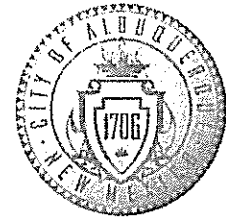


AGENCY COMMENTS

# CITY OF ALBUQUERQUE



November 15, 2011

Terry Brown, P.E.  
P.O. Box 92051  
Albuquerque, New Mexico 87199

Subject: Andalucia Tract 6 (Montano/Coors) Traffic Impact Study Update,  
Dated November 7, 2011

Dear Mr. Brown,

Following are my comments for the above referenced subject:

- 1) Provide an Executive Summary.
- 2) Provide an explanation for your intersection numbering system.
- 3) Table of Contents should be labeled as Page i.
- 4) Page 1 –
  - a. 2005 Plan should be referenced in the Appendix as Page A-81;
  - b. Delete "and the impact fee administrator" from STUDY PROCEDURES text;
  - c. Delete reference to horizon year analysis. There is no City requirement for this analysis;
  - d. Add explanation of why Supermarket and Free-Standing Discount Store were utilized to calculate the trip generation rate for the new Wal-Mart store.
- 5) Page 2 – change "building" to "build".
- 6) Page 4 – Add explanation of why Supermarket and Free-Standing Discount Store were utilized to calculate the trip generation rate for the new Wal-Mart store.
- 7) Page 5 –
  - a. Add text denoting that the second driveway on Montano Rd. requires TCC Approval;
  - b. "Page A-2" should read "Page A-3" with reference to the Conceptual Site Development Plan;
  - c. Change "plan proposed and approved in 2005" to read "trips generated in the 2007 TIS";
  - d. Last sentence parenthetical phrase – add "in the 2007 TIS" at end.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

8) Page 6 and Appendix A-6 –

- a. Use pass-by trip reduction of 30% consistent with the 2005 Plan;
- b. Add explanation of why Supermarket and Free-Standing Discount Store were utilized to calculate the trip generation rate for the new Wal-Mart store.

9) Page 9 –

- a. Clarify Note under Montano Rd. / Coors Blvd. Existing Geometry Table (i.e. NB thru lanes vs. NB dual rt. turn lanes);
- b. Clarify description of developer's improvements at bottom of page (i.e. NB thru lanes vs. NB dual rt. turn lanes).

10) Page 13 – Second paragraph – “Montano Rd.” should read “Dellyne Ave.”

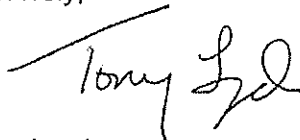
11) Page 15 – Explain why the description of percentage contribution of traffic to Montano / 4<sup>th</sup> St. is in report.

12) Page 21 – Revise wording of first sentence as discussed (i.e. approved and constructed under 2005 plan).

13) Page 22 – Clarify that you are comparing the 2015 NO BUILD with the BUILD conditions in the Conclusions (i.e. minimal operational problems along Coors Blvd. such as LOS and Delays are relatively consistent between proposals when 2015 No Build vs. Build are compared).

Should you have any questions, please feel free to contact me at 924-3934.

Sincerely,

A handwritten signature in black ink, appearing to read "Tony Loyd". The signature is fluid and cursive, with a long horizontal stroke at the beginning.

Tony Loyd  
Impact Fee Administrator  
Planning Department  
Development Services Division  
For Transportation Development Section

STANDARD LETTER  
**SCOPE OF TRAFFIC IMPACT STUDY (TIS)**

**TO:** Terry Brown, PE  
P.O. Box 92051  
Albuquerque, NM 87199

**MEETING DATE:** October 6, 2011 (by phone)

**ATTENDEES:** Terry Brown; Richard Dourte, City Engineer, COA; Tony Loyd, Impact Fees/Transportation Development, COA.

**PROJECT:** Andalucia, Tract 6 (Montano/Coors)

**REQUESTED CITY ACTION:** \_\_\_Zone Change \_\_\_x\_Site Development Plan

\_\_\_Subdivision \_\_\_Building Permit \_\_\_Sector Plan \_\_\_Sector Plan Amendment

\_\_\_Curb Cut Permit \_\_\_Conditional Use \_\_\_Annexation \_\_\_x\_Site Plan Amendment

**ASSOCIATED APPLICATION:** Site Development Plan for Subdivision Amendment and Site Development Plan for Building Permit for proposed 99k sq. ft. Wal-mart.

The Traffic Impact Study should follow the standard report format, which is outlined in the DPM. The following supplemental information is provided for the preparation of this specific study. As each item identified in the scoping letter is completed, check the appropriate (box).

- ☐ 1. Trip Generation - Use ITE Trip Generation Manual, current edition.  
Consultant to provide.
- ☐ 2. Appropriate study area:  
Signalized Intersections: Montano/Coors, Dellyne/Coors and Montano/4<sup>th</sup> St.;  
  
Unsignalized Intersections: Montano/Winterhaven, Montano/Antequera, E/W Street/Coors and Mirandela/Coors;  
  
Driveway Intersections: all site drives.
- ☐ 3. Intersection turning movement counts.  
Intersections provided: none.  
  
Intersections that need to be counted by consultant: all applicable.
- ☐ 4. Existing traffic signal timing and synchronization.  
Intersections provided: consultant to determine signal timing and synchronization or coordinate with Traffic Operations to obtain.
- ☐ 5. Type of intersection progression and factors to be used.  
Type III arrival type (see HCM 2000 or equivalent as approved by Transportation Development Staff). Unless otherwise justified, peak hour factors and % heavy commercial should be taken directly from the MRCOG turning movement data or equivalent. If not available, consultant will need to calculate/provide.
- ☐ 6. Boundaries of area to be used for trip distribution.  
City Wide - residential, office or industrial;  
2 mile radius - commercial;  
Modified (as discussed) for Wal-mart  
Interstate or to be determined by consultant - motel/hotel.

- 7. Basis for trip distribution.
- Residential – Use inverse relationship based upon distance and employment. Use employment data from 2030 Socioeconomic Forecasts, MRCOG (S-07-01).
- Office/Industrial - Use inverse relationship based upon distance and population. Use population data from 2030 Socioeconomic Forecasts, MRCOG (S-07-01).
- Commercial - Use relationship based upon population. Use population data from 2030 Socioeconomic Forecasts, MRCOG (S-07-01).
- Residential -
- $$T_s = (T_t) (S_e / D) / (S_e / D)$$
- $T_s$  = Development to Individual Subarea Trips  
 $T_t$  = Total Trips  
 $S_e$  = Subarea Employment  
 $D$  = Distance from Development to Subarea
- Office/Industrial -
- $$T_s = (T_t) (S_p / D) / (S_p / D)$$
- $T_s$  = Development to Individual Subarea Trips  
 $T_t$  = Total Trips  
 $S_p$  = Subarea Population  
 $D$  = Distance from Development to Subarea
- Commercial -
- $$T_s = (T_t) (S_p) / (S_p)$$
- $T_s$  = Development to Individual Subarea Trips  
 $T_t$  = Total Trips  
 $S_p$  = Subarea Population
- 8. Traffic Assignment. Logical routing on the major street system.
- 9. Proposed developments which have been approved but not constructed that are to be included in the analyses: US New Mexