

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

*Referred  
6/9/08*

Supplemental form

<b>SUBDIVISION</b>	<b>S Z</b>	<b>ZONING &amp; PLANNING</b>
___ Major Subdivision action		___ Annexation
___ Minor Subdivision action		___ County Submittal
___ Vacation	<b>V</b>	___ EPC Submittal
___ Variance (Non-Zoning)		___ Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	___ Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/> for Subdivision Purposes		___ Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit		___ Text Amendment (Zoning Code/Sub Regs)
___ Administrative Amendment (AA)		___ Street Name Change (Local & Collector)
___ IP Master Development Plan	<b>D</b>	<b>APPEAL / PROTEST of...</b>
___ Cert. of Appropriateness (LUCC)	<b>L A</b>	___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal
<b>STORM DRAINAGE (Form D)</b>		
___ Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Bohannon Huston, Inc. PHONE: (505) 823-1000  
 ADDRESS: 7500 Jefferson NE FAX (505) 898-7988  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: \_\_\_\_\_

APPLICANT: CRT Partners - Southern Arizona Franchise PHONE: (520) 327-7055 ext 271  
 ADDRESS: 616 W. Las Lomas Road FAX: (520) 327-2081  
 CITY: Tucson STATE AZ ZIP 85704 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Restaurant Owner List all owners: Sequim Retail Investments, LLC

DESCRIPTION OF REQUEST: Site Development Plan for Building Permit & Administrative Amendment

Is the applicant seeking incentives pursuant to the Family Housing Development Program? \_\_\_ Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. F-1-B Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: AMERICAN SQUARE  
 Existing Zoning: C-2 Proposed zoning: N/A MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): H-16 UPC Code: 101605951638310920

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z-, V-, S-, etc.): \_\_\_\_\_  
1002249, 03 DRB-00635

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.172

LOCATION PROPERTY BY STREETS: On or Near: Carlisle NE  
 Between: Menaul Blvd. NE and Claremont NE

Check-off if project was previously reviewed by Sketch Plat/Plan  or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Paul Wymer DATE 06/05/2008  
 (Print) Paul Wymer, AIA, AICR Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/>	INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/>	All checklists are complete	08EPC - 40069	SBP		\$ 385.00
<input checked="" type="checkbox"/>	All fees have been collected	08EPC - 40070	ASBP		\$ 255.00
<input checked="" type="checkbox"/>	All case #s are assigned				\$ 75.00
<input checked="" type="checkbox"/>	AGIS copy has been sent				\$ 50.00
<input checked="" type="checkbox"/>	Case history #s are listed				\$
<input checked="" type="checkbox"/>	Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/>	F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/>	F.H.D.P. fee rebate				\$ 765.00
		Hearing date <u>July 17 2008</u>			
	<u>6-5-08</u>	Project # <u>1002249</u>			

*Paul Wymer*  
Planner signature / date

**FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"**
  - IP MASTER DEVELOPMENT PLAN (EPC11)**
    - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
    - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30 copies.**
    - For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
    - Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
    - Zone Atlas map with the entire property(ies) clearly outlined
    - Letter briefly describing, explaining, and justifying the request
    - Letter of authorization from the property owner if application is submitted by an agent
    - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - Completed Site Plan for Subdivision and/or Building Permit Checklist
    - Sign Posting Agreement
    - TIS/AQIA Traffic Impact Study form with required signature
    - Fee (see schedule)
    - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15) Maximum Size: 24" x 36"**

- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (EPC17)**
    - ✓ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
    - ✓ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30 copies.**
    - NA Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30 copies**
    - ✓ Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
    - ✓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
    - ✓ Letter briefly describing, explaining, and justifying the request
    - ✓ Letter of authorization from the property owner if application is submitted by an agent
    - ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - ✓ Sign Posting Agreement
    - ✓ Completed Site Plan for Subdivision and/or Building Permit Checklist
    - ✓ TIS/AQIA Traffic Impact Study form with required signature
    - ✓ Fee (see schedule)
    - ✓ List any original and/or related file numbers on the cover application
- NOTE:** For wireless telecom facilities (administrative reviews referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:
- NA Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
  - NA Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
  - NA Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
  - NA Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
  - NA Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
  - NA Registered Engineer's stamp on the Site Development Plans
  - NA Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**
    - ✓ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30 copies**
    - ✓ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30 copies**
    - ✓ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30 copies**
    - ✓ Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
    - ✓ Zone Atlas map with the entire property(ies) clearly outlined
    - ✓ Letter briefly describing, explaining, and justifying the request
    - ✓ Letter of authorization from the property owner if application is submitted by an agent
    - ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
    - ✓ Sign Posting Agreement
    - ✓ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
    - ✓ TIS/AQIA Traffic Impact Study form with required signature
    - ✓ Fee (see schedule)
    - ✓ List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

PAUL M. WYMER  
 Applicant name (print)  
Paul M. Wymer 6/5/08  
 Applicant signature / date

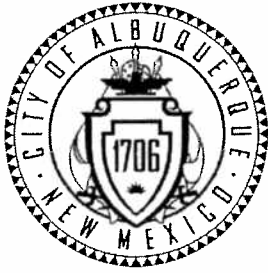


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 SSCP- 40069  
 DSCP- 40070

Paul M. Wymer 6-5-08  
 Planner signature / date  
 Project # 1002249



# City of Albuquerque

P.O. Box 1293 Albuquerque, New Mexico 87103

## Planning Department

**Martin J. Chavez, Mayor**

**Richard Dineen, Director**

### Interoffice Memorandum

June 2, 2008

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**Subject: Albuquerque Archaeological Ordinance—Compliance Documentation**

**Project Number(s):**

**Case Number(s):**

**Agent:**

**Applicant: Bohannon-Huston, Inc.**

**Legal Description: Tract F1B, American Square**

**Acreage: 1.172**

**Zone Atlas Page: H-16**

**CERTIFICATE OF NO EFFECT: Yes  No**

**SUPPORTING DOCUMENTATION: 2006 AGIS Aerial Photo**

#### **RECOMMENDATION(S):**

- *CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 4B(2)—extensive previous land disturbance)*

#### **SUBMITTED:**

Matthew Schmader, PhD

Superintendent, Open Space Division

Acting City Archaeologist

Tony Loyd 924-3994

090038

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: CRT Partners DATE OF REQUEST: 6/2/08 ZONE ATLAS PAGE(S): H-16

CURRENT:

ZONING C-2

LEGAL DESCRIPTION:

LOT OR TRACT # F-1-B BLOCK # \_\_\_\_\_

PARCEL SIZE (AC/SQ. FT.) 1.172

SUBDIVISION NAME AMERICAN SQUARE

REQUESTED CITY ACTION(S):

- |                |                     |  |
|----------------|---------------------|--|
| ANNEXATION [ ] | SECTOR PLAN [ ]     | SITE DEVELOPMENT PLAN:   |
| COMP. PLAN [ ] | ZONE CHANGE [ ]     | A) SUBDIVISION [ ] BUILDING PERMIT <input checked="" type="checkbox"/> |
| AMENDMENT [ ]  | CONDITIONAL USE [ ] | B) BUILD'G PURPOSES [ ] ACCESS PERMIT [ ]                              |
|                |                     | C) AMENDMENT <input checked="" type="checkbox"/> OTHER [ ]             |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT [ ]
- NEW CONSTRUCTION [ ]
- EXPANSION OF EXISTING DEVELOPMENT

GENERAL DESCRIPTION OF ACTION: <sup>1</sup>

# OF UNITS: 1  
BUILDING SIZE: 2433 (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE S. Salazar-Cans DATE 6-2-08  
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO  BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO  MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [ ]

Notes: TRIP GENERATION COMPARISON REQUIRED

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Tony Loyd  
TRAFFIC ENGINEER

6-5-08  
DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [ ] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

S. Salazar-Cans  
APPLICANT

6-2-08  
DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.


TIS -SUBMITTED 1/1  
-FINALIZED 1/1 TRAFFIC ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

 6/5/09

Applicant or Agent Signature / Date

## NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

### Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less      1" = 10'  
    1.0 - 5.0 acres      1" = 20'  
    Over 5 acres      1" = 50'  
    Over 20 acres      1" = 100'      *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
- N/A 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. **Location and typical dimensions**, including handicapped spaces
  - 2. **Calculations:** spaces required: 12 provided: 27  
Handicapped spaces required: 1 provided: 2
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 2  
provided: 4
  - 2. Other bicycle facilities, if applicable EXISTING BIKE ROUTE ON CLAREMONT
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities BIKE ROUTE ON CLAREMONT

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages *NEW SIDEWALK TO EXISTING PEDESTRIAN PATH*
- 3. Bus facilities, including routes, bays and shelters existing or required

## 4. Utilities

- SEE UTILITY PLAN ↓*
- 1. Fire hydrant locations, existing and proposed.
  - 2. Distribution lines
  - 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
  - 4. Existing water, sewer, storm drainage facilities (public and/or private).
  - 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## 5. Phasing

- P/A* A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail  16. Street Tree Plan as defined in the Street Tree Ord.

## SHEET #3 –PRELIMINARY GRADING PLAN –

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

## A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements *SITE PLAN*
- 6. Building footprints
- N/A* 7. Location of Retaining walls

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- N/A* 3. Identify ponding areas, erosion and sediment control facilities.
- N/A* 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

## A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- N/A* E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

## B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*



Courtyard  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4331

[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1001  
facsimile: 505.798.7981  
toll free: 800.877.5331

June 5, 2008

Ms. Laurie Moyer, Chair  
Environmental Planning Commission  
City of Albuquerque  
600 Second Street NW – 3rd Floor  
Albuquerque, NM 87102

Re: Jack-in-the-Box Restaurant: – Site Development Plan for Building Permit and Amended Site Development Plan for Building Permit

Dear Madam Chair:

The purpose of this letter is to provide a description of the subject project and related Site Development Plan requests. The Site Development Plan requests are twofold and include a Site Plan for Building Permit for a proposed new Jack-in-the-Box restaurant. Secondly, the existing Site Development Plan for Building Permit has been amended to depict the proposed new restaurant and changes to the site to accommodate it.

The subject site is located at the intersection of Carlisle Blvd and Claremont Ave. This request is to construct a new restaurant on an existing platted parcel at the southwest corner of this intersection. The property was originally proposed to be developed with a Wal-Mart gas station. This use is no longer desired. The original Site Development Plan for Building Permit is enclosed, as is the same plan amended to reflect the new restaurant and associated site improvements.

This submittal also includes all plans and drawings required for Site Development Plan for Building Permit request, including Site Plans (proposed and amended), Landscape Plans, Exterior Elevations, Grading and Drainage Plans, Utility Plans, and colored renderings of the proposed structures.

Please review the enclosed submittal and let me know if additional information is necessary. Please schedule this request to be heard before the July 17, 2008 E.P.C. public hearing.

Sincerely,



Paul M. Wymer, AIA, AICP  
Architect / Planner  
Community Development and Planning

PMW/am  
Enclosures

cc: Laura Olguin, CRT Partners  
Larry Click, L J Click and Associates  
Lisa Urea, Sedberry and Associates  
Kevin Murtagh, BHI  
Bruce Stidworthy, BHI

SEARCHED

SERIALIZED

ADVANCED TECHNOLOGIES

May 30, 2008

Subject: Jack in the Box

To whom it may concern,

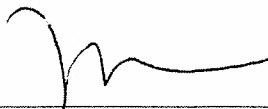
This letter authorizes representatives of Bohannon Huston Inc. to act as agent for the Jack-in-the-Box Restaurant site on 2701 Carlisile Blvd NE, Albuquerque, New Mexico 87110, on matters associated with the Site Plan for Subdivision, Site Plan for Building Permit, Preliminary and/or Final Plat(s).

Sincerely,



Joe Geivett  
SRI Albuquerque, LLC - Manager

Notary \_\_\_\_\_





## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

May 29, 2008

Sally Salazar-Cass  
Bohannon Huston Inc.  
7500 Jefferson NE/87109  
Phone: 798-7988/Fax: 798-7988  
E-mail: [ssalazar-cass@bhinc.com](mailto:ssalazar-cass@bhinc.com)

Dear Sally:

Thank you for your inquiry of **May 29, 2008** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **F-1-B, AMERICAN SQUARE, LOCATED ON CARLISLE BOULEVARD NE BETWEEN MENAUL BOULEVARD NE AND CLAREMONT AVENUE NE** zone map **H-16**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

### **BEL-AIR N.A. (BLA) "R"**

**\*Barb Johnson**

2700 Hermosa NE/87110 889-0293 (h)

Ms. Lee Julian

2724 Monroe NE/87110 888-3042 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

***Stephani Winklepleck***

*Stephani I. Winklepleck*

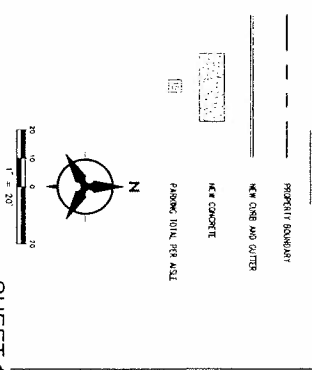
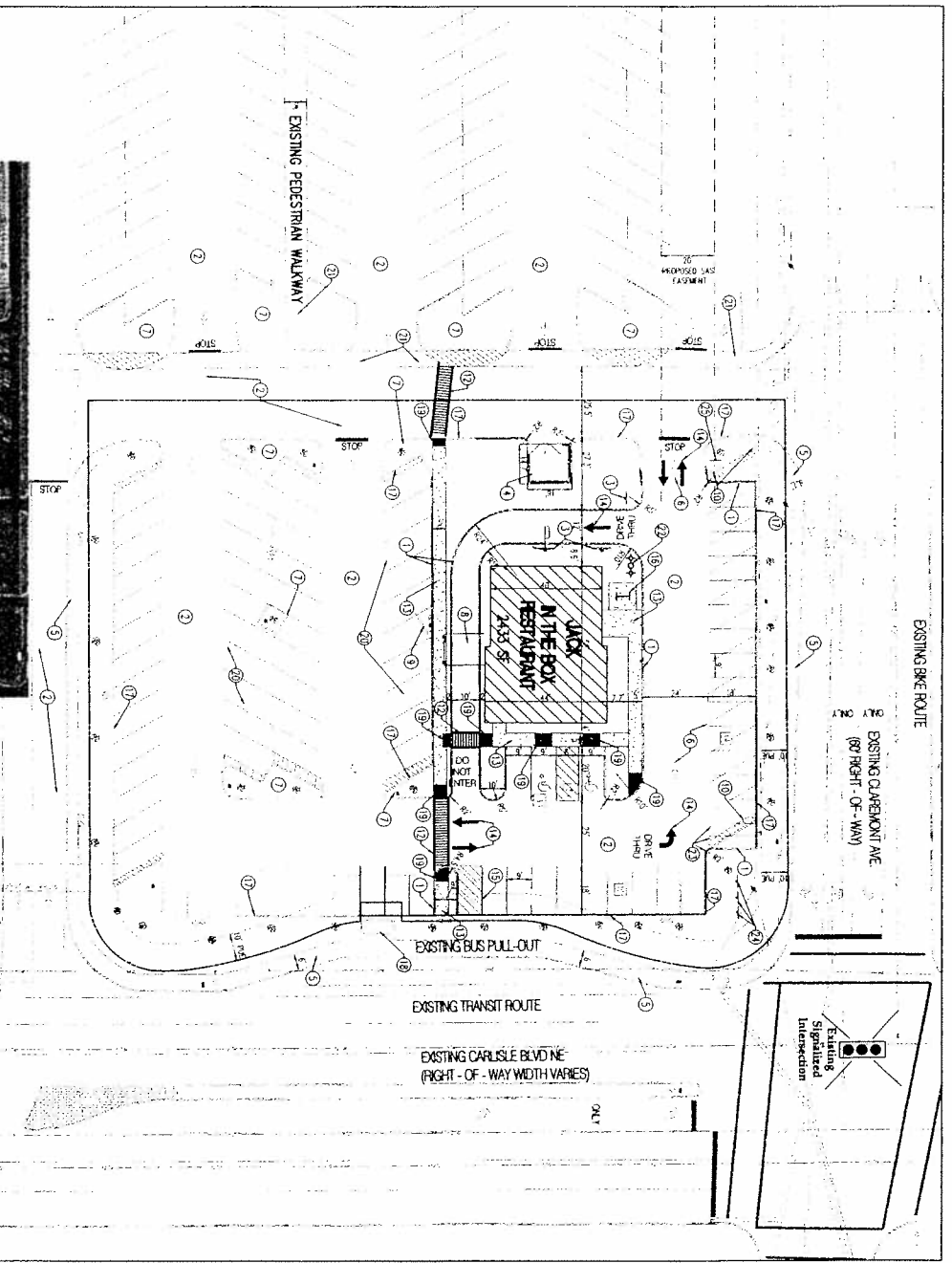
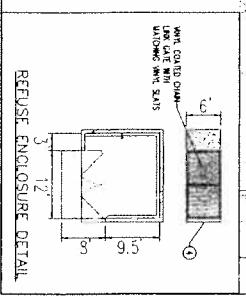
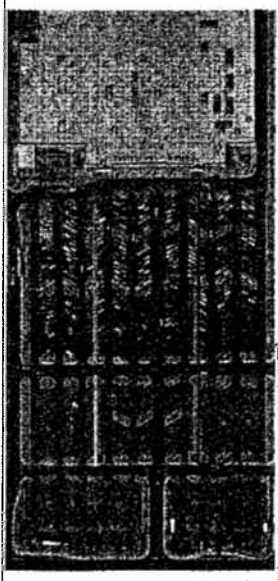
Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**PLEASE NOTE:** The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

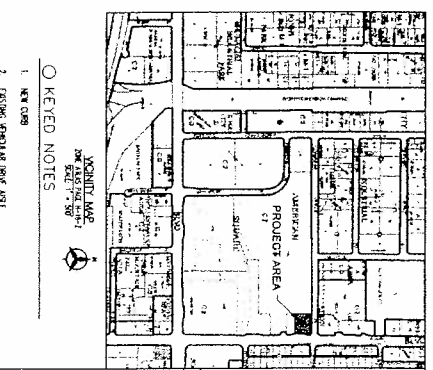
**LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.**

planningrnaform(12/06/07)

PEDESTRIAN CONNECTION EXHIBIT  
 N.T.S.



- KEYED NOTES
1. NEW CURB
  2. EXISTING SIGNAL LIGHT ASYL
  3. NEW ROUND SIGN
  4. DRIVE ENCLOSURE 2' x 8' HIGH CURB STRUCTURE - SEE ELEVATION AND SHEET
  5. EXISTING SIGNAL TO REMAIN
  6. EXISTING PAINTED PARKING STRIP/DIRECTIONAL ARROW TO BE REPAIRED
  7. EXISTING LANDSCAPE PLANT TO REMAIN
  8. DRIVE UP WINDOW
  9. EXISTING LANDSCAPE PLANT TO BE REPAIRED
  10. EXISTING CURB TO BE REPAIRED
  11. EXISTING LIGHT AND POLE TO BE RELOCATED
  12. 6' HIGH PAINTED CROSSWALK
  13. NEW SIGNAGE EXISTING CURB SIGNAGE
  14. NEW PAINTED DIRECTIONAL ARROW
  15. EXISTING TEMPORARY PARKING AREA FOR DRIVE UP WINDOW
  16. SPECIAL SIGN FOR 4' LIGHTS
  17. EXISTING CURB TO REMAIN
  18. EXISTING BUS STOP AND SHELTER
  19. NEW CURB RAMP
  20. EXISTING ASPHALT PARKING TO REMAIN
  21. EXISTING CONCRETE PEDESTRIAN WALKWAY
  22. RELOCATED LIGHT POLE
  23. (1) IMPROVED PARKING SPACES
  24. TEMPORARY CONSTRUCTION SPACE LOCATIONS
  25. NEW STOP SIGN



**Jack-In-The-Box**  
**Parking Cals**

Basic required parking = 12  
 100% transit reduction and required parking = 11  
 Parking provided = 27

Accessible parking provided: 2  
 Motorcycle parking provided: 1  
 Motorcycle parking provided: 1  
 Bicycle parking provided: 4  
 Bicycle parking provided: 2

DATE: 10/26/2024

**Site Plan for Building Permit**

**Bohannon & Huston**  
 ARCHITECTURE & ENGINEERING

3130 BIRDA AVENUE  
 SAN DIEGO, CA 92123  
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DATE: 10/26/2024

PROJECT NO. 2024-001

2024 CARLSLE NE  
 ABERDEEN, NM 87110

SCALE: 1" = 20'

DATE: 10/26/2024

PROJECT NO. 2024-001

2024 CARLSLE NE  
 ABERDEEN, NM 87110

SCALE: 1" = 20'

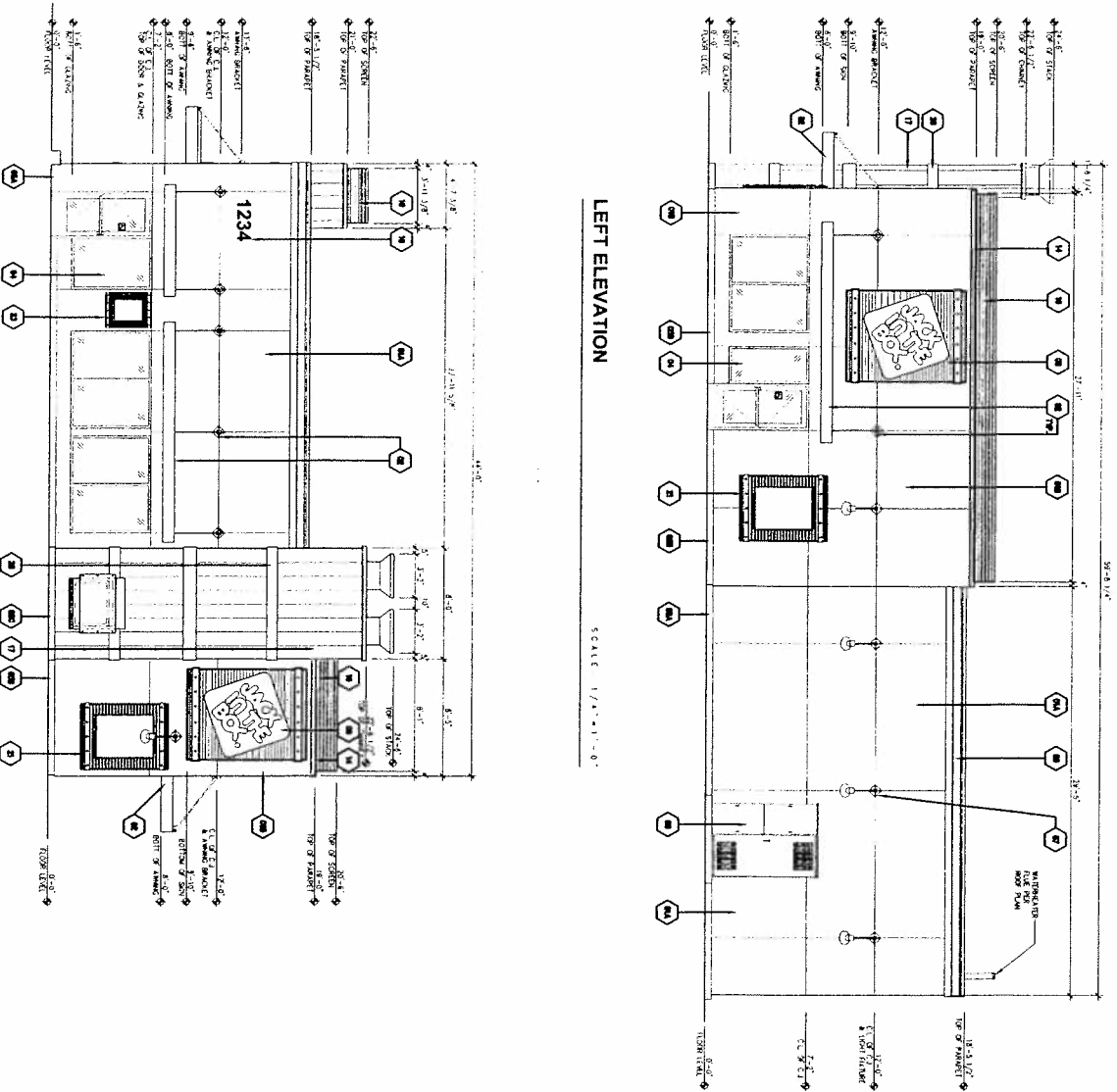
DATE: 10/26/2024

PROJECT NO. 2024-001

2024 CARLSLE NE  
 ABERDEEN, NM 87110

SCALE: 1" = 20'





LEFT ELEVATION

SCALE 1/4" = 1'-0"

FRONT ELEVATION

SCALE 1/4" = 1'-0"


EXTERIOR FINISH SCHEDULE

- (01A) EXTERIOR GROUT PLASTER - SAND FLOAT FINISH
- (01B) COLOR TO MATCH SHERWIN WILLIAMS, SW 7037 BALANCED BEIGE (BROWN)
- (01C) EXTERIOR GROUT PLASTER - SAND FLOAT FINISH
- (01D) SHERWIN WILLIAMS, SW 6328 TREMEND (RED)
- (02) EXTERIOR GROUT PLASTER - SAND FLOAT FINISH
- (02A) SHERWIN WILLIAMS, SW 7034 SOUTHWEST (GREY)
- (02B) METAL LAMING & SUPPORT (OFFICI)
- (02C) COLOR TO MATCH SHERWIN WILLIAMS, SW 6690 "CAMEL" (DARK GREY)
- (03) 24" x 36" x 5/8" S.S. FLASHING AT GRADE RECOVERY TYP IN STAINLESS STEEL
- (04) ALUMINUM STOREFRONT SYSTEM 1" CLEAR INSULATED GLASS
- (04A) STANDARD STOREFRONT, J03 BLACK ANODIZED
- (05) EXTERIOR GROUT PLASTER FINISH COAT OVER CONCRETE CURB
- (05A) COLOR TO MATCH SHERWIN WILLIAMS, SW 7037 BALANCED BEIGE (BROWN)
- (05B) EXTERIOR GROUT PLASTER FINISH COAT OVER CONCRETE CURB
- (05C) SHERWIN WILLIAMS, SW 6328 TREMEND (RED)
- (05D) EXTERIOR GROUT PLASTER FINISH COAT OVER CONCRETE CURB
- (05E) NATURAL CONCRETE, GRAY
- (06) INTERNALLY ILLUMINATED SIGNAGE W/ CORRUGATED PANEL
- (06A) WHITE TEXT ON RED BACKGROUND WITH CORRUGATED SURROUND TRIM
- (07) WALL MOUNTED LIGHTING FIXTURE
- (08) ELECTRICAL SERVICE
- (08A) COLOR FINISH TO MATCH ADJACENT SURFACE
- (09) PREFABRICATED GALVANIZED METAL FLASH
- (09A) DARK GRAY - OILY FINISH
- (10) BUILDING ADDRESS LETTERS
- (10A) COLOR TO MATCH SHERWIN WILLIAMS, SW 6690 "CAMEL"
- (11) MAIN SWITCH BOARD (NOT USED)
- (12) PREFABRICATED PREFACE FACADE (NO LONGER USED)
- (13) HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- (13A) COLOR TO MATCH SHERWIN WILLIAMS, SW 7037 BALANCED BEIGE
- (14) GALVANIZED METAL CORNER
- (14A) DARK GRAY - OILY FINISH
- (15) CO2 FIL BOX METAL COVER
- (15A) COLOR FINISH TO MATCH ADJACENT SURFACE
- (16) SERVICE DOOR BUZZER
- (17) HARBOR PANEL SPRING ROUGH GRAY FINISH
- (17A) SHERWIN WILLIAMS, SW 6328 TREMEND
- (18) ROOF LADDER WITH SECURITY COVER (NOT USED)
- (19) PREFABRICATED GALVANIZED METAL SCREEN
- (19A) DARK GRAY - OILY FINISH
- (20) GALVANIZED METAL TRIM
- (20A) DARK GRAY - OILY FINISH
- (21) DISPLAY POSTER PANEL
- (22) STRETCH FRAME DECORATING GRAPHIC PANEL
- (22A) ENTRANCE DISPLAY POSTER PANEL
- (23) BRINE-THRU WINDOW TREATMENT AND DISPLAY PANEL

5130 MAPLE AVENUE  
SUNNYVALE, CA 94033  
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Site Information

UNIVERSITY BLVD  
#10  
409533  
STREET  
CITY STATE ZIP  
94033  
SCALE 1/4" = 1'-0"

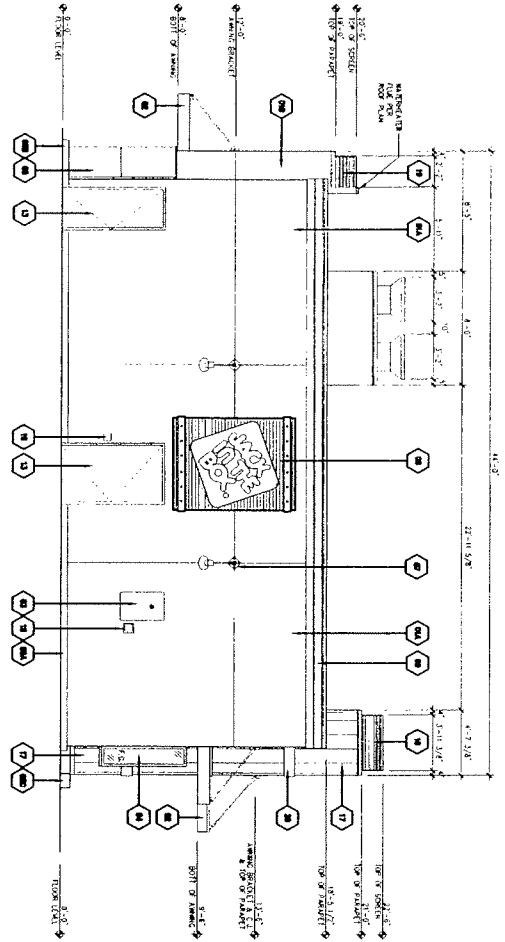


JORD & THE BOX ARCHITECTURE  
ENGINEERING DESIGN

1" = 1'-0"

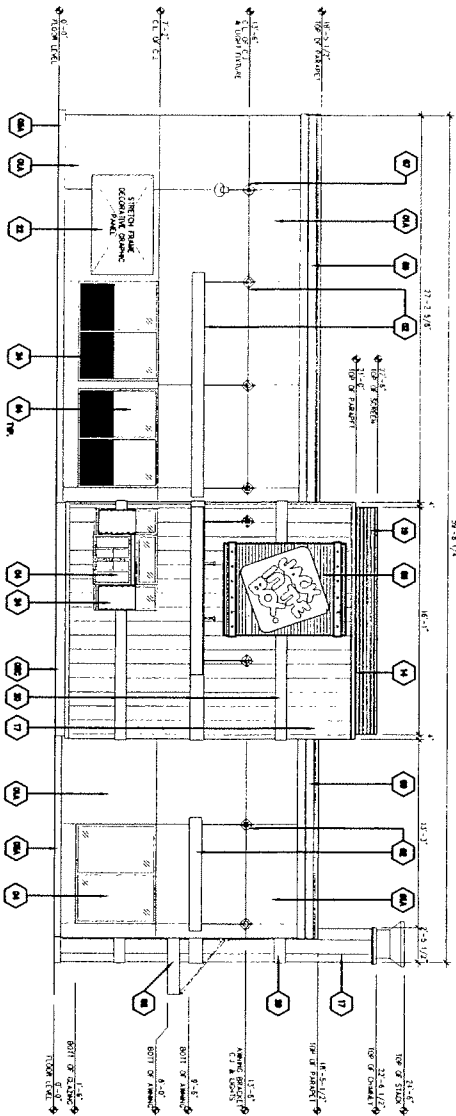
PRELIMINARY NOT FOR CONSTRUCTION 25-21-08

**SHEET 3**



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

- 01A EXTERIOR CEMENT PLASTER - SAND FLOAT FINISH  
COLOR TO MATCH SHERWIN WILLIAMS SW 7037 "BALANCED BEIGE" (BROWN)
- 01B EXTERIOR CEMENT PLASTER - SAND FLOAT FINISH  
SHERWIN WILLIAMS SW 6328 "TREMEO" (RED)
- 01C EXTERIOR CEMENT PLASTER - SAND FLOAT FINISH  
SHERWIN WILLIAMS SW 7074 "SOFWARE" (CREY)
- 02 METAL FRAMING & SUPPORT (OF C.I.)  
COLOR TO MATCH SHERWIN WILLIAMS SW 6990 "CHALK" (DARK GREY)
- 03 24" x 36" 5.5 FLASHING AT GROUND RECORDERY 1/2" IN  
STAINLESS STEEL
- 04 ALUMINUM STOREFRONT SYSTEM 1" CLEAR INSULATED GLASS  
STANDARD STOREFRONT; 1/2" BLACK ANODIZED
- 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB  
COLOR TO MATCH SHERWIN WILLIAMS SW 7037 "BALANCED BEIGE" (BROWN)
- 06 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB  
SHERWIN WILLIAMS SW 6328 "TREMEO" (RED)
- 07 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB  
NATURAL CONCRETE GRAY
- 08 INTERNALLY ILLUMINATED SQUARE W/ CORRUGATED PANEL  
WHITE TEXT ON RED BACKGROUND WITH CORRUGATED SHROUDING RIM
- 09 WALL MOUNTED LIGHTING FIXTURE
- 10 ELECTRICAL SERVICE  
COLOR/FINISH TO MATCH ADJACENT SURFACE
- 11 PREPARED GALVANIZED METAL FLASHING  
DARK GRAY - OAKY FINISH
- 12 BRONZE ADDRESS LETTERS  
COLOR TO MATCH SHERWIN WILLIAMS SW 6990 "CHALK"
- 13 MAIN SWITCH BOARD (NOT USED)
- 14 PREFABRICATED FREELANCE FACADE (NO LONGER USED)
- 15 HOLLOW METAL DOORS AND FRAMES; MISCELLANEOUS RIM  
COLOR TO MATCH SHERWIN WILLIAMS SW 7037 "BALANCED BEIGE"
- 16 GALVANIZED METAL CAPPING  
DARK GRAY - OAKY FINISH
- 17 CO2 FIL BOX METAL COVER  
COLOR/FINISH TO MATCH ADJACENT SURFACE
- 18 SERVICE DOOR BUZZER
- 19 HARDBOARD PANEL; ROUGH ROUGH SAWN FINISH  
SHERWIN WILLIAMS SW 6328 "TREMEO"
- 20 ROOF LADDER WITH SECURITY COVER (NOT USED)
- 21 PERFORMED GALVANIZED METAL SCREEN  
DARK GRAY - OAKY FINISH
- 22 GALVANIZED METAL RIM  
DARK GRAY - OAKY FINISH
- 23 DISPLAY POSTER PANEL
- 24 STRETCH FRAME DECORATING GRAPHIC PANEL
- 25 ENTRANCE DISPLAY POSTER PANEL
- 26 ORNATE-THRU WINDOW TREATMENT AND DISPLAY PANEL

REVISIONS

NO.	DATE	DESCRIPTION
1	1/1/00	ISSUED FOR PERMITS
2	1/1/00	ISSUED FOR PERMITS
3	1/1/00	ISSUED FOR PERMITS
4	1/1/00	ISSUED FOR PERMITS

ARCHITECTURE & ENGINEERING  
 3300 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 PHONE: 303.733.8800  
 FAX: 303.733.8801  
 WWW: WWW.AEACORP.COM

PROJECT: ALBUQUERQUE, NEW MEXICO

CLIENT: ALBUQUERQUE AND NEW MEXICO

DATE: 1/1/00

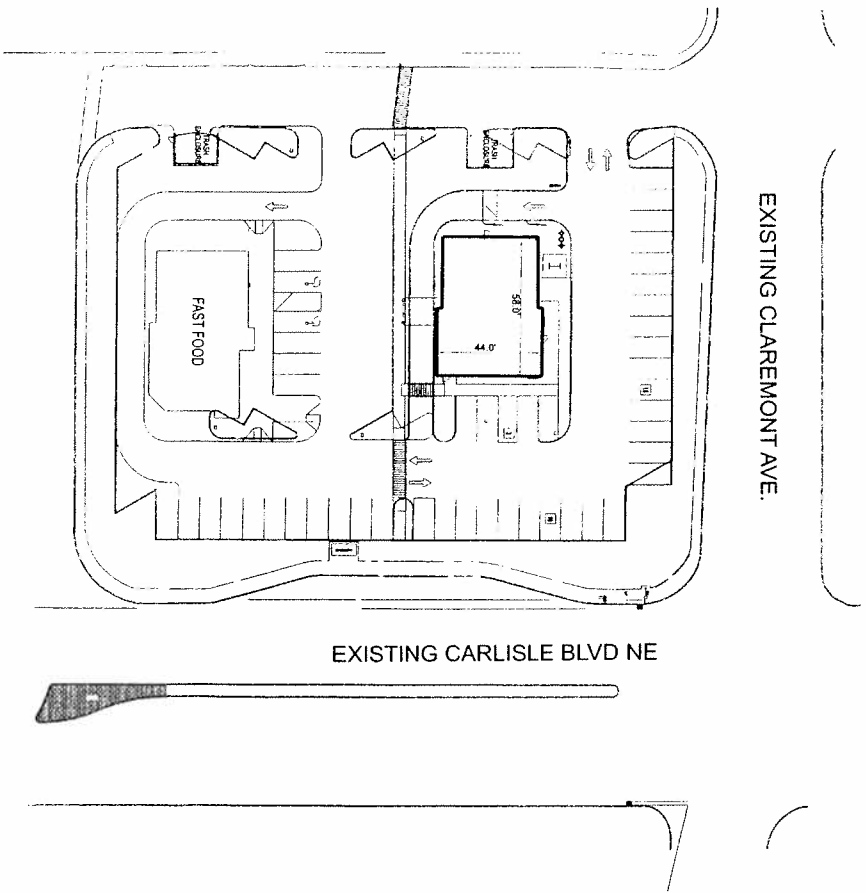
SCALE: 1/4" = 1'-0"

SHEET 4

1/4" = 1'-0"



**SITE PLAN**  
SCALE: 1" = 30'-0"



EXISTING CLAREMONT AVE.

EXISTING CARLISLE BLVD NE

**KEY**

- B1** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" FRAMLESS WALL SIGN (C/IB?)
- B2** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" FRAMLESS WALL SIGN (C/IB?)
- B3** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" FRAMLESS WALL SIGN (C/IB?)
- B4** S/F INTERNALLY ILLUMINATED 5'-0" X 5'-0" FRAMLESS WALL SIGN (C/IB?)
- C1** INTERNALLY ILLUMINATED 4'-0" X 7'-0" PREVIEW BOARD @ 5'-8" OVERBALL HEIGHT
- C2** INTERNALLY ILLUMINATED 4'-0" X 7'-0" SPEAKER STATION @ 5'-8" OVERBALL HEIGHT
- D1** D/E INTERNALLY ILLUMINATED 1'-8" X 1'-8" DIRECTIONAL SIGN @ 3'-0" O.A. HT. (DRIVE THRU?)
- D2** D/E INTERNALLY ILLUMINATED 1'-8" X 1'-8" DIRECTIONAL SIGN @ 3'-0" O.A. HT. (THANK YOU/DOT NOT ENTER?)
- E1** 4'-10 3/8" X 6'-1 1/2" MEDIUM POSTER MARQUEE
- E2** 4'-10 3/8" X 6'-1 1/2" MEDIUM POSTER MARQUEE
- F1** 2'-8" X 3'-3 1/2" HOURS PANEL MARQUEE. HOURS OF OPERATION
- F2** 2'-8" X 3'-3 1/2" HOURS PANEL MARQUEE. HOURS OF OPERATION
- G1** HEIGHT DETECTOR. (SIGN PERMIT NOT REQUIRED)

**CLIENT**

CLAREMONT AVE. & CARLISLE BLVD. ALBUQUERQUE, NM



PROJECT: JACK IN THE BOX #1264

**DESIGNER**

ACHEL MAUCK  
ANDY LIBERTO  
DATE: 5/30/08  
STATUS: NOTED  
CUSTOMER APPROVAL

**UNLESS SPECIFIED, THIS IS FOR PRODUCTION. THE INFORMATION SHOWN IS FOR PERMITTING AND DESIGN REVIEW ONLY. THE INDICATED DIMENSIONS, AND MAY NOT BE AN EXACT MATCH OF THE FINISHED PRODUCT.**

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Product # 08-330  
Rev 0  
Date 000000

REV	DATE	BY	DESCRIPTION
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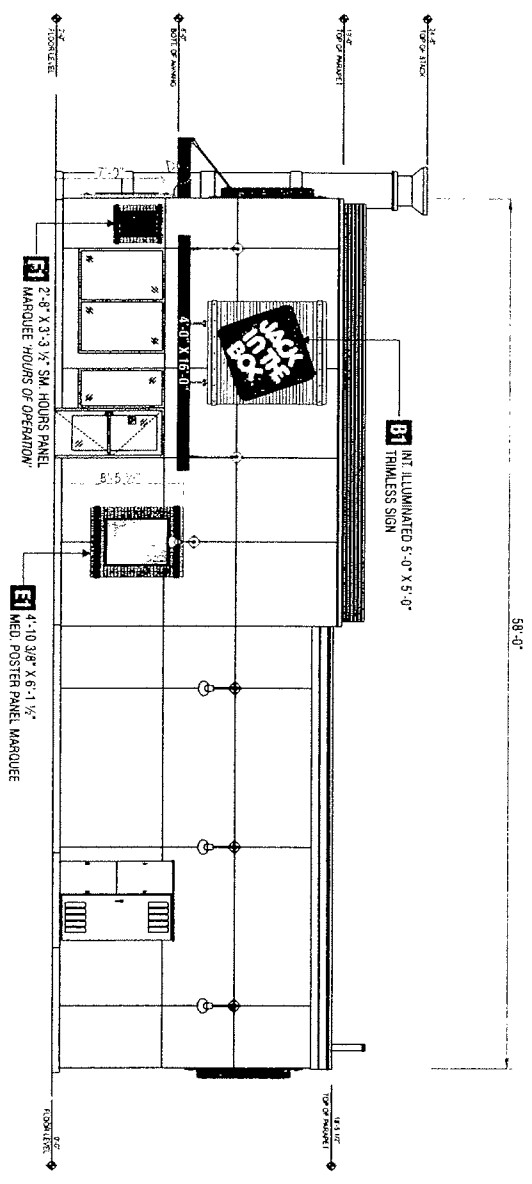
**SHEET 5**

PRODUCTION APPROVAL



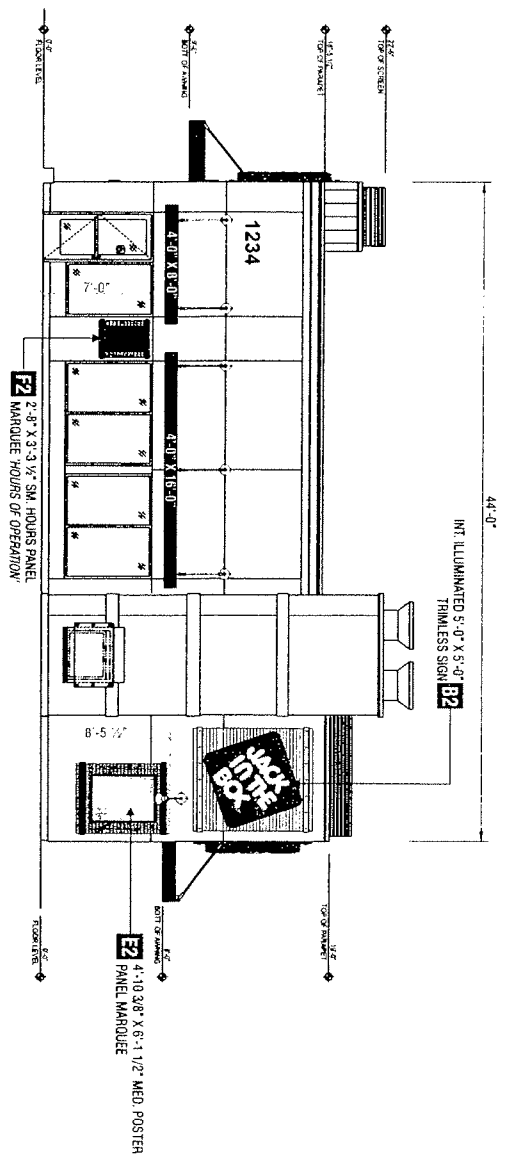
**NORTH / RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



**EAST / FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



**CITIP**  
 SIGNS & GRAPHICS  
 4530 Mission Gorge Place  
 San Diego, CA 92120  
 Tel: 619.283.2191  
 Fax: 619.283.9503  
 Web: www.citip.com

PROJECT: JACK IN THE BOX #1264

LOCATION: CLAREMONT AVE & CARLISLE BLVD ALBUQUERQUE, NM

ACCOUNT: RAOHEL MAUCK  
 DESIGNER: ANDY LIBERTO  
 DATE: 5/30/08  
 SCALE: NOTED  
 CUSTOMER APPROVAL:

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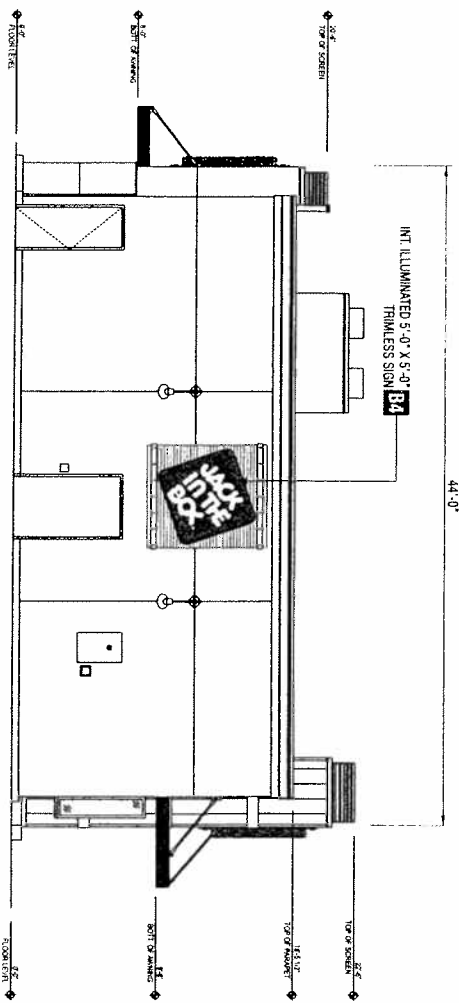
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KEY: B1 B2 E1 E2 F1 F2

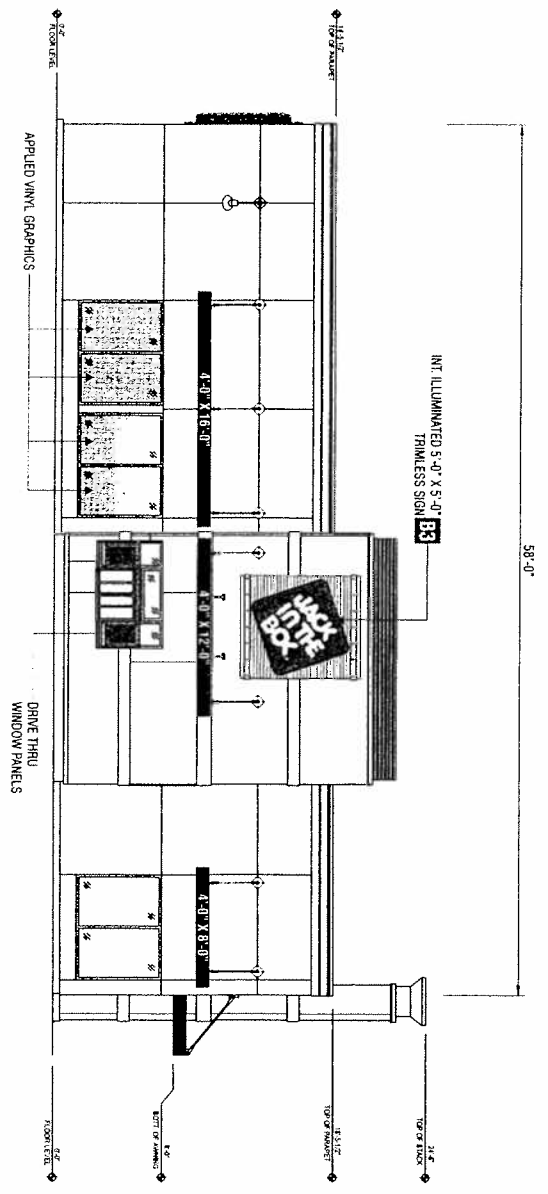
**WEST / REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**SOUTH / LEFT ELEVATION**

SCALE: 1/8" = 1'-0"



SHEET 7 |

**B3 B4**

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12		

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PROJECT: JACK IN THE BOX #1264

LOCATION: CLAREMONT AVE & CARULISE BLVD, ALBUQUERQUE, NM

DATE: 5/30/08

SCALE: NOTED

CUSTOMER APPROVAL

DESIGNER: RACHEL MAUCK

DESIGNED BY: ANDY LIBERTO

PROJECT: JACK IN THE BOX #1264

LOCATION: CLAREMONT AVE & CARULISE BLVD, ALBUQUERQUE, NM



CIP® SIGNS & GRAPHICS

4330 Hudson Court, Suite 100  
 Albuquerque, NM 87111  
 Tel: 519.283.7191  
 Fax: 519.283.9503  
 Web: www.cipsigns.com

# CTP

**SIGNS & GRAPHICS**  
 4530 Mission Gorge Place  
 San Diego, CA 92120  
 Tel: 619.283.2191  
 Fax: 619.283.9505  
 Web: www.ctpsigns.com



**PROJECT**  
 JACK IN THE BOX #1264

**LOCATION**  
 CARMICHAEL AVE &  
 CARLEVALE  
 ALBUQUERQUE, NM

**SHEET TITLE**  
 WALL SIGNS

**DESIGNER**  
 RACHEL MAUCK  
 ANDY LIBERTO

**DATE**  
 5/30/08

**SCALE**  
 NOTED

**CUSTOMER APPROVAL**

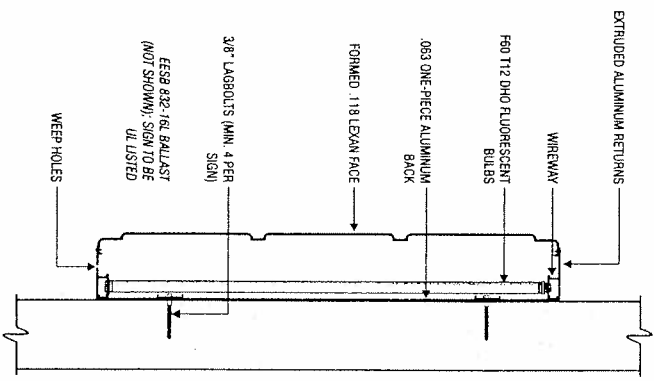
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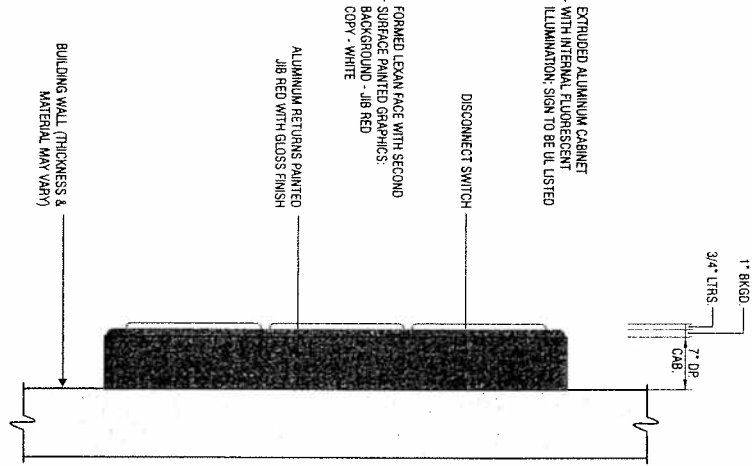
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Revision	0	Qty	000000

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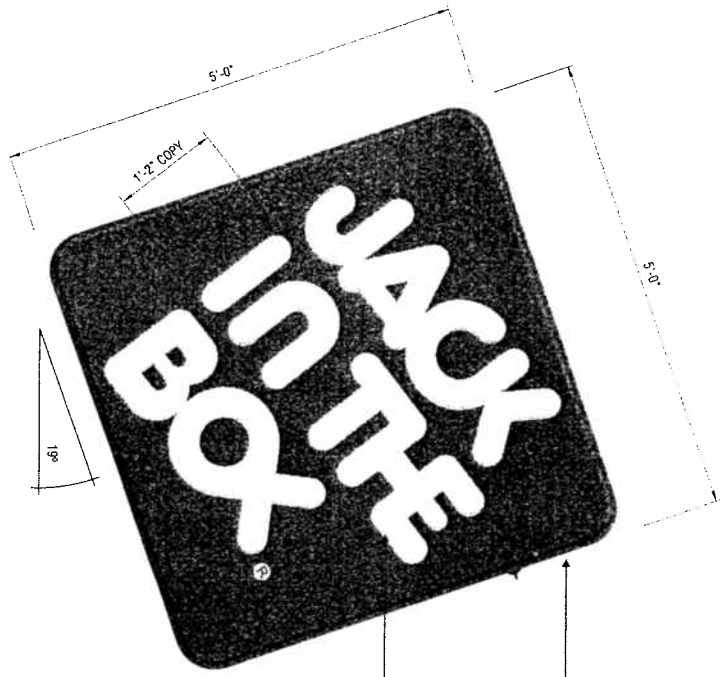
**SHEET #**  
 B



**SECTION VIEW**

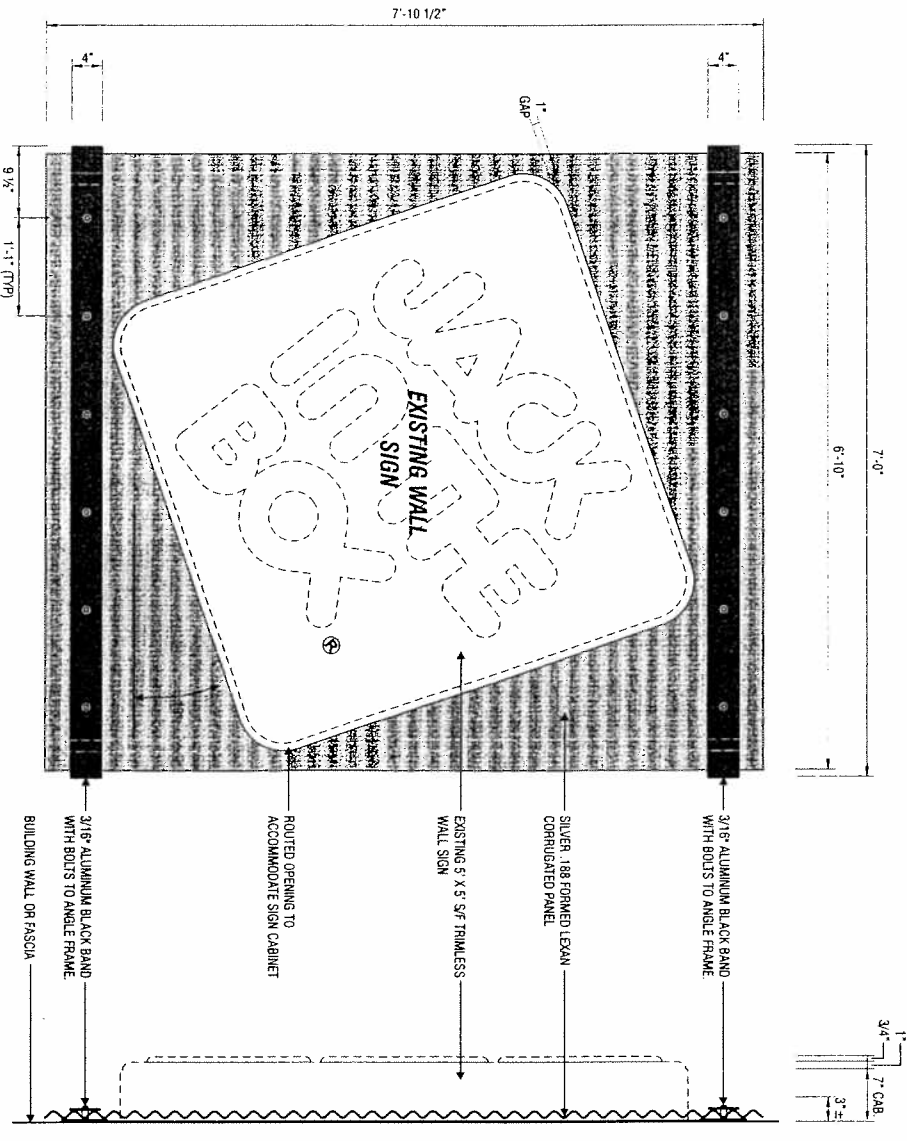


**SIDE VIEW**



**ELEVATION VIEW**

**5' X 5' S/F TRIMLESS BUILDING SIGN**  
 SCALE: 3/4\"/>



ELEVATION VIEW

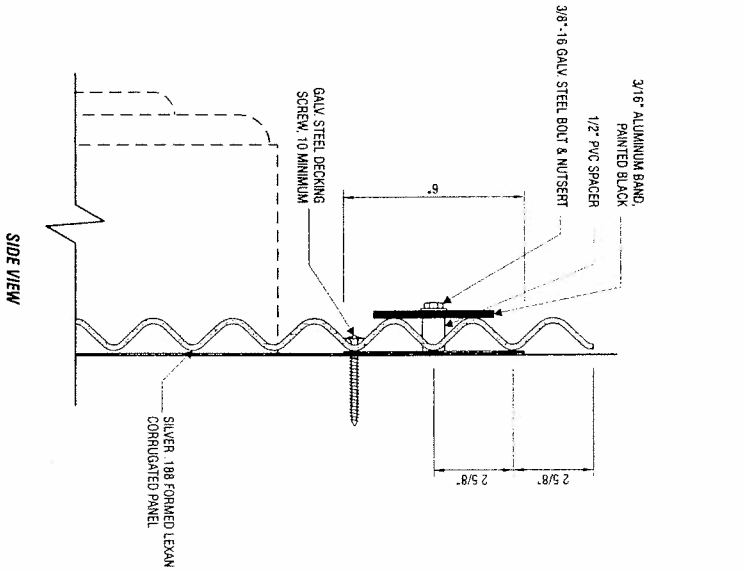
SIDE VIEW

**CORRUGATED SURROUND - 5' X 5' TRIMLESS WALL SIGN**

SCALE: 3/4" = 1'-0"

**ATTACHMENT & FRAME / BRACKET DETAIL**

SCALE: 3" = 1'-0"



SIDE VIEW



**CMP**  
**SIGNS & GRAPHICS**  
 4530 Madison Camp Place  
 San Dimas, CA 91773  
 Tel: 619.283.2191  
 Fax: 619.283.9503  
 Web: www.cmpsigns.com

PROJECT: JACK IN THE BOX #1264

LOCATION: CLAREMONT AVE. & CARLISLE BLVD. ALBUQUERQUE, NM

SHEET TITLE: CORRUGATED PANELS

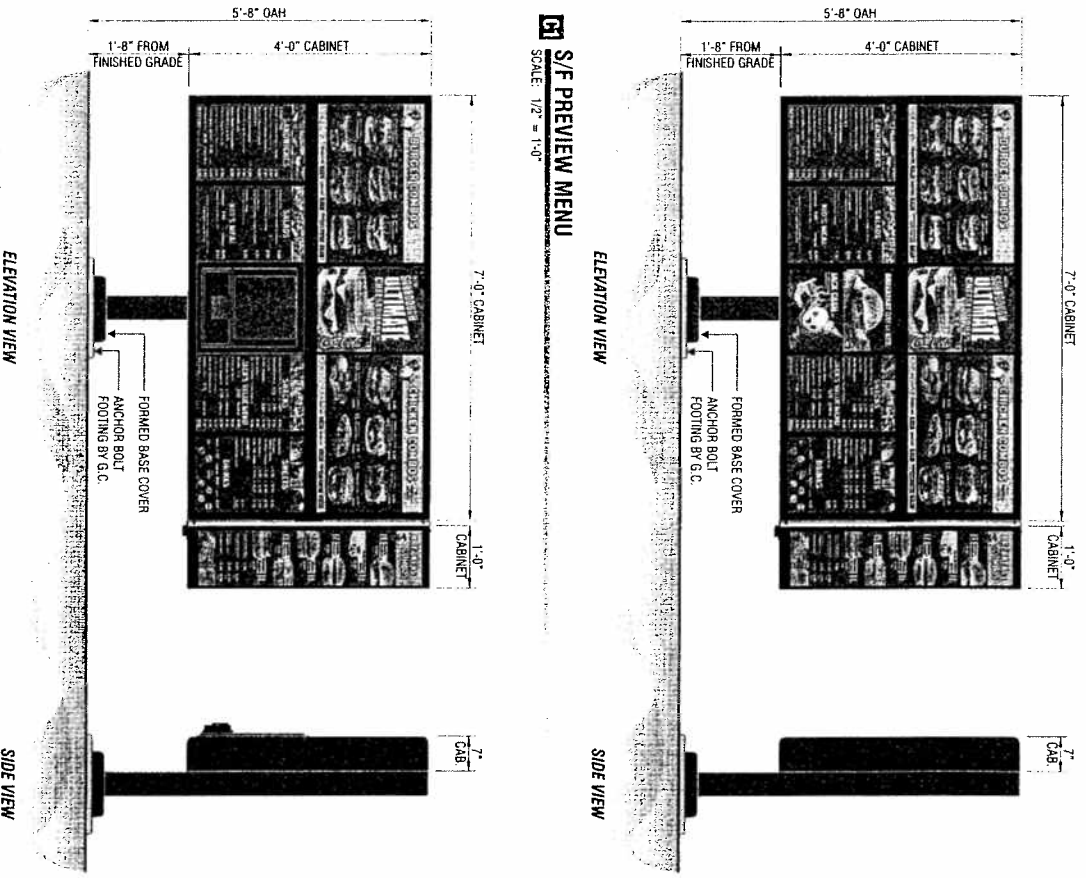
DESIGNED BY: RACHEL MAUCK  
 CHECKED BY: ANDY LIBERTO  
 DATE: 5/30/08  
 SCALE: NOTED  
 CUSTOMER APPROVAL

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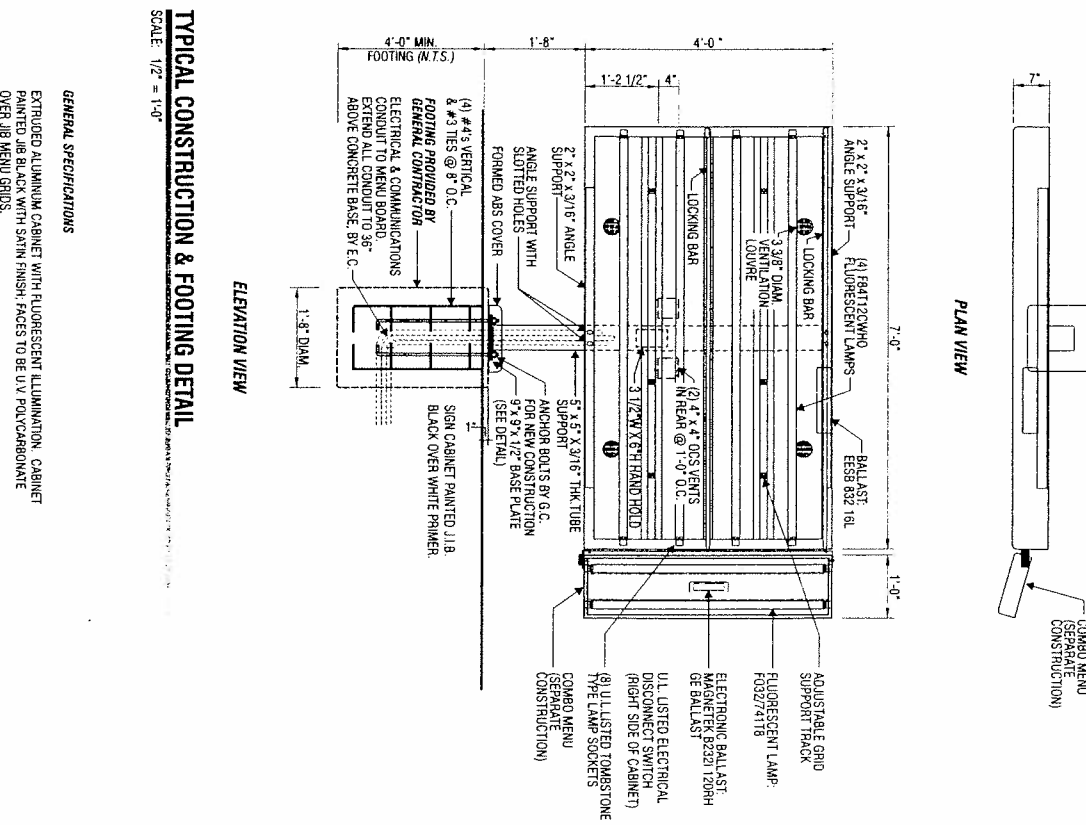
PROJECT #	08-330	PROJECT #	305689
REVISIONS	0	REV	000000

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**S/F SPEAKER STATION**  
SCALE: 1/2" = 1'-0"

**S/F PREVIEW MENU**  
SCALE: 1/2" = 1'-0"



**TYPICAL CONSTRUCTION & FOOTING DETAIL**  
SCALE: 1/2" = 1'-0"

**GENERAL SPECIFICATIONS**  
EXTRUDED ALUMINUM CABINET WITH FLUORESCENT ILLUMINATION. CABINET PAINTED BLACK WITH SATIN FINISH. FACES TO BE U.V. POLYCARBONATE OVER JIB MENU GRIDS.  
SQUARE TUBE STEEL SUPPORT POLE PAINTED JIB BLACK WITH SATIN FINISH.

REVISIONS

NO.	DATE	DESCRIPTION
0		

PROJECT # 08-330  
JOB # 305689  
DATE 0 000000

KEY NO. **C1** **D2**

SHEET 10



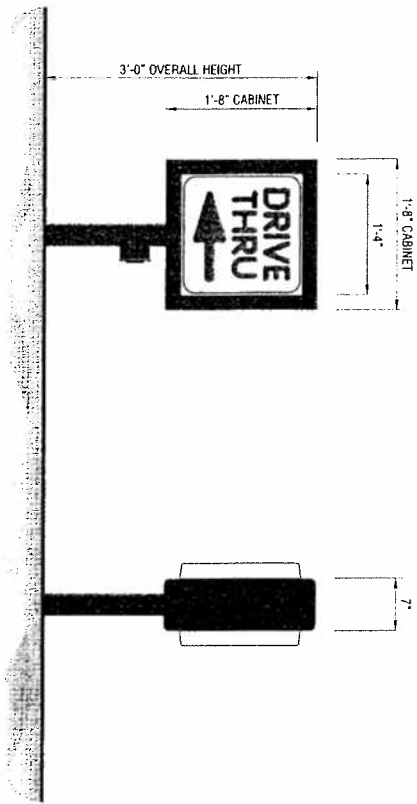
**CMP**  
SIGNS & GRAPHICS  
4530 Mission Gorge Place  
San Diego, CA 92120  
Tel: 619.283.2191  
Fax: 619.283.9503  
Web: www.cmpsigns.com

PROJECT JACK IN THE BOX #1264

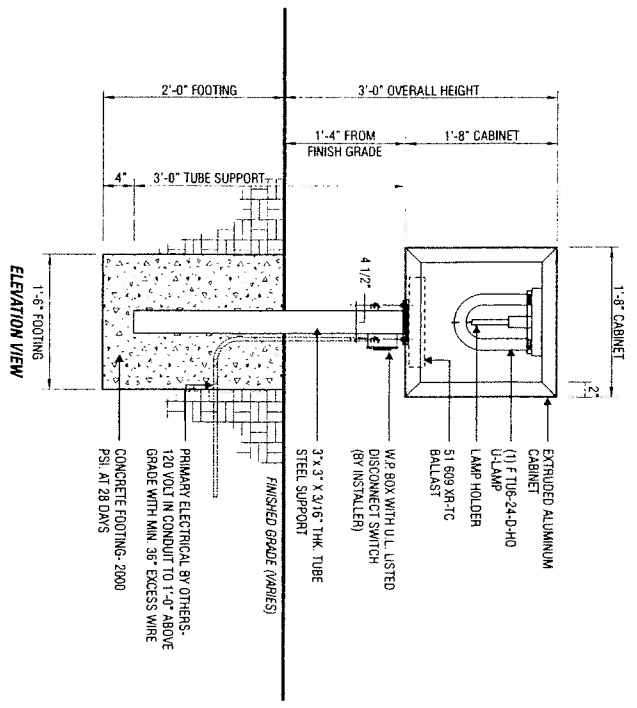
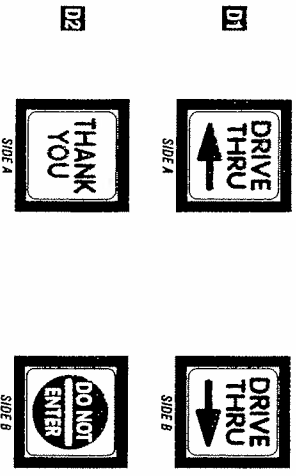
LOCATION CLAREMONT AVE & CARLISLE BLVD ALBUQUERQUE, NM

DESIGNER RACHEL MAUCK  
DATE 5/30/08  
SCALE NOTED  
CUSTOMER APPROVAL

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**D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN**  
 SCALE: 3/4" = 1'-0"



**D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN STRUCTURAL DETAIL**  
 SCALE: 3/4" = 1'-0"

- MATERIALS:**  
 SIGN FACE: U.V. POLYCARBONATE WITH FORMED PAN AND APPLIED GRAPHICS  
 CABINET: EXTRUDED ALUMINUM  
 POLE: STRUCTURAL STEEL SQ. TUBE
- ILLUMINATION:**  
 FLUORESCENT
- COLORS:**  
 SIGN FACE (FIELD): WHITE  
 LETTERS: PRIST-SURFACE APPLIED JIB RED (3M V0 9406)  
 SIGN CABINET: JIB BLACK  
 POLE: JIB BLACK



**CTPS**  
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 4530 Mission Gorge Place  
 San Diego, CA 92120  
 Tel: 619.281.2100  
 Fax: 619.231.0810  
 Web: www.ctpsigns.com

PROJECT: JACK IN THE BOX #1264

LOCATION: CLAREMONT AVE & CARLISLE BLVD ALBUQUERQUE, NM

SHEET TITLE: DIRECTIONAL SIGNS

DESIGNED BY: RACHEL MAUCK  
 DRAWN BY: ANDY LIBERTO  
 DATE: 5/30/08  
 STATUS: NOTED  
 CUSTOMER APPROVAL

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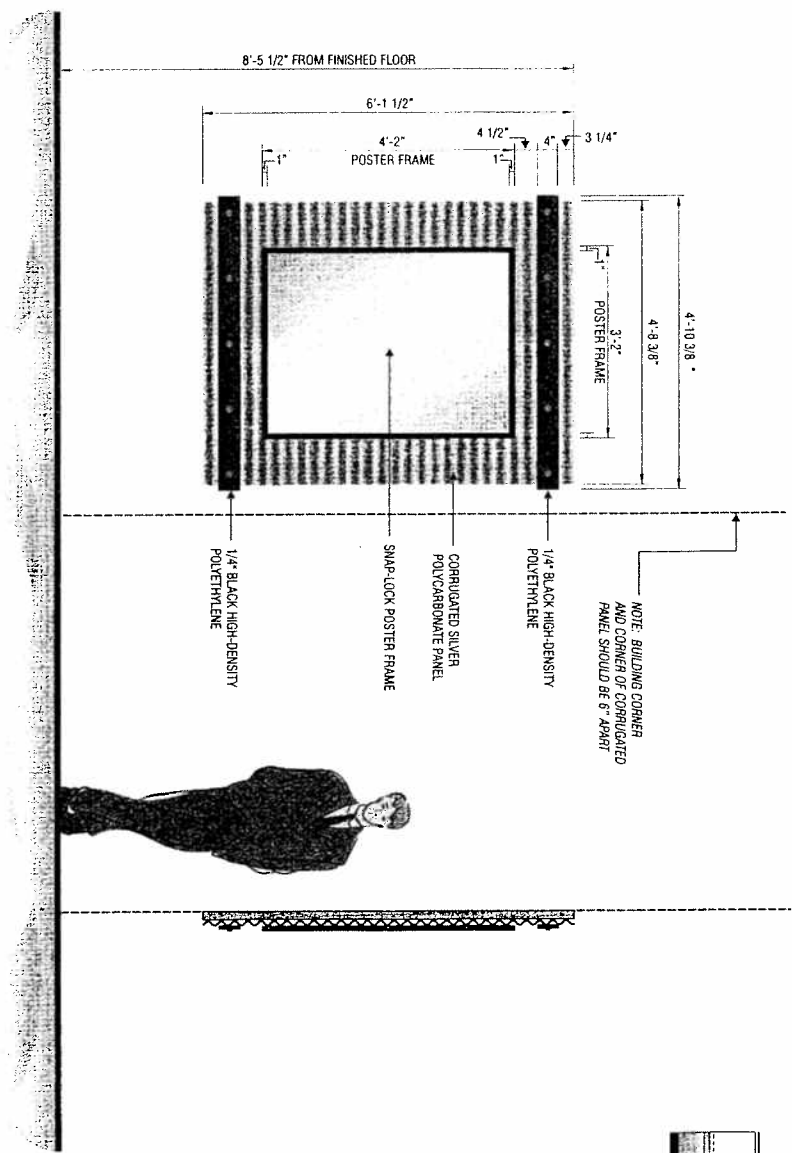
NO.	DATE	DESCRIPTION
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2	0	REVISED

PROJECT: JACK IN THE BOX #1264

**MEDIUM POSTER MARQUEE BUILDING PANEL**

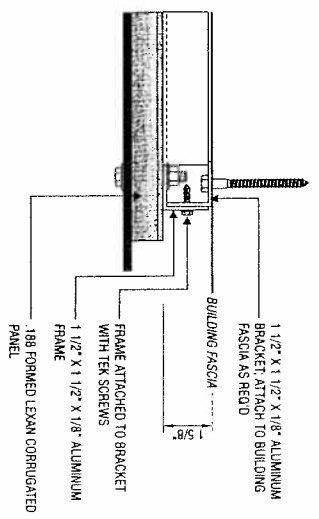
SCALE: 1/2" = 1'-0"

ELEVATION VIEW

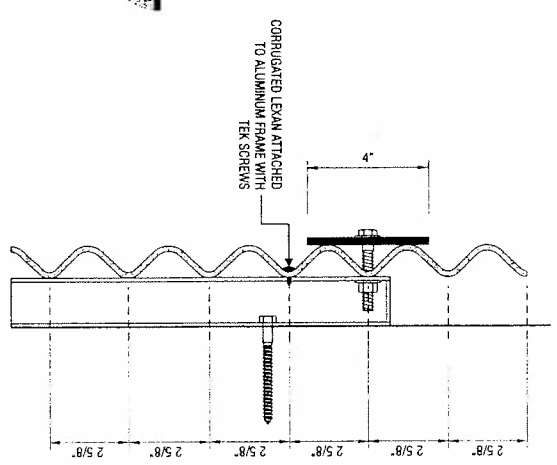


SIDE VIEW

TOP VIEW



SIDE VIEW



**ATTACHMENT & FRAME/BRACKET DETAIL**

SCALE: 3" = 1'-0"

**CLIENT**

**CPG**

4530 Mission Gorge Place  
 San Diego, CA 92120  
 Tel: 619.283.2191  
 Fax: 619.283.9503  
 Web: www.cpgsigns.com

**PROJECT**  
 JACK IN THE BOX #1264

**LOCATION**  
 CLAREMONT AVE. &  
 CHARLIE BLVD  
 ALBUQUERQUE, NM

**SHEET TITLE**  
 MEDIUM MARQUEE

**DESIGNER**  
 RACHEL MAUCK

**DRAWN**  
 ANDY LIBERTO

**DATE**  
 5/30/08

**SCALE**  
 NOTED

**CUSTOMER APPROVAL**

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**PROJECT #** 305689

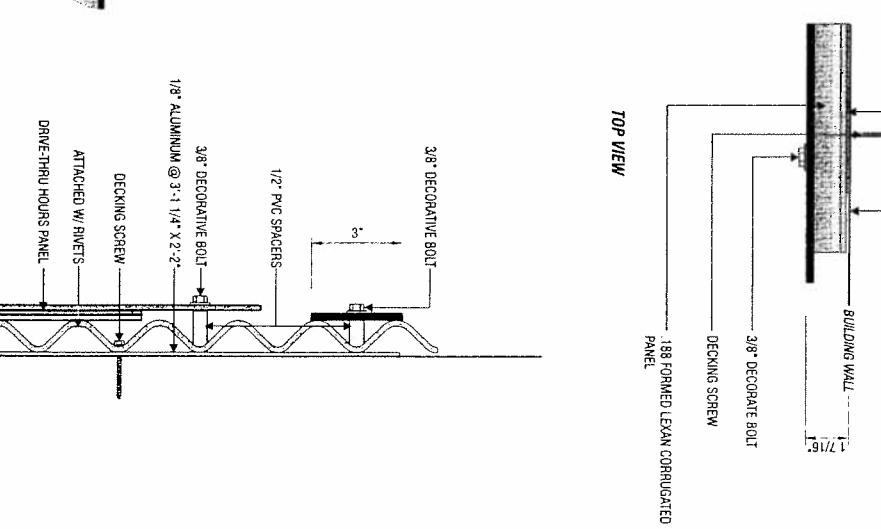
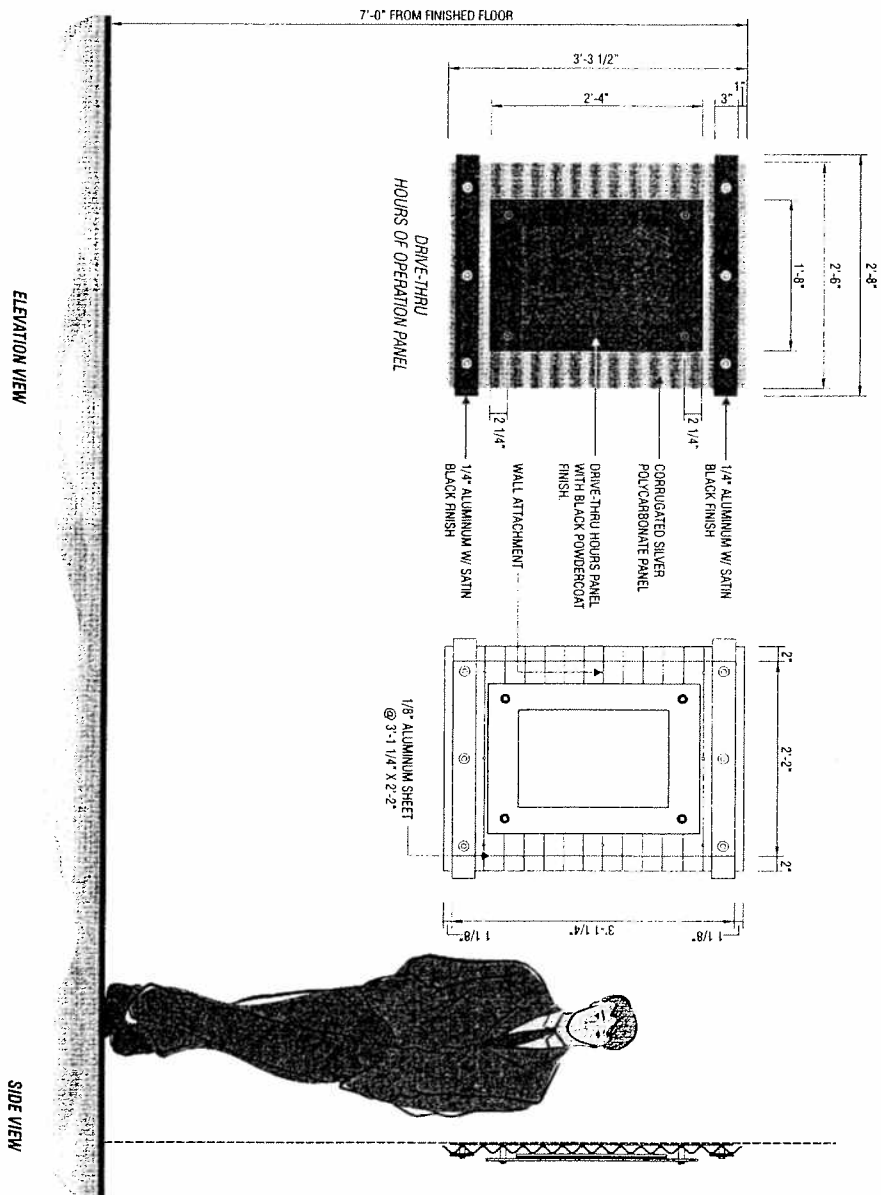
**DATE** 08-330

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

**KEY NO.**

**ET 22**



**EXTERIOR HOURS PANEL MARQUEE - SMALL**  
SCALE: 3/4" = 1'-0"

**ATTACHMENT & FRAME / BRACKET DETAIL**  
SCALE: 3" = 1'-0"

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4530 Mission Gorge Place  
San Diego, CA 92120  
Tel: 619.283.2191  
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Web: www.ctipsigns.com

PROJECT  
JACK IN THE BOX #1254

LOCATION  
CLAREMONT AVE &  
CARLSLE BLDG,  
ALBUQUERQUE, NM

SHEET TITLE  
HOURS OF OPERATION  
MARQUEE

DATE  
5/30/08

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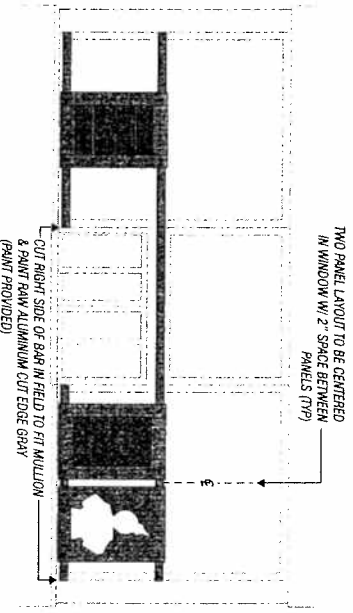
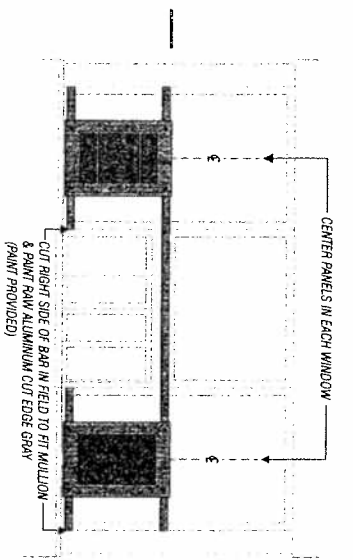
DATE	08-330	PROJECT #	305689
REVISIONS	0	REV	000000

KEY NO  
E1 E2

SHEET 13

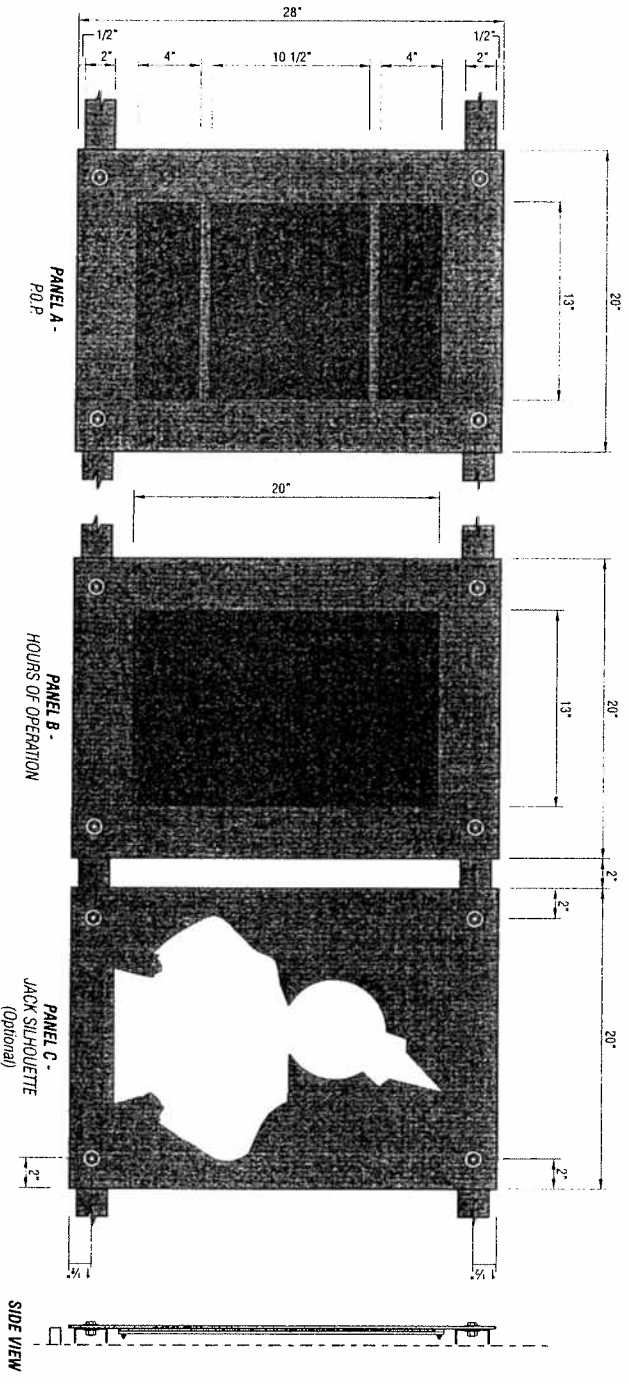






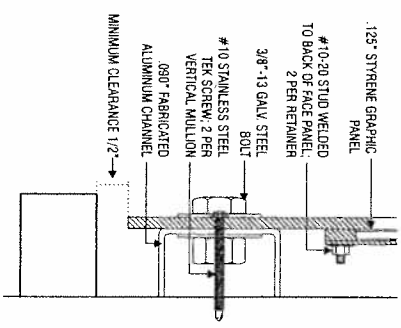
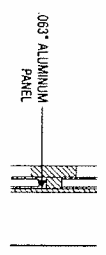
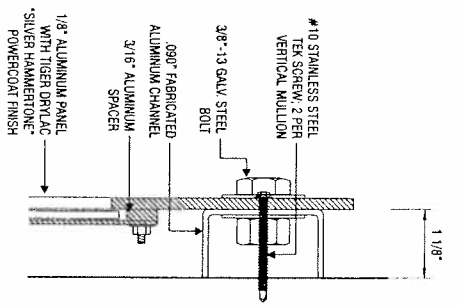
PANEL POSITIONS TYPICAL DRIVE-THRU WINDOWS SHOWN/ SIZES MAY VARY

SCALE: 3/8" = 1'-0"



ALUMINUM DRIVE-THRU PANELS

SCALE: 1 1/2" = 1'-0"



ATTACHMENT DETAIL SECTION VIEW

SCALE: HALF SIZE

**CTIP**

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**JACK IN THE BOX**

PROJECT: JACK IN THE BOX

VARIOUS

SHEET TITLE: D/T WINDOW PANELS

DATE: 01/30/07

SCALE: NOTED

DESIGNER: [Name]

PROJECT MANAGER: [Name]

CUSTOMER APPROVAL: [Signature]

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Model # 000000

07-017

000000

REGIONS: 1 South, 2 North, 3 West, 4 East

ADNO

SHEET 15



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 Web: www.cripgraphics.com



PROJECT  
 JACK IN THE BOX  
 MARK 9 WINDOW GRAPHICS  
 PRODUCT ID - 7174201

LOCATION  
 VARIOUS

SHEET TITLE  
 STANDARD PANEL LAYOUT

DESIGNED BY  
 JENNIFER GALVIN  
 CHECKED BY  
 ANDY LIBERTO  
 DATE  
 1/29/08  
 SCALE  
 NOTED  
 CUSTOMER APPROVAL

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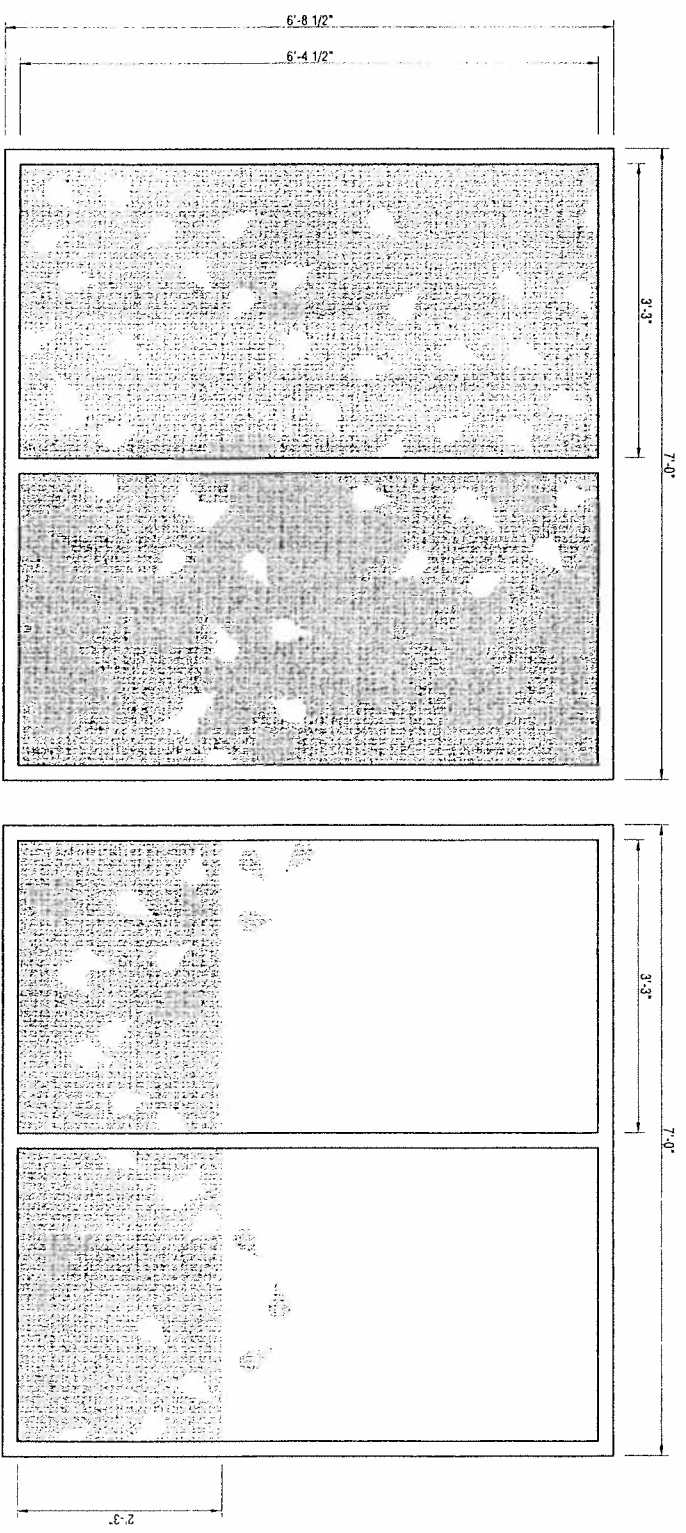
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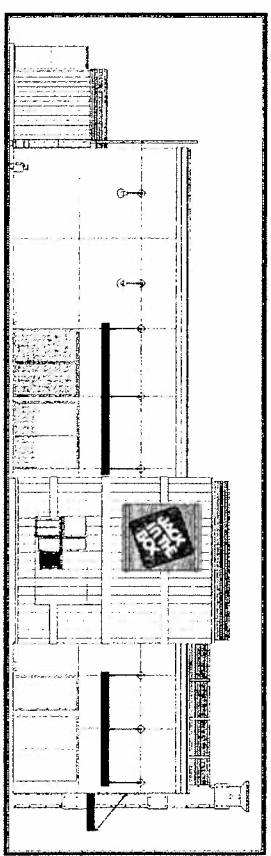
DATE 08-05-4  
 REVISED 2  
 PROJECT # 305655  
 REVISED 2  
 REVISED 000000

NO.	DESCRIPTION	DATE	BY
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2	REVISED		
3	REVISED		
4	REVISED		
5	REVISED		
6	REVISED		
7	REVISED		
8	REVISED		
9	REVISED		
10	REVISED		

SHEET 18

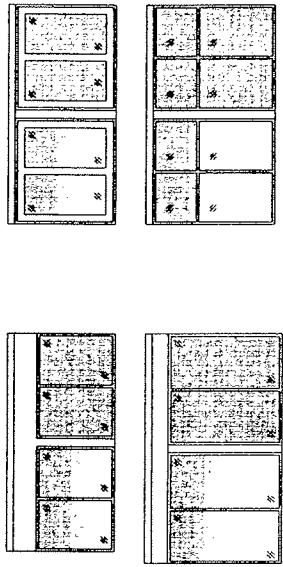


SPECIFICATIONS:  
 3M # 7725-314 DUSTED CRYSTAL TRANSLUCENT WINDOW FILM  
 APPLY FIRST SURFACE  
 REFERENCE INSTALLATION DETAIL



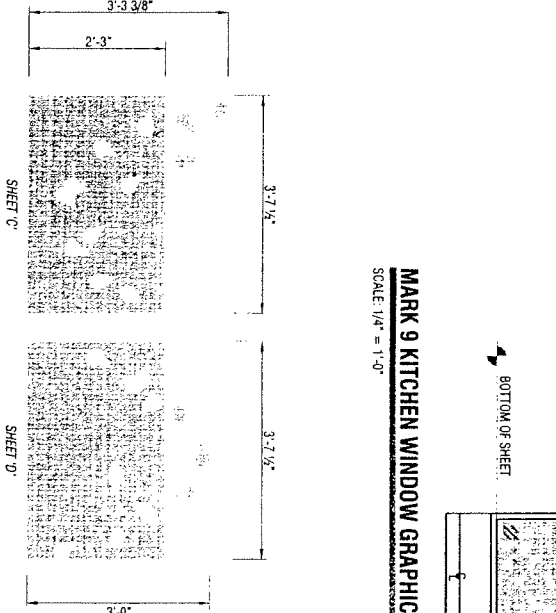
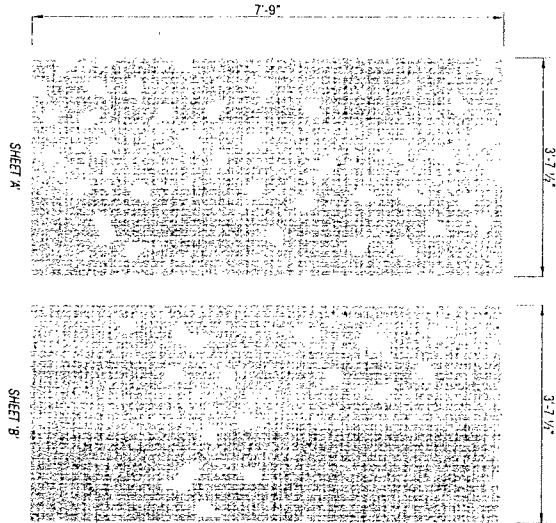
MARK 9 KITCHEN WINDOW GRAPHICS

SCALE: 3/4" = 1'-0"



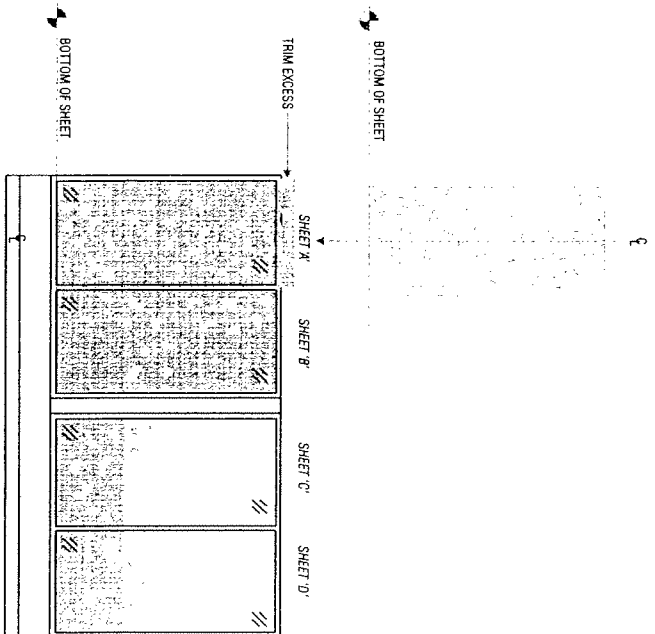
**MARK 9 KITCHEN WINDOW EXAMPLES**

SCALE 1/8" = 1'-0"



**MARK 9 KITCHEN WINDOW GRAPHICS - INSTALLATION EXAMPLE**

SCALE 1/4" = 1'-0"



**SPECIFICATIONS:**  
 TRANSLUCENT WINDOW FILM  
 3M # 7725-314 "DUSTED CRYSTAL"

**INSTALLATION:**  
 APPLY FILM SURFACE IN ORDER SHOWN  
 EACH WINDOW SHEET TO BE CENTERED & FLUSHED  
 TO BOTTOM OF WINDOW. EXCESS FILM TO BE  
 TRIMMED TO FIT FLUSH WITH OUTSIDE OF WINDOW

**MARK 9 KITCHEN WINDOW GRAPHICS**

SCALE 1/4" = 1'-0"

**CTIP**  
 SIGNS & GRAPHICS  
 4530 Mission Gorge Place  
 San Diego, CA 92120  
 Fax: 619 283 5903  
 Web: www.ctipsigns.com

**MARKET:**  
 JACK IN THE BOX  
 MARK 9 WINDOW GRAPHICS  
 PRODUCT ID - 71174201

**LOCATION:**  
 VARIOUS

**SHEET TITLE:**  
 INSTALLATION DETAIL

**DATE:**  
 1/29/08

**SCALE:**  
 NOTED

**DESIGNER:**  
 JENNIFER GALVIN  
 ANDY LIBERTO

**CUSTOMER APPROVAL:**

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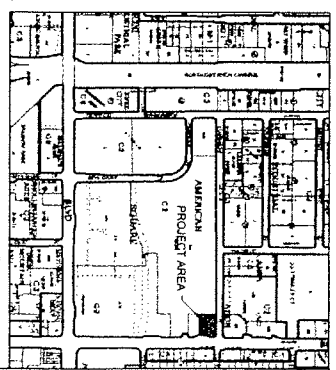
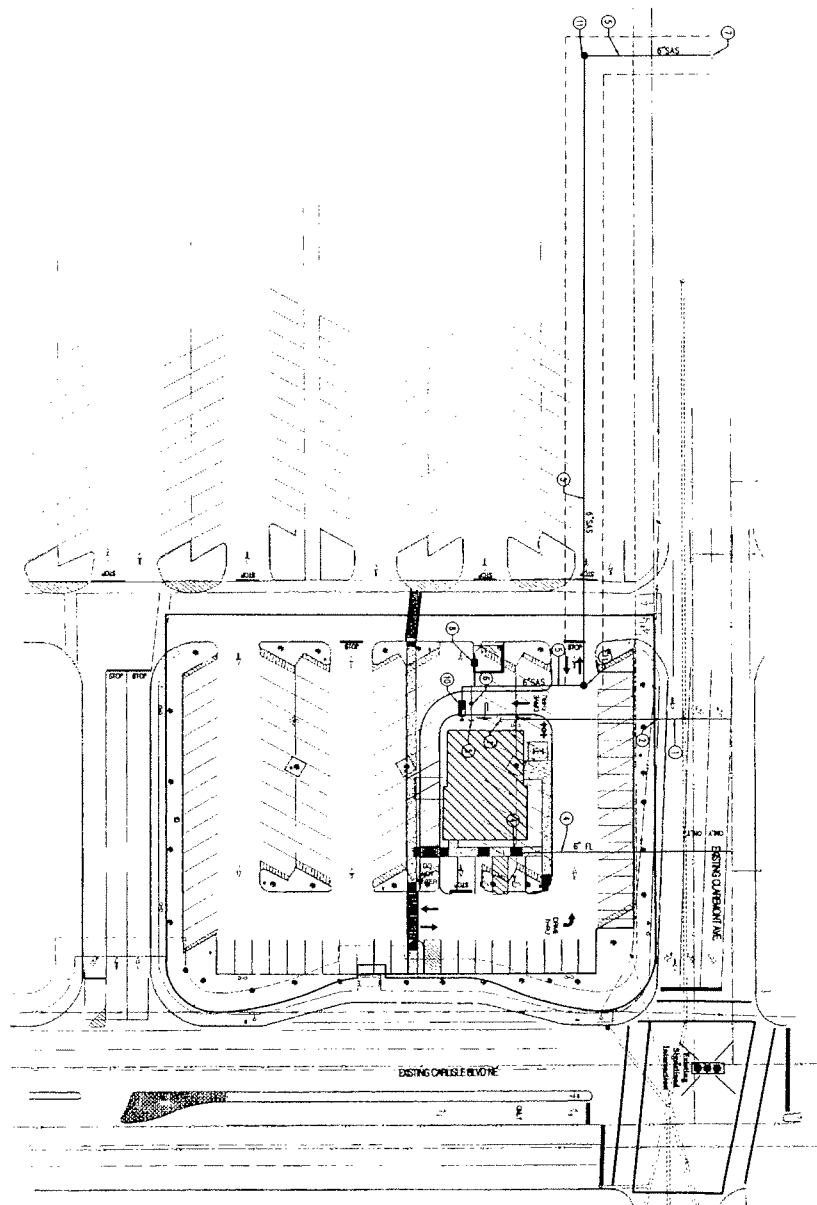
Order #	08-054	Model #	309555
Revision	2	Rev	000000

**REVISIONS:**

NO.	DATE	BY	DESCRIPTION
1			1. Initial
2			2. Change
3			3. Change
4			4. Change
5			5. Change
6			6. Change
7			7. Revise

REV NO.





