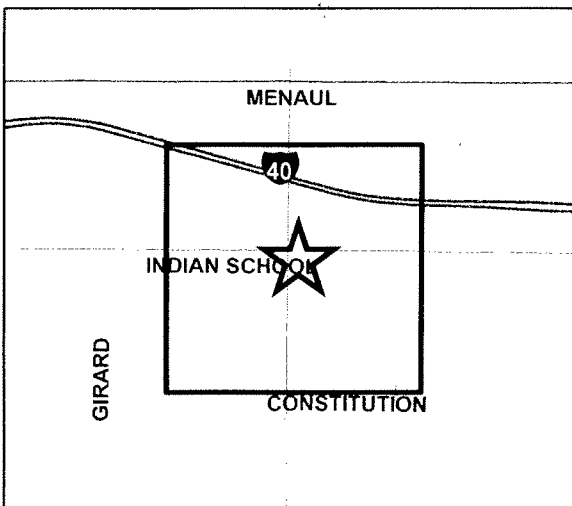
1 inch equals 500 feet

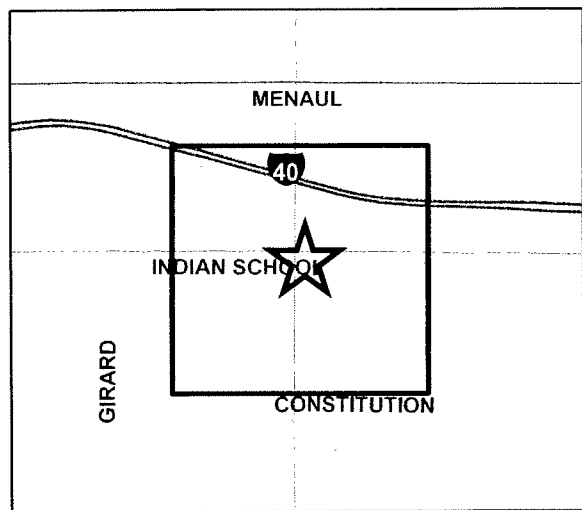
