



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): GARCIA/Kraemer + Associates PHONE: 505-242-5566
 ADDRESS: 200 Lomas NW Suite 1111 FAX: 242 9028
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: kilyboman@hotmail.com

APPLICANT: TRAMWAY ASSOCIATES INC. PHONE: 505 450 4388
 ADDRESS: PO Box 1245 FAX: 505 293 3580
 CITY: NORTHBRIDGE STATE IL ZIP 60065 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: Amendment to the Site Development Plan for Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOB 1-PI to 28-PI Block: _____ Unit: _____
 Subdiv/Addn/TBKA: The Bluffs @ Encantada
 Existing Zoning: SU-1/RT Proposed zoning: _____
 Zone Atlas page(s): K23 / L23 UPC Code: See attached MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1004496
06AAL0062, 06DRB00667, 06DRB00668, 06DRB00669, 06DRB00670, 06DRB00671,
06EPC00138, 05EPC01805.

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 28 No. of proposed lots: SAME Total area of site (acres): 3.07
 LOCATION OF PROPERTY BY STREETS: On or Near: TRAMWAY Blvd NE
 Between: Skyline Road and Encantada Road

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE William J Kraemer DATE 08/01/08
 (Print) WILLIAM KRAEMER Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>08EPC 40083</u>	_____	_____	\$ <u>255</u>
<input checked="" type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ <u>75</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ <u>50</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>September 18, 2008</u>				Total \$ <u>380</u>

[Signature] 8-1-08 Project # 1004496
 Planner signature / date

FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"**
 - IP MASTER DEVELOPMENT PLAN (EPC11)**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30 copies.**
For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - ___ Site plans and related drawings reduced to 8.5" x 11" format (1 copy)
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Completed Site Plan for Subdivision and/or Building Permit Checklist
 - ___ Sign Posting Agreement
 - ___ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15) Maximum Size: 24" x 36"**
- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (EPC17)**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30 copies.**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted.
(Folded to fit into an 8.5" by 14" pocket.) **30 copies**
 - ___ Site plans and related drawings reduced to 8.5" x 11" format (1 copy)
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Completed Site Plan for Subdivision and/or Building Permit Checklist
 - ___ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

NOTE: For wireless telecom facilities (administrative reviews referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- ___ Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
- ___ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- ___ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- ___ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- ___ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
- ___ Registered Engineer's stamp on the Site Development Plans
- ___ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"**
 - AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**
 - ✓ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30 copies**
 - ✓ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30 copies**
 - ___ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30 copies**
 - ✓ Site plans and related drawings reduced to 8.5" x 11" format (1 copy)
 - ✓ Zone Atlas map with the entire property(ies) clearly outlined
 - ✓ Letter briefly describing, explaining, and justifying the request
 - ✓ Letter of authorization from the property owner if application is submitted by an agent
 - ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ✓ Sign Posting Agreement
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ✓ TIS/AQIA Traffic Impact Study form with required signature
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

William Kaplan
Applicant name (print)
William Kaplan 8-1-08
Applicant signature / date



Form revised October 2007

Yuly 8-1-08
Planner signature / date
Project # 1604496

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
8EPL - 40083

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: TRAMWAY ASSOCIATES DATE OF REQUEST: 8/1/08 ZONE ATLAS PAGE(S): K-23

CURRENT:

ZONING SU-1 RT

PARCEL SIZE (AC/SQ. FT.) 3.07 acres

LEGAL DESCRIPTION:

LOT OR TRACT # 1-P1 to 28-P1 BLOCK # _____

SUBDIVISION NAME Bluffs @ Encantado

REQUESTED CITY ACTION(S):

ANNEXATION [] SECTOR PLAN [] SITE DEVELOPMENT PLAN:
COMP. PLAN [] ZONE CHANGE [] A) SUBDIVISION BUILDING PERMIT []
AMENDMENT CONDITIONAL USE [] B) BUILD'G PURPOSES [] ACCESS PERMIT []
CHANGE OF FOOTAGE C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: ¹

OF UNITS: 28 (NO CHANGE)
BUILDING SIZE: _____ (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE William J. Kerner DATE 8/1/08
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

Tony Lopez
TRAFFIC ENGINEER

8-1-08
DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

William J. Kerner
APPLICANT

8/1/08
DATE

Required TIS and/or AQIA **must be completed prior to applying to the EPC.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER _____

DATE _____

Bluffs at Encantado UPC numbers

102305703909132001
102305703608732002
102305703608432003
102305703508132004
102305703407832005
102305703407532006
102305703407232007
102305703406832008
102305703606432009
102305703706132010
102305703805832011
102305703905632012
102305704005332013
102305704105032014
102305704304632015
102305704404232016
102305704503932017
102305704603732018
102305704603432019
102305704603132020
102305704603832021
102305704603432022
102305704602032023
102305704701732024
102305704701432025
102305704701132026
102305704700832027
102305704700532028

505 293 3580

September 26, 2005

Zoning Hearing Examiner (ZHE)
And Development Review Board
City of Albuquerque

Re: letter of authorization
Tracts 1A, 1B & 1C, Block J and Lot 1, Block K, Cenaroca Addition

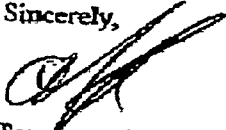
To Whom It May Concern:

Tramway Associates Inc. is the fee owner of the above referenced property.

This letter hereby authorizes the firm of GARCIA/KRAEMER & ASSOCIATES to act as our agent and represent our interests in connection with an application to allow dwelling units as a conditional use in the C-1 zone and a request to VACATE public right of way (Huerfano.) This Authorization extends to any appeals, or amendments to site development plans that may be required to develop this property.

The contract purchasers shall be responsible and pay for professional services and fees in connection with this and other applications.

Sincerely,



Tramway Associates Inc.
PO Box 1245
Northbrook Illinois, 60065



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

July 29, 2008

William Kraemer
Garcia/Kraemer and Associates
200 Lomas Blvd. NW, Suite 1111/87102
Phone: 505-242-5566/Fax: 505-242-9028

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear William:

Thank you for your inquiry of July 29, 2008 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **LOTS 1-P1 TO 28-P1, THE BLUFFS AT ENCANTADO, LOCATED ON TRAMWAY BOULEVARD AND AVITAL DRIVE NE BETWEEN SKYLINE ROAD NE AND ENCANTADO NE** zone map **K-23**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

SUPPER ROCK N.A. (SPR) "R"

***Carol O'Keefe**

600 Vista Abajo Dr. NE/87123 296-9075 (h)

Kathleen Schindler-Wright

407 Monte Largo Dr. NE/87123 275-2710 (h)

Please note that according to O-92 you are required to notify each of these contact persons by certified mail, return receipt requested, before the Planning Department will accept your application.

[Faint, mostly illegible text]

[Faint, mostly illegible text]

GARCIA/KRAEMER & ASSOCIATES

Wells Fargo Bank Building
200 Lomas N.W., Suite 1111
Albuquerque, NM 87102
(505) 242-5566
Fax # (505) 242-9028

July 30th, 2008

**REASON FOR REQUEST
Administrative Amendment
Site Development Plan for Subdivision
The Bluffs at Encantado
Project #1004496, SU-1 RT Uses**

The approved zoning is SU1/ RT. The regulations of the RT zone are controlling absent any specific conditions imposed by the EPC approval. The RT zone does not contain specific limitations on the size of dwelling units. Maximum size is limited by the building envelope created by required setbacks and height limitations and there are no minimum sizes expressed or implied.

The original site development plan for subdivision included 28 townhouse units arranged in four groups of seven. A single builder (Homes by Lillian) was going to construct the entire subdivision. They purchased the southern 14 lots, but have chosen not to proceed on the remaining lots. The developer has contracted to sell the remaining 14 lots to another builder (Mike Davis dba Aspire Homes), whose product will vary slightly and requires minor amendments to the design regulations included on the approved site plan for subdivision.

This amendment includes the following changes to the approved site plan for subdivision:

1. The building envelopes on Lots 1-P1 through 14-P1 have been modified to show seven (7) duplexes on the 14 lots, instead of the two groups of seven originally shown. The new layout will increase sightlines through the project and improve drainage.
2. There are no other changes on sheet 1. The number of lots, lot sizes and access remain unchanged.
3. On sheet 2 we have added a typical lot plan for lots 1-P1 to 14-P1 in addition to the previous typical lot plan which now applies only to lots 15-P1 to 28-P1.
4. The Design Requirements on sheet 2 have been revised to (new language is underlined):
 - a. Describe the changed unit configuration.
 - b. Decrease the minimum dwelling size from 2,000 square feet to 1,600 square feet.
 - c. The rest of the design requirements remain unchanged.

The revised site plan for subdivision still complies with all of the conditions of approval imposed by the EPC. We assert that this request falls within the parameters of changes allowed as administrative amendment, Section 14-16-2-22 (A) (6) because:

- a. It is consistent with the written requirements of the EPC approval.
- b. The buildings are in the same general configuration.
- c. The total maximum floor area under the approved site plan will be reduced rather than increased.
- d. The vehicular circulation patterns are unchanged.

Also, the requested change would not be considered a “CHANGE IN ZONING REGULATION” (section 14-16-4-4 (E) (5) d 3 because :

- a. It does not change permitted land uses.
- b. The total maximum floor area under the approved will be decreased.
- c. Building heights will not be changed.
- d. The number of dwelling units will remain unchanged.

This administrative amendment request is very different from the previous AA filed in April, which was denied based upon opposition from aggrieved parties. It is our hope that after meetings with the community the opposition issues will be resolved. If not this request will be presented to the EPC for review and decision.

Please contact Bill Kraemer if you have any questions concerning this request or need additional information.

GARCIA/KRAEMER&ASSOCIATES

Wells Fargo Bank Building
200 Lomas N.W., Suite 1111
Albuquerque, NM 87102
(505) 242 5566
Fax (505) 242 9028

July 30th, 2008

Carol O'Keefe
600 Vista Abajo Dr. NE
Albuquerque, NM 87123

Homes by Lillian Inc.
10639 Pisces Ct. NW
Albuquerque, NM 87114

Kathleen Schindler-Wright
407 Monte Largo Dr. NE
Albuquerque, New Mexico 87123

Drake LeMaster
3240B Juan Tabo NE
Albuquerque, New Mexico 87111

RE: Project 1004496-The Bluffs at Encantado
Site plan for subdivision, SU-1 for RT
Administrative Amendment (AA) and Environmental Planning Commission

Dear Neighborhood Representatives:

In 2006, the EPC voted to approve a zone change from C-1 to SU-1 for RT and approved a site plan for subdivision for the site. In April of this year we requested an Administrative Amendment (AA) which was denied because of objections from aggrieved parties.

The purpose of this letter is to inform you that we are filing a request for a new AA to the site plan for subdivision on those properties, which is much narrower than the previous AA. Because of past objections to the previous AA we intend to have a facilitated meeting to discuss the revised changes. However, if it can't be resolved through negotiation, an application for an amendment to the Site Plan for Subdivision will be pursued to the Environmental Planning Commission. The changes and reasons we are making this request are explained in the attached reason for request.

The City's AA process will take a minimum of 15 days, whereupon the City will make a final decision on this request. A copy of the Planning Department's *Administrative Amendment Information Sheet* is enclosed to help you understand this process. If there are continued objections after the facilitated meeting this matter will be heard by the EPC on September 18th 2008.

If you have any questions please call me at 242-5566. This application can also be reviewed at City Planning, located downtown at the Plaza del Sol Building, 600 2nd St. NW. If you want to review the file or have any concerns, please contact April Candelaria

@ 924-3860, who can answer your questions or put you in touch with the Planner who will review our request.

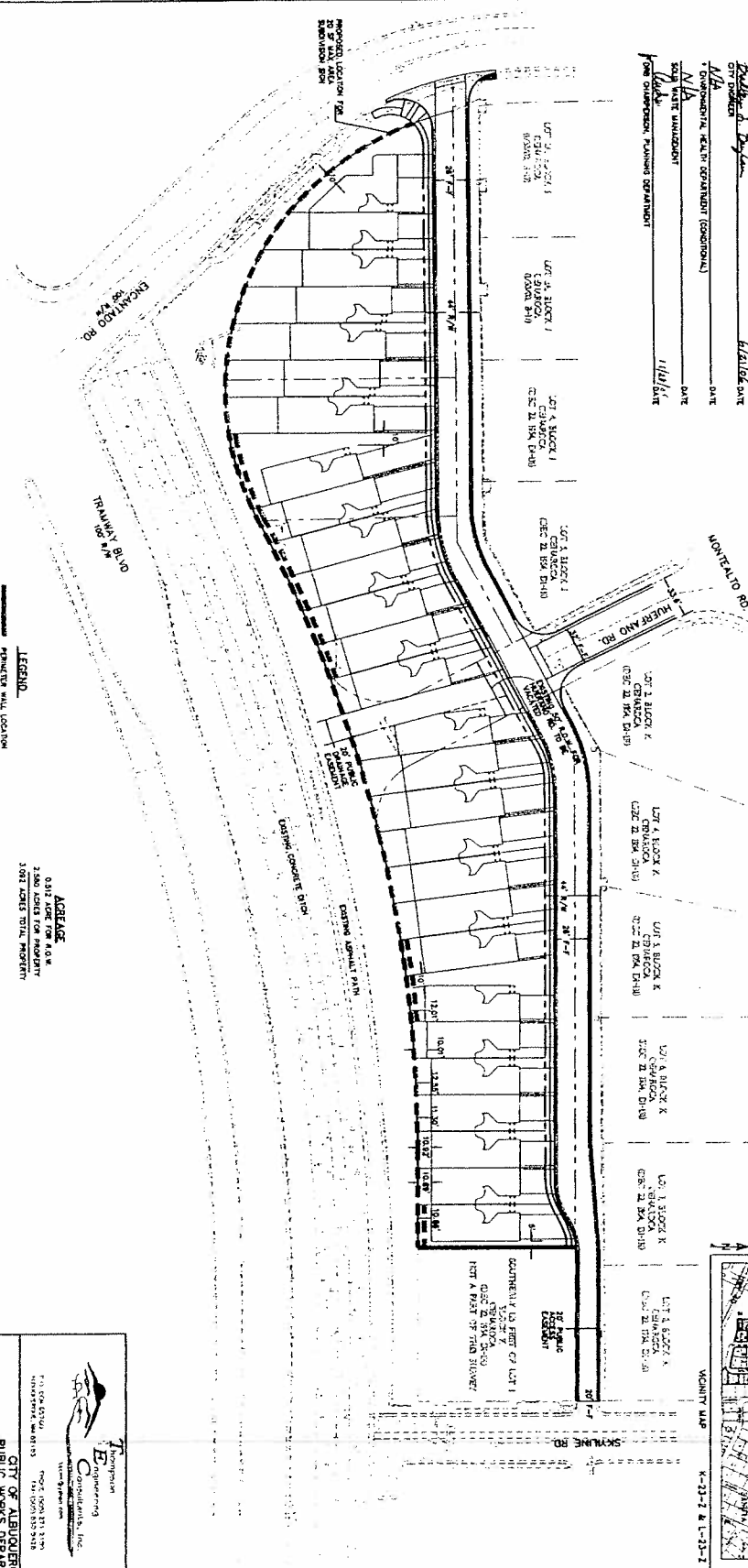
We think that you will agree that the changes will be helpful rather than create problems for the neighborhood, but you have the right to have input into this process. Thanks again for your community involvement. Sincerely,

WILLIAM L. KRAEMER

APPROVED

PROJECT NUMBER: 100488 / 04-0143 / 04-0143 - 000011
 THIS PLAN IS SUBMITTED WITH THE PROPOSED SITE DEVELOPMENT PLAN APPROVED BY THE
 BOARD OF SUPERVISORS OF THE COUNTY OF ALBUQUERQUE, NEW MEXICO, ON 11/14/04
 IS AN INSTRUMENT OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL
 NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR
 SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE
 APPROPRIATE AGENCIES.

TRANSPORTATION ENGINEER: *[Signature]* DATE: 6/21/04
 DATE: 6/21/04
 CIVIL ENGINEER: *[Signature]* DATE: 6/21/04
 DATE: 6/21/04
 PUBLIC WORKS DEPARTMENT: *[Signature]* DATE: 6/21/04
 DATE: 6/21/04
 CITY ENGINEER: *[Signature]* DATE: 6/21/04
 DATE: 6/21/04
 CITY ENGINEER: *[Signature]* DATE: 6/21/04
 DATE: 6/21/04

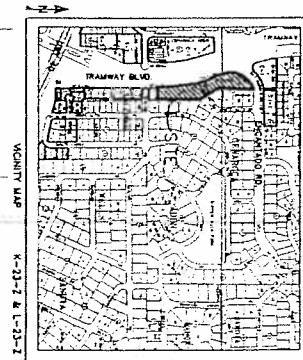
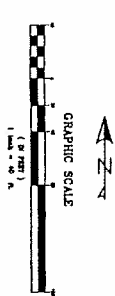


LEGEND

- PROPOSED IMPROVEMENTS
- EXISTING IMPROVEMENTS
- PROPOSED LOT LOCATIONS
- EXISTING LOT LOCATIONS

USEABLE OPEN SPACE

TOTAL OPEN SPACE: 21,919.95 SF
 TOTAL LOT AREA: 21,919.95 SF
 PERCENT OPEN SPACE: 100.00%



Engineering
[Logo]
 Engineering, Inc.
 1101 6TH STREET, N.W.
 ALBUQUERQUE, NM 87102
 PHONE: (505) 261-2121
 FAX: (505) 261-2122
 WWW: WWW.ENR.COM

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 TRANSPORTATION DEVELOPMENT
 SITE PLAN FOR SUBDIVISION
 BLUFFS AT ENCANTADO

CITY ENGINEER: *[Signature]*

CITY PROJECT NO.: ZONE MAP NO.: SHEET OF

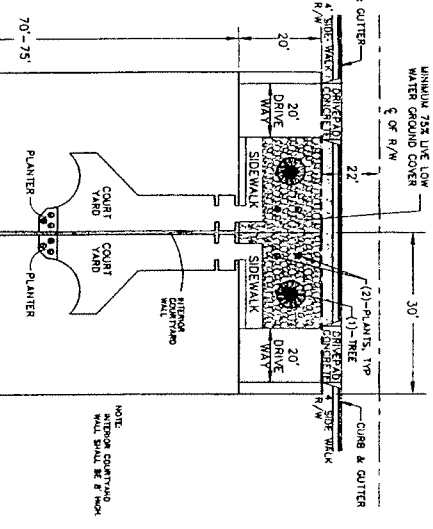
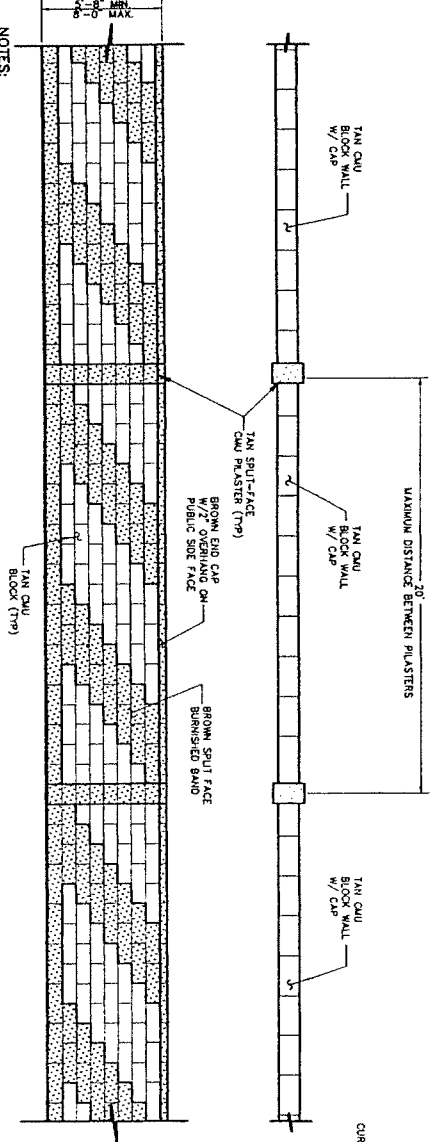
NO.	DATE	REMARKS	BY
DESIGN			
DESIGNED BY	DBT	DATE	
DRAWN BY	DBT	DATE	
CHECKED BY	DBT	DATE	

SURVEY INFORMATION		
NO.	BY	DATE

BENCH MARK		

AS BUILT INFORMATION		
CONTRACTOR	DATE	BY

MICROFILM INFORMATION		
RECORDED BY	DATE	BY



- NOTES:**
- CONTRACTOR TO PROVIDE ENGINEERING DESIGN FOR REINFORCED WALL & WALL FOOTING BASED ON THE SITE GEOTECHNICAL REPORT.
 - FOR LOTS 1-7, 14-20, 23-27 MAXIMUM RETAINED HEIGHT FOR PERMITTED DECORATIVE WALL IS 5'-0".
 - FOR LOTS 8-13, 21, 22, & 28 PERMITTED DECORATIVE WALL SHALL BE STEPPED. WALL HEIGHT ON PROPERTY LINE SHALL HAVE MAXIMUM RETAINED HEIGHT OF 6'. WALL HEIGHT ON ADJACENT PROPERTY SHALL HAVE MAXIMUM RETAINED HEIGHT OF 4'.

SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN REQUIREMENTS

The property, four lots containing approximately 2 acres and zoned SU-1 for RT uses in Project PROGRESS (S28P-0188), has been approved by the EPC (EPC-0018) on March 16, 2008. Applicant comprehensively request approval of retention of a portion of existing buildings, including but not limited to the development plan for subdivision.

Maximum and medium number of dwelling units: there shall be a maximum of 20 single-family dwelling units for an approximate density of 8 dwelling units per acre. Section 14-16-1-6 (d)(5)-(5)(b) on one of the 10 split lots in existing units. The site plan contemplates four groups of seven attached units.

Minimum dwelling size: The minimum size of dwelling unit shall be 2000 square feet of finished living area.

Maximum and minimum lot sizes: The minimum lot size will be 30' x 100', although many of the lots will be wider and/or deeper, as permitted in the RT zone.

Maximum building height: 28 feet in all locations as controlled by the RT zone.

Minimum building setback: Front yard setback shall be 15 feet. Rear yard setback shall be 10 feet on the street side of corner lots; otherwise three feet for non-corner lots. Side yard setback shall be 5 feet, but not less than 10 feet between residential buildings.

Architectural design standards: The units shall be attached townhouses, designed in the "Tucson in the Southwest" style. The Tucson element includes the roof, turret entrance, arched window features, the Southwest element includes the exterior color scheme, entrance, Texas style clustering of multiple properties, landscaping and hedges. Each unit shall include an enclosed front courtyard and levelled entry. The exterior wall materials shall include earth tone stucco with stone accents. Each dwelling may have a combination of flat, shed and pitched roofs, with the roof, colored to complement the exterior color of the dwelling.

Garage doors: High quality garage doors shall be used to enhance the impact of the building exterior. A minimum of three (3) separate types of garage doors shall be utilized and not be varied from lot to lot.

Placement of mechanical units: These units shall be located on the ground or, if roof mounted, shielded from view from the public right of way.

Grading and drainage: A grading and drainage plan has been prepared and submitted for approval to the City in conjunction with the Subdivision of this property. Landscaping design standards and maintenance: The landscaping in the courtyard, front and street side yards shall be maintained by the Builder. Each unit shall have at least one tree and at least 25% live ground cover using low water use indigenous plants. The courtyard area, irrigation, bird, tree or planted material or a combination thereof may be used. Landscaping and maintenance is the responsibility of the individual homeowner.

Off street parking: 2 standard off street parking spaces will be provided for each dwelling, in addition to garage spaces.

Solid Waste automated carts: Residential automated solid waste carts shall be stored so that they are not visible from the street or located inside the garage.

Site lighting and signage: No project site lighting is planned, but if available will be allowed if deemed appropriate by PMU. There may be a single project sign at Encanto entrance to the subdivision.

Design of signs and fences: All signs and fences shall be provided on all streets with the development.

Retention of existing structures: Public 4 foot sidewalks shall be provided on all streets within the development.

Accessory buildings: No accessory buildings will be allowed on the lot.

Site Plans (A) for Building Permits: Included site plans for building permits may be submitted for building permit approval under the Uniform Building Code, without additional review by the City of Albuquerque, New Mexico, Chapter 20-2-22 (N 24).

TYPICAL LOT PLAN

BACKYARD LANDSCAPING (TYPE LIMIT SHALL BE 15% OF TOTAL LANDSCAPE)

ENGINEER'S SEAL

SURVEY INFORMATION

BENCH MARK

AS BUILT INFORMATION

SURVEY INFORMATION			BENCH MARK	AS BUILT INFORMATION
NO.	FIELD BY	DATE		CONTRACTOR
				STARTED BY
				FINISHED BY
				RECORDED BY
				DATE

CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

TRANSPORTATION DEVELOPMENT

SITE PLAN FOR SUBDIVISION

BLUFFS AT ENCANTADO

DESIGN REVIEW COMMITTEE

CITY ENGINEER

DATE: 03/17/2008

TIME: 10:03 AM

ADDRESS: 800 2ND ST NW, ALBUQUERQUE, NM 87102

PHONE: (505) 771-2100

FAX: (505) 771-2100

WEBSITE: www.ci.abuquerque.nm.us

City Project No. X & L-22-2

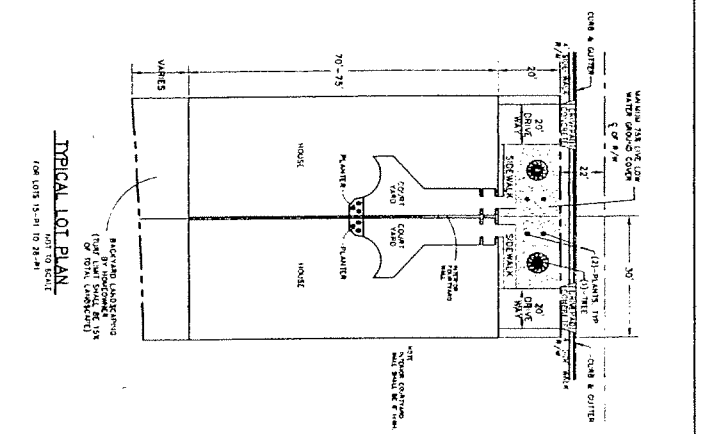
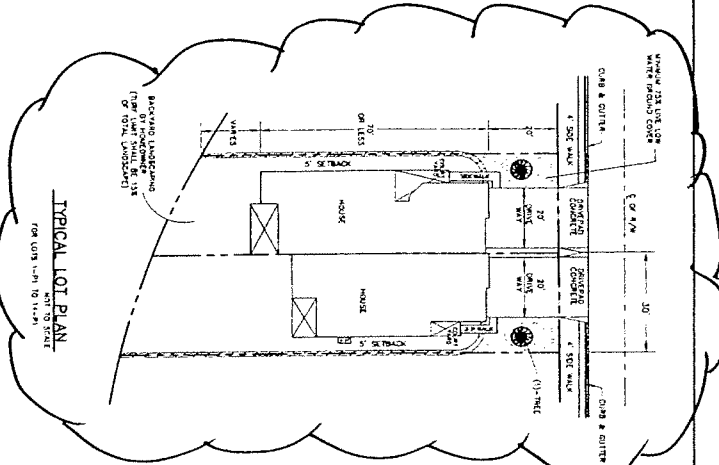
Zone Map No. Sheet 2 of 2

SITE DEVELOPMENT PLAN FOR SUBMISSION DESIGN REQUIREMENTS

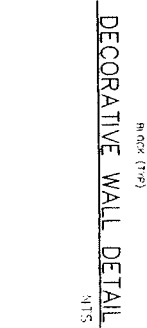
This property, four lots consisting of approximately 2 acres was zoned SU-1 for RT use in Project #20044088, OSBPC-01803. The site plan for this project was approved by the Planning Commission on 11/11/04. The site plan for this project was approved by the Planning Commission on 11/11/04. The site plan for this project was approved by the Planning Commission on 11/11/04.

Maximum building height: 25 feet in all locations as controlled by the RT zone.
Minimum building setback: Front yard setback shall be 15 feet. Rear yard setbacks shall be 10 feet on the street side of corner lots; otherwise there shall be no required side yard setbacks. There shall be a minimum of 10 feet between buildings.
Architectural design standards: The units shall be attached townhouses, designed in the "Tucson in the Southwest" style. The Tucson architectural style is characterized by its use of stucco, adobe, and other earth-toned materials. The units shall be constructed of masonry or concrete block with stucco finish. The units shall be constructed of masonry or concrete block with stucco finish. The units shall be constructed of masonry or concrete block with stucco finish.

Grading and drainage: A grading and drainage plan has been prepared and submitted for approval to the City in conjunction with the Subdivision of this property.
Landscaping design standards and requirements: The landscaping in the courtyard, front and rear side yards shall be installed by the applicant. The landscaping shall be installed by the applicant. The landscaping shall be installed by the applicant. The landscaping shall be installed by the applicant.



- NOTES:**
- CONTRACTOR TO PROVIDE ENGINEERING DESIGN FOR REINFORCED WALL & WALL FOOTING BASED ON THE SITE GEOTECHNICAL REPORT
 - FOR LOTS 1-7, 14-20, 23-27 VANUJOU REQUIRED HEIGHT FOR REINFORCED DECORATIVE WALL IS 5'-0"
 - FOR LOTS 8-13, 21, 22, & 28 REINFORCED DECORATIVE WALL SHALL BE 7'-0"
 - FOR LOTS 14-20, 23-27 VANUJOU REQUIRED HEIGHT FOR REINFORCED DECORATIVE WALL IS 5'-0"
 - FOR LOTS 8-13, 21, 22, & 28 REINFORCED DECORATIVE WALL SHALL BE 7'-0"
 - FOR LOTS 14-20, 23-27 VANUJOU REQUIRED HEIGHT FOR REINFORCED DECORATIVE WALL IS 5'-0"



City of Albuquerque
 PUBLIC WORKS DEPARTMENT
 TRANSITION DEVELOPMENT
 SITE PLAN FOR SUBDIVISION
 BLUFFS AT ENCANTADO

DESIGN RIVER COMARTE
 CITY ENGINEER

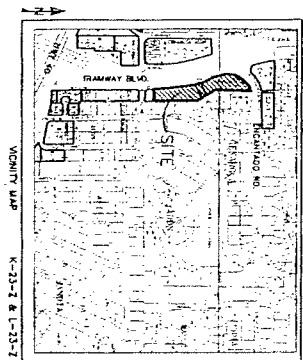
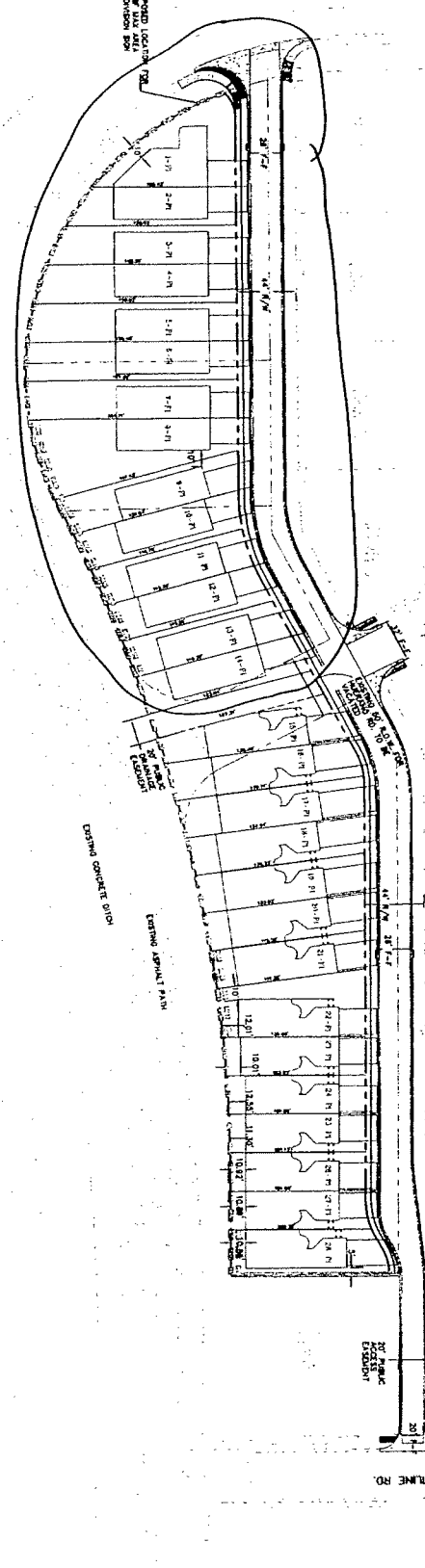
City Project No. **K & L-23-2**
 Zone Map No. **2**
 Sheet **2** of **2**

NO.	DATE	REMARKS	BY
DESIGNED BY	DBT	DATE	
DRAWN BY	DBT	DATE	
CHECKED BY	DBT	DATE	

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARK		AS BUILT INFORMATION	
NO.	DATE	BY	DATE				

PROJECT NUMBER: 10444
 JUNCTION NUMBER: 0477-0018
 THIS PLAN IS SUBMITTED WITH THE STAFFING SITE DEVELOPMENT PLAN APPROVED BY THE
 COMMISSIONER OF THE DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION ON 11/15/2008. THE
 CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE STAFFING PLAN AND
 THE STAFFING PLAN APPROVED BY THE COMMISSIONER OF THE DEPARTMENT OF TRANSPORTATION
 AND CONSTRUCTION ON 11/15/2008. THIS PLAN IS A PART OF THE STAFFING PLAN AND
 IS AN INSTRUMENT OF SERVICE (IOS) (NO. 7) FOR THE STAFFING PLAN APPROVED BY THE
 COMMISSIONER OF THE DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION ON 11/15/2008.
 THIS PLAN IS A WORK ORDER REQUIRED FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS.

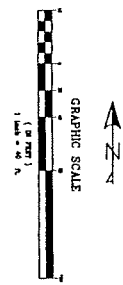
- TRAFFIC ENGINEERING TRANSPORTATION DIVISION _____ DATE _____
- WATER DIVISION _____ DATE _____
- PLANNING AND RECREATION DEPARTMENT _____ DATE _____
- CITY ENGINEER _____ DATE _____
- STAFFING PLAN DEPARTMENT (COMPOUND) _____ DATE _____
- SOLID WASTE DEPARTMENT _____ DATE _____
- ONE CURBSIDE PARKING DEPARTMENT _____ DATE _____



LEGEND
 PERIMETER WALL LOCATION
 DECORATIVE WALL LOCATION
NOTE
 CHANGING OF PROPERTY LINES
 MUST BE REQUESTED

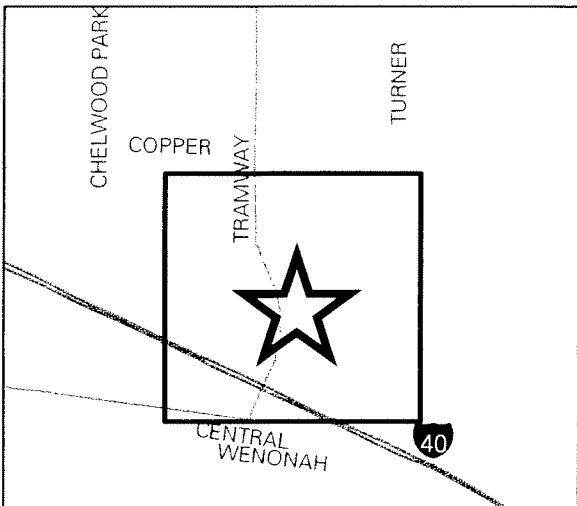
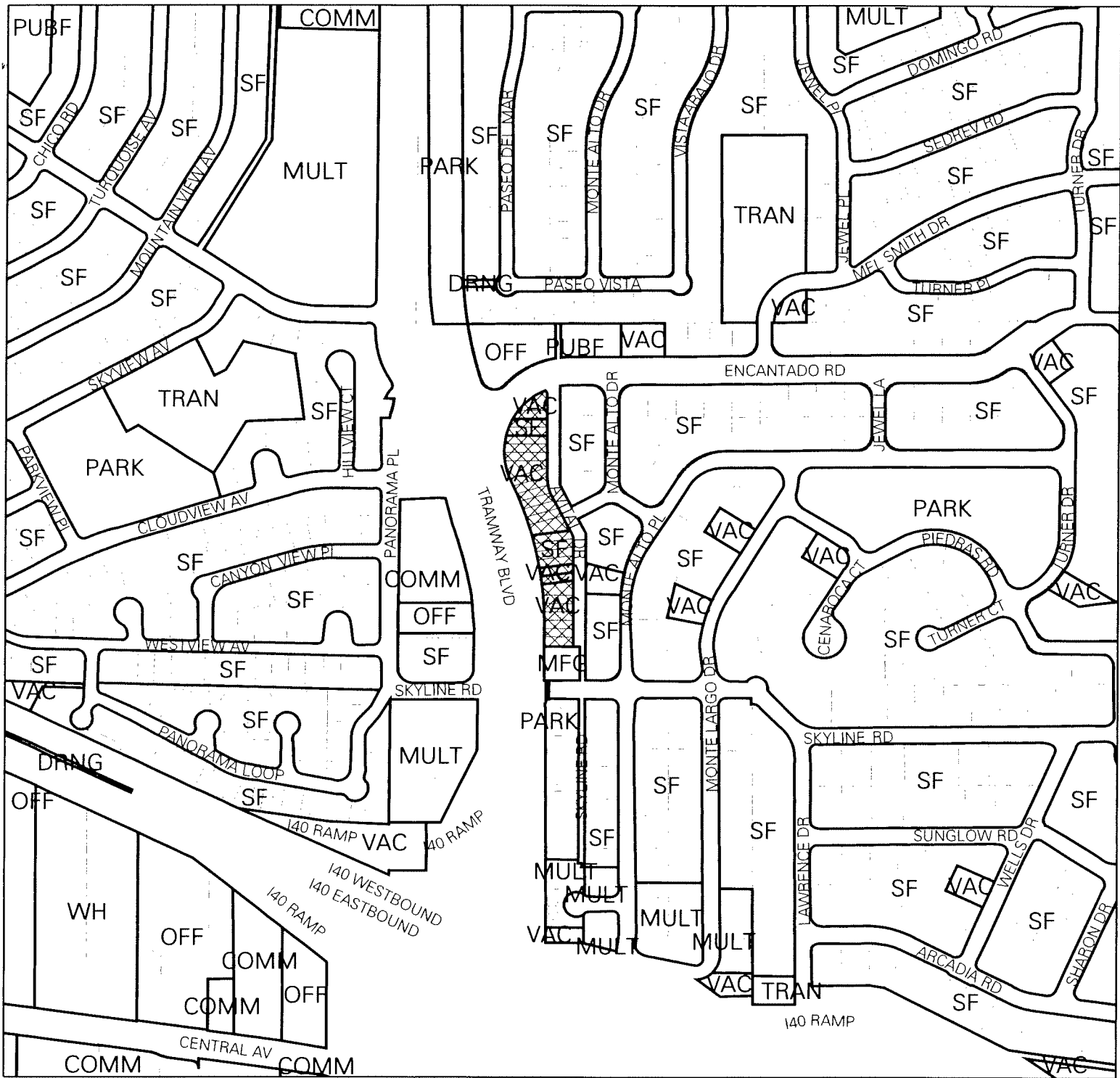
AREAS
 0.82 ACRES FOR ROW
 2.80 ACRES FOR PROPERTY
 3.62 ACRES TOTAL PROPERTY

USEABLE OPEN SPACE
 TOTAL OPEN SPACE 4.44 AC
 7 OF 10 ACRES
 AVAILABLE OPEN SPACE PER UNIT 100 SQ



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT	
SITE PLAN FOR SUBDIVISION BLUFFS AT ENCANTADO	
DESIGN REVIEW COMMITTEE OFF DOWNS APPROVAL	DATE: _____
CITY Project No. _____	Zone Map No. _____
Sheet 1	of 2

NO.	DATE	REMARKS	BY	ENGINEER'S SEAL	SURVEY INFORMATION			BENCH MARK			AS BUILT INFORMATION			
				DESIGNED BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE		



LAND USE MAP

Note: Grey shading indicates County.

KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail
- DRNG Drainage
- MFG Manufacturing or Mining
- MULT Multi-Family or Group Home
- OFF Office
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



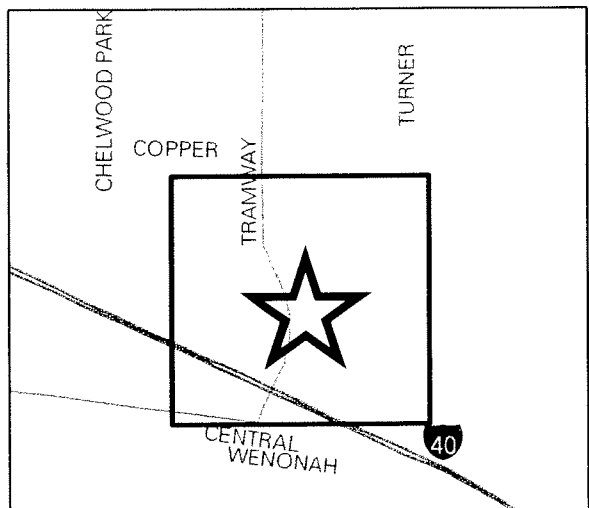
1 inch = 500 feet

Project Number:
1004496

Hearing Date:
9/18/2008

Zone Map Page:
K-23/L-23

Additional Case Numbers:
08EPC-40083



HISTORY MAP

Note: Grey shading indicates County.



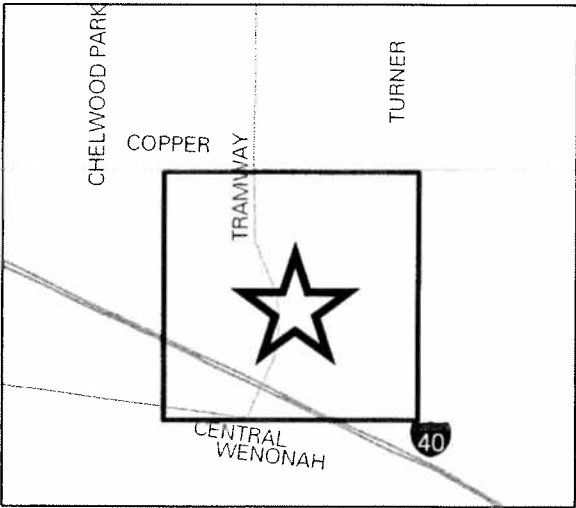
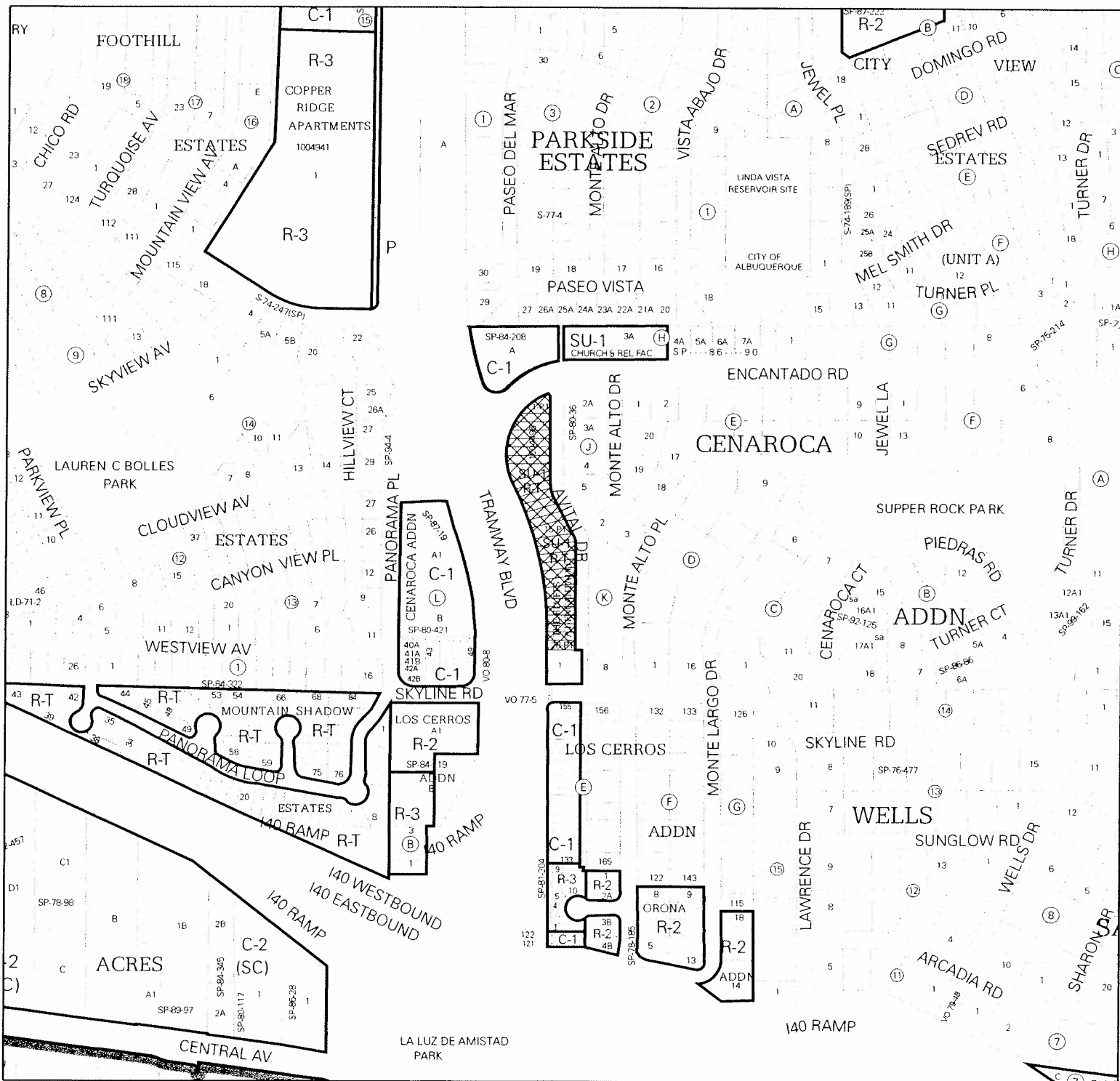
1 inch = 500 feet

Project Number:
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Hearing Date:
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Zone Map Page:
K-23/L-23

Additional Case Numbers:
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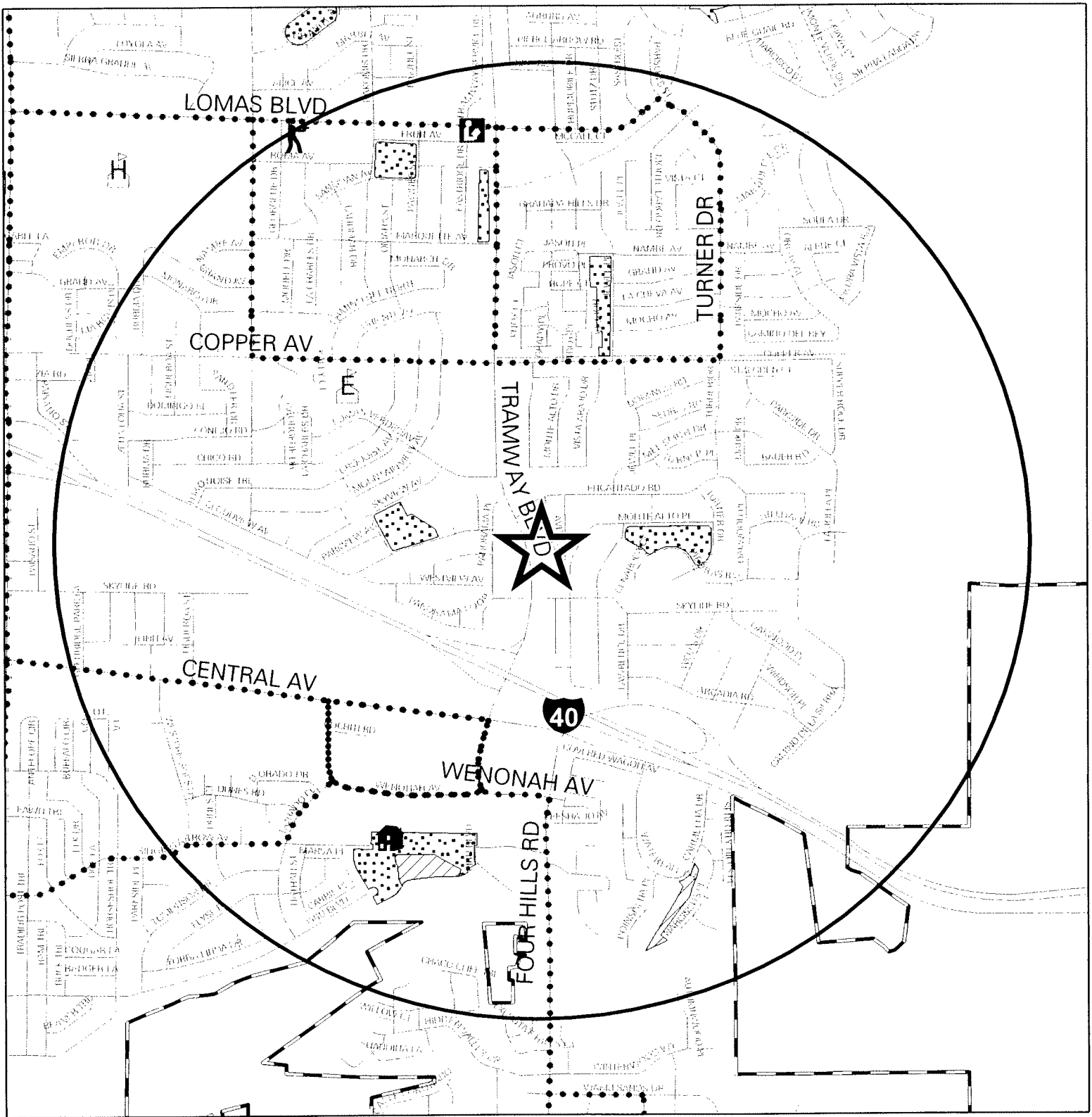
ZONING MAP

Note: Grey shading indicates County.






















1 inch = 500 feet

Project Number:
1004496
Hearing Date:
9/18/2008
Zone Map Page:
K-23/L-23
Additional Case Numbers:
08EPC-40083



Public Facilities Map with One-Mile Site Buffer

- | | | | |
|---|---|---|---|
|  COMMUNITY CENTER |  FIRE |  APS Schools |  Developed County Park |
|  MULTI-SERVICE CENTER |  POLICE |  ABQ Ride Routes |  Undeveloped County Park |
|  SENIOR CENTER |  SHERIFF |  AGIS Jurisdiction |  Developed City Park |
|  LIBRARY |  SOLID WASTE |  Landfill Buffer (1000 feet) |  Undeveloped City Park |
|  MUSEUM |  Landfills designated by EHD | |  |