- UTILITY KEYED NOTES**
1. 12\"/>
  - 2. DOMESTIC WATER SERVICE LINE
  - 3. PRIVATE FIRE TRENCH
  - 4. 6\"/>
  - 5. 6\"/>
  - 6. SANITARY CLEAN OUT
  - 7. CONNECT TO EXISTING SANITARY MANHOLE
  - 8. MANHOLE TO S/S
  - 9. SANITARY STATION
  - 10. CHECK SHAW
  - 11. 6\"/>
  - NOT USED

- LEGEND**
- PROPERTY LINE
  - EXISTING EXTERIOR
  - EXISTING SANITARY SEWER
  - EXISTING WATER LINE
  - EXISTING WATER METER
  - EXISTING CAP
  - EXISTING VALVE
  - EXISTING FIRE HYDRANTS
  - EXISTING SANITARY SINKER MANHOLE
  - EXISTING STORM DRAIN MANHOLE
  - EXISTING MANHOLE
  - PROPOSED EXTERIOR
  - PROPOSED SANITARY SEWER LINE
  - PROPOSED OFFICE TRAP
  - PROPOSED LATI STATION
  - PROPOSED SANITARY SINKER MANHOLE
  - PROPOSED CLEANOUT
  - PROPOSED WATER LINE
  - PROPOSED VALVE
  - PROPOSED FIRE LINE
  - PROPOSED HYDRANT
  - PROPOSED CAP
  - PROPOSED WATER METER
  - PROPOSED S/S LINE
  - OTHER WATER LINE

SHEET 19

**JACK-IN-THE-BOX  
CARUSLE**

Conceptual Utility Plan (EPC)

MARCH 6, 2008

JACK-IN-THE-BOX  
CARUSLE, NEW CARUSLE

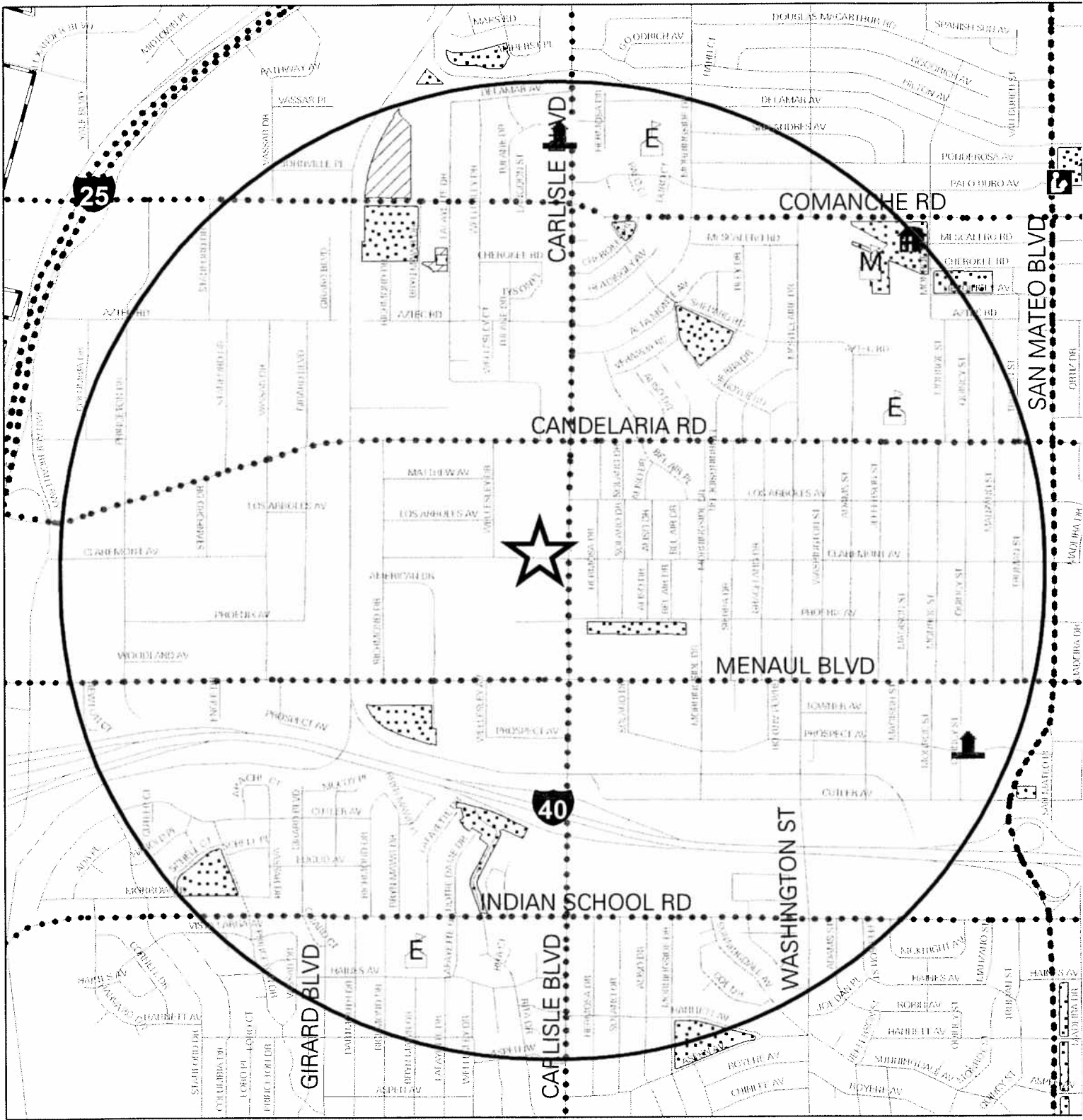
1" = 20'

**Bahaman & Huston**




















ARCHITECTURE • ENGINEERING • DESIGN

3200 BARKER AVENUE  
 SUITE 1000, COSTA MESA, CA 92626  
 (714) 440-1100 • FAX (714) 440-1101  
 WWW.BAHAMANANDHUSTON.COM

DATE: 3/6/08  
 DRAWN BY: [Redacted]  
 SCALE: [Redacted]  
 PROJECT: 2008-001  
 ADDRESS: 2701 CARUSLE, NE  
 ABINGDON, VA 22003



## Public Facilities Map with One-Mile Site Buffer

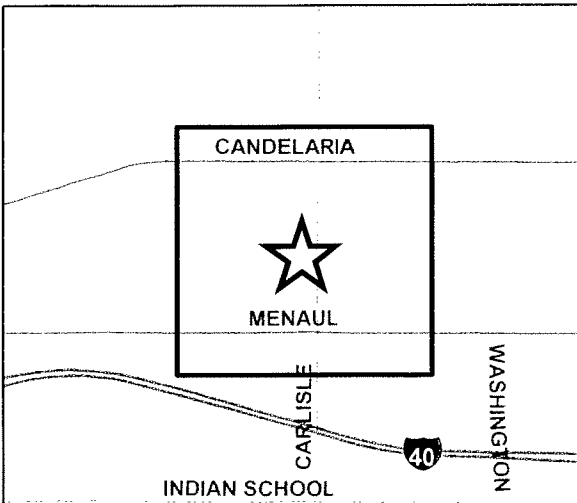
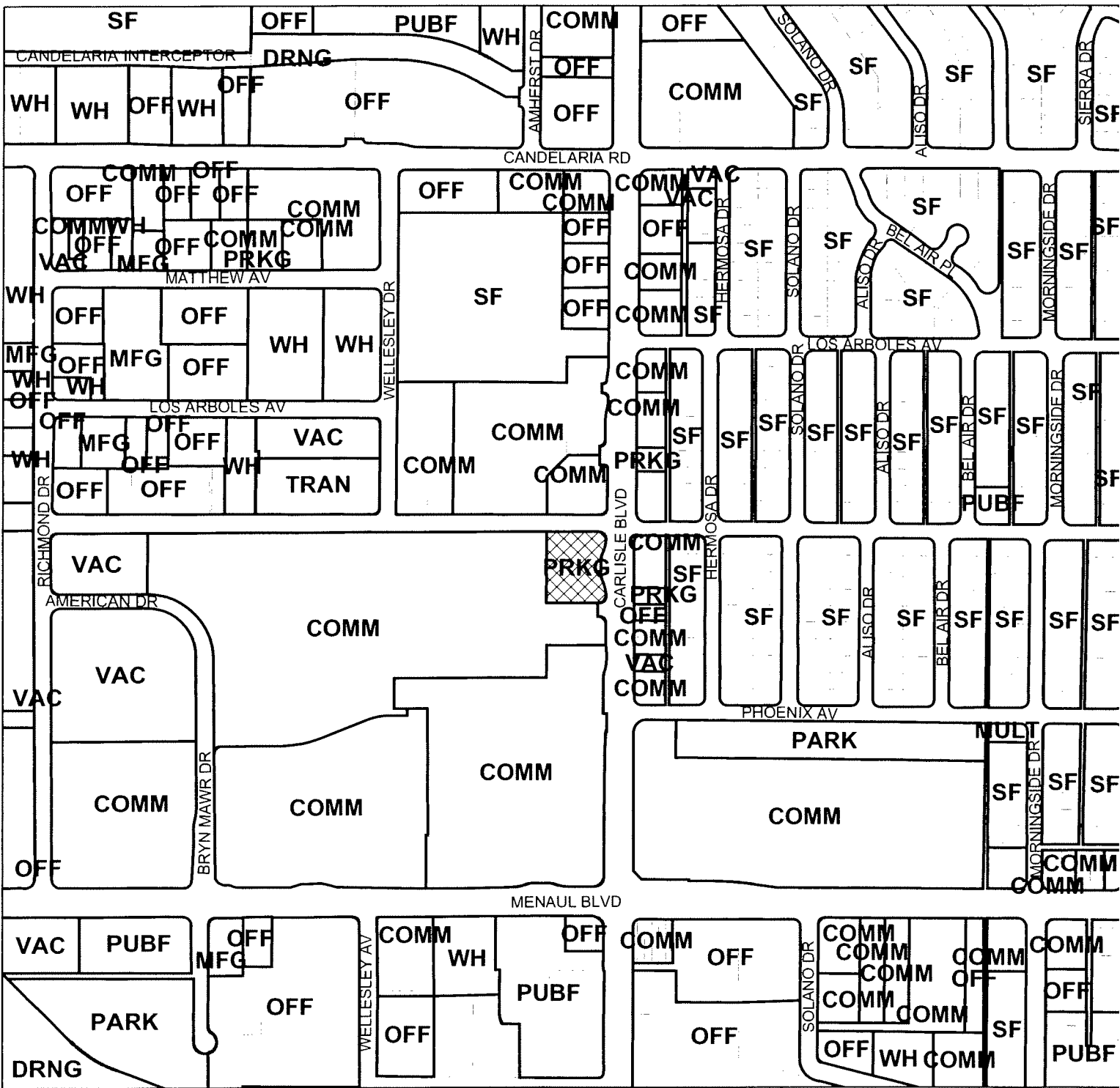
- |  |   |   |   |
|--|---|---|---|
|  COMMUNITY CENTER     |  FIRE                        |  APS Schools                 |  Developed County Park   |
|  MULTI-SERVICE CENTER |  POLICE                      |  ABQ Ride Routes             |  Undeveloped County Park |
|  SENIOR CENTER        |  SHERIFF                     |  AGIS Jurisdiction           |  Developed City Park     |
|  LIBRARY              |  SOLID WASTE                 |  Landfill Buffer (1000 feet) |  Undeveloped City Park   |
|  MUSEUM               |  Landfills designated by EHD |   |                          |

Project Number: 1002249

0 0.5 1 Mile







# LAND USE MAP

Note: Grey shading indicates County.

## KEY to Land Use Abbreviations

- AGRI Agricultural
- COMM Commercial - Retail
- DRNG Drainage
- MFG Manufacturing or Mining
- MULT Multi-Family or Group Home
- OFF Office
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch equals 500 feet

Project Number:

1002249

Hearing Date:

July 17, 2008

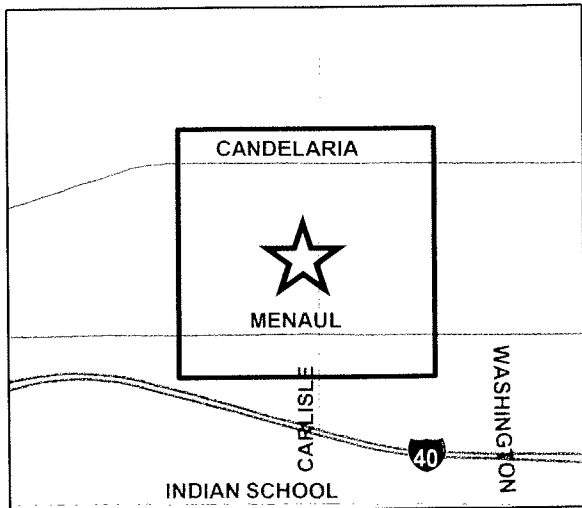
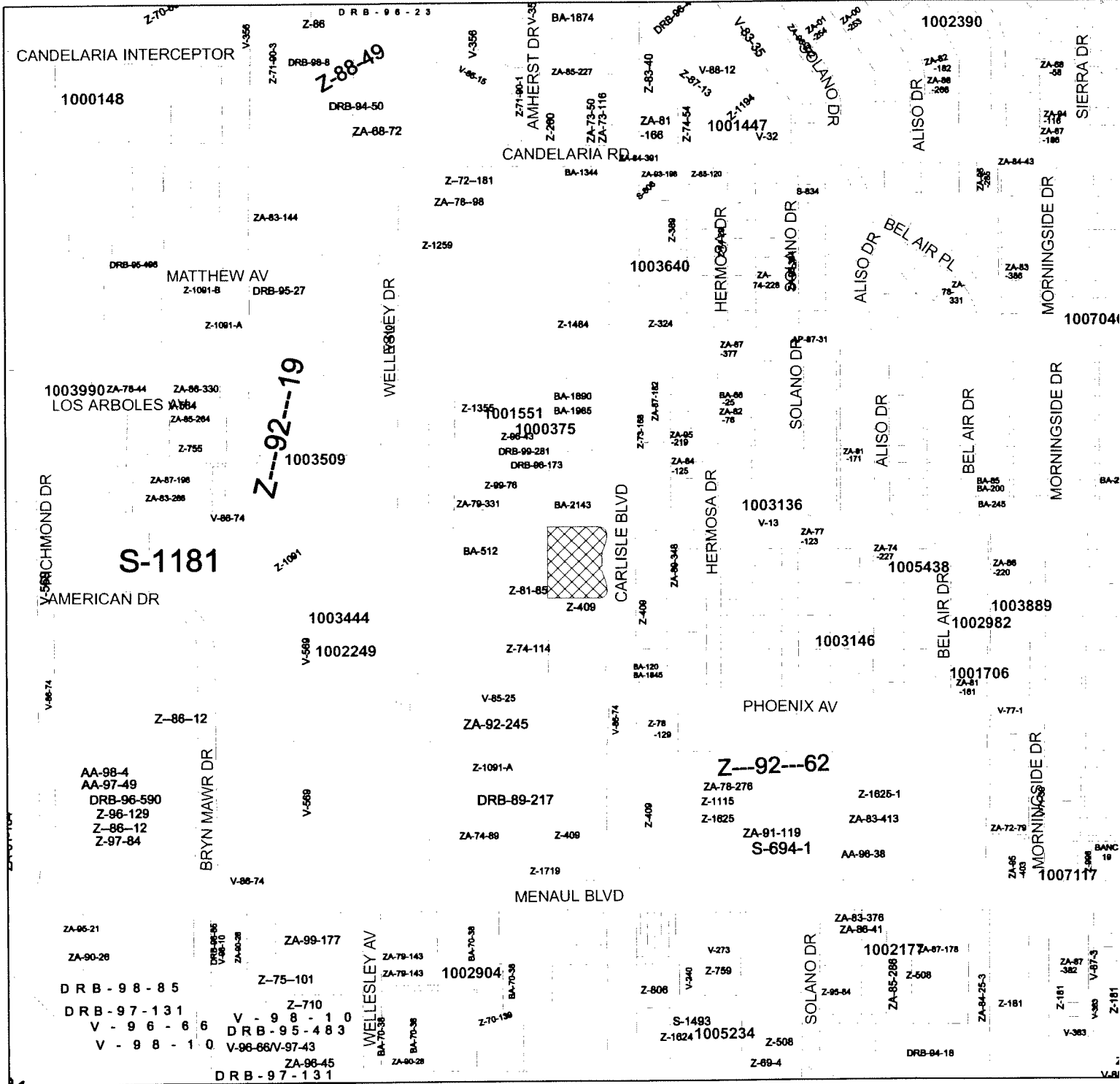
Zone Map Page:

H-16

Additional Case Numbers

08EPC-40069

08EPC-40070



# HISTORY MAP

Note: Grey shading indicates County.



1 inch equals 500 feet  
 Project Number:  
 1002249  
 Hearing Date:  
 July 17, 2008  
 Zone Map Page:  
 H-16  
 Additional Case Number:  
 08EPC-40069  
 08EPC-40070