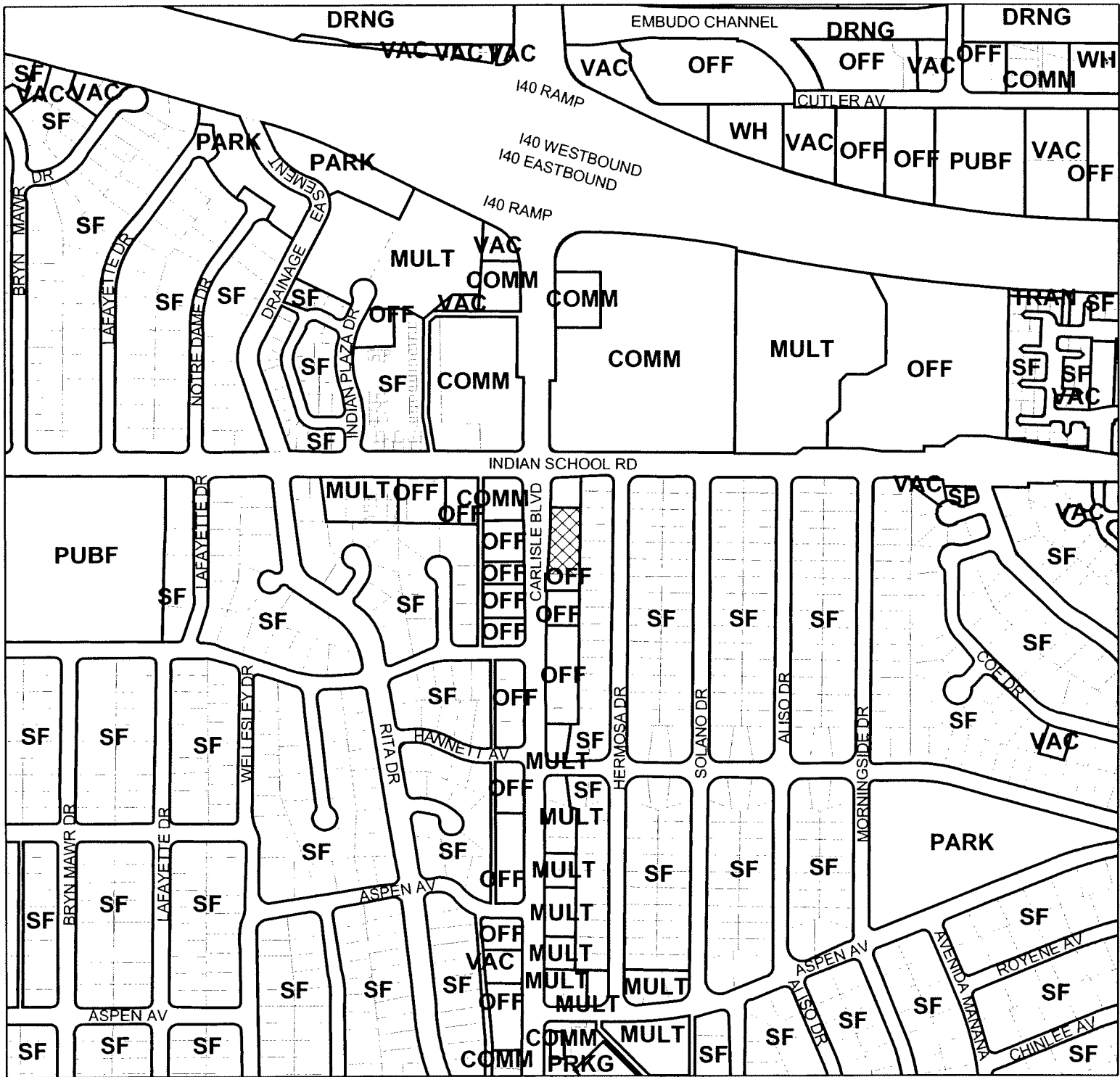
Project Number:
1003801

Hearing Date:
April 17, 2008

Zone Map Page:
J-16

Additional Case Numbers:
08EPC-40026





LAND USE MAP

Note: Grey shading indicates County.

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail
- DRNG Drainage
- MFG Manufacturing or Mining
- MULT Multi-Family or Group Home
- OFF Office
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



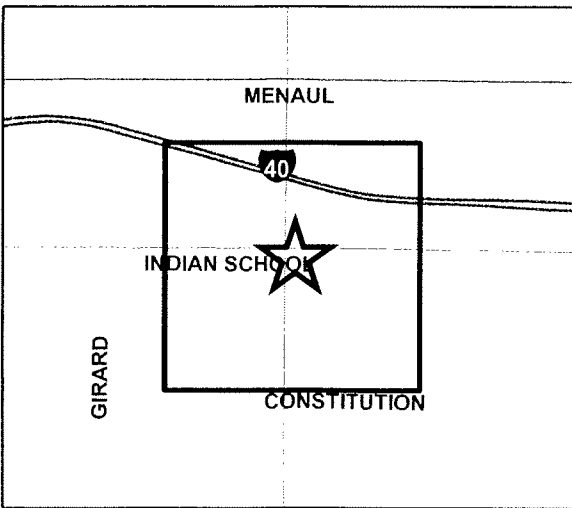
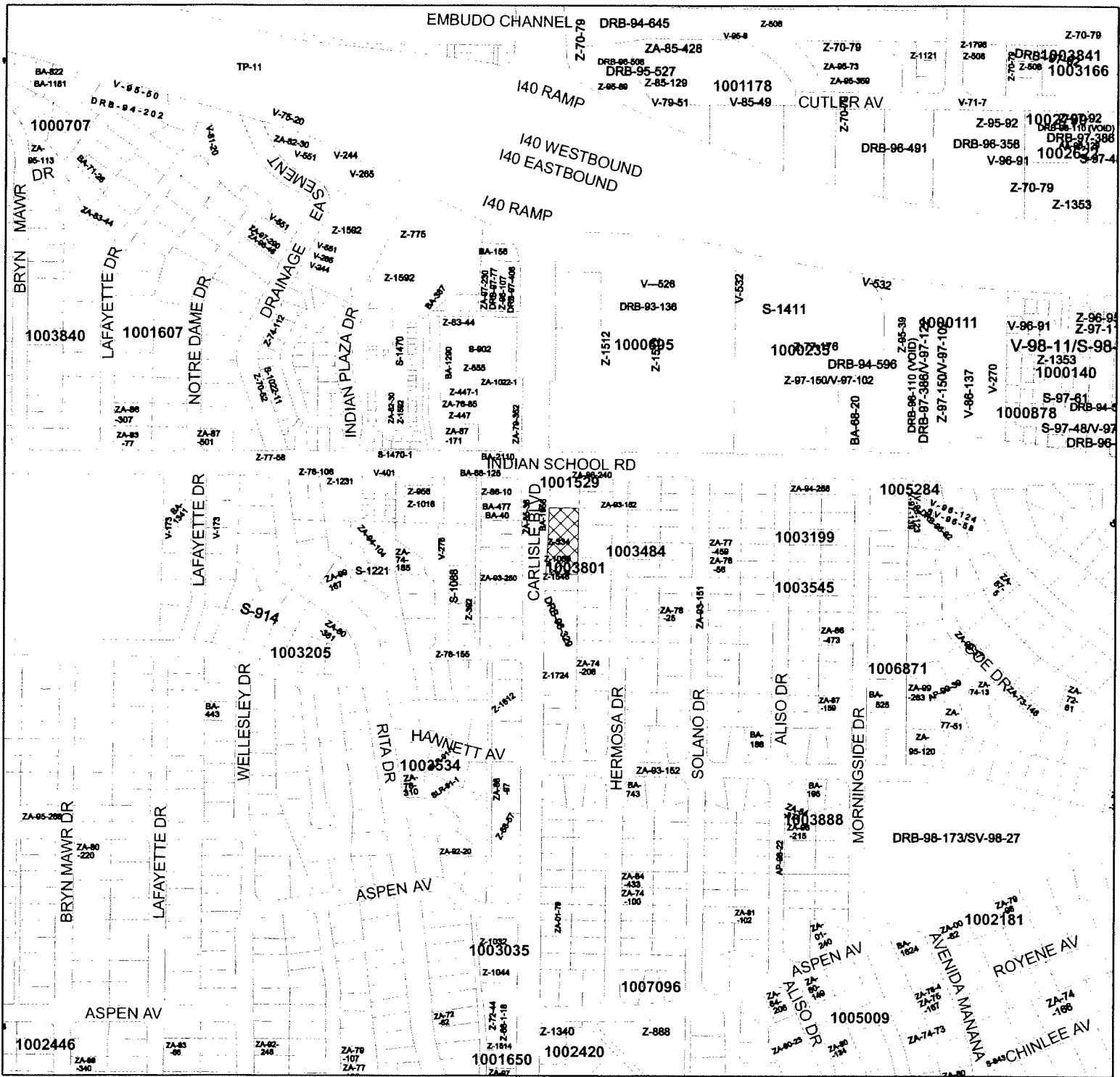
1 inch equals 500 feet

Project Number:
1003801

Hearing Date:
April 17, 2008

Zone Map Page:
J-16

Additional Case Numbers:
08EPC-40026



HISTORY MAP

Note: Grey shading indicates County.



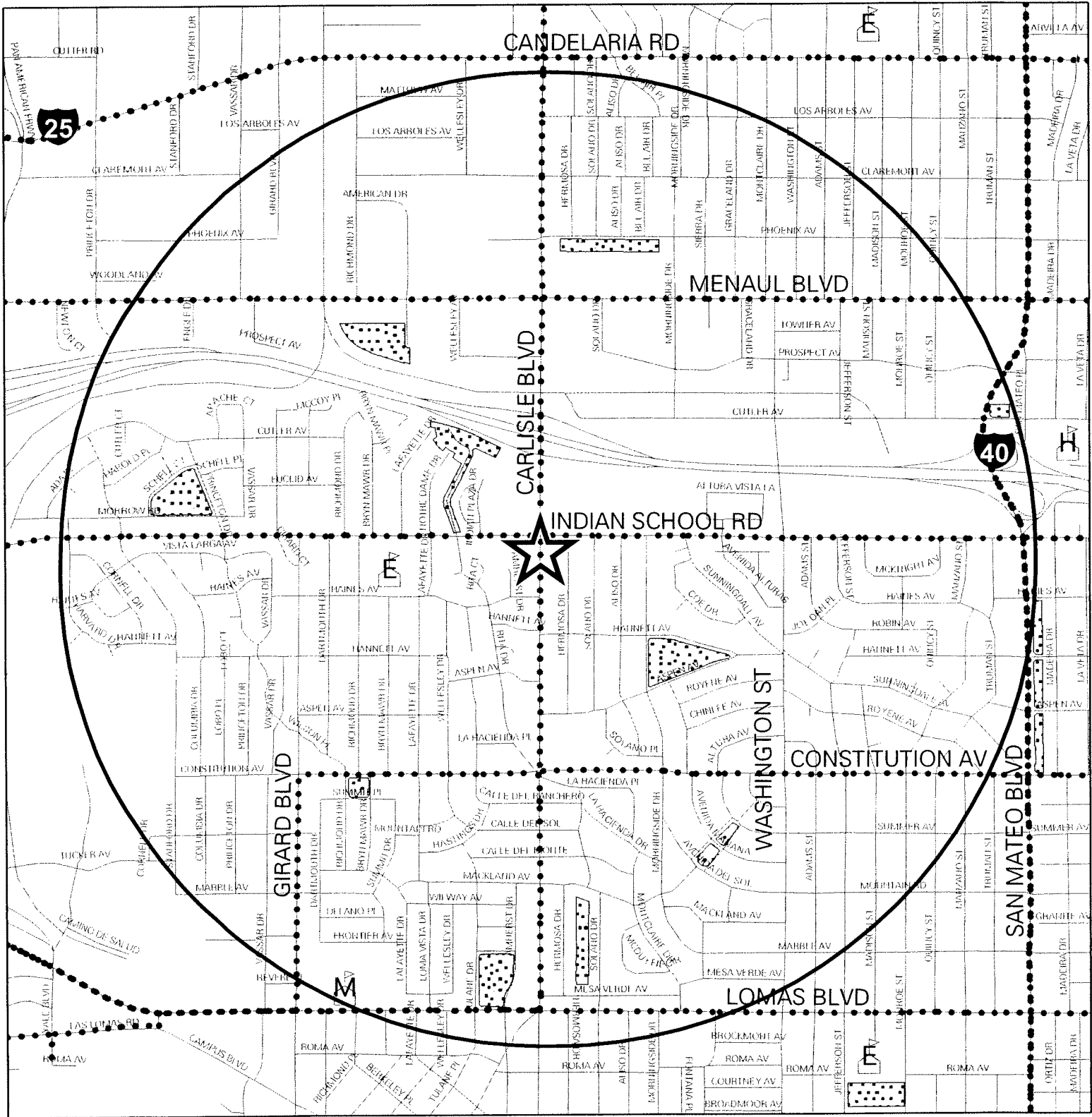
1 inch equals 500 feet

Project Number:
1003801










Hearing Date:
April 17, 2008

Zone Map Page:
J-16

Additional Case Numbers:
08EPC-40026



Public Facilities Map with One-Mile Site Buffer

-  APS Schools
-  ABQ Ride Routes
-  AGIS Jurisdiction
-  Landfill Buffer (1000 feet)
-  Landfills designated by EHD
-  Developed County Park
-  Undeveloped County Park
-  Developed City Park
-  Undeveloped City Park



Project Number: 1003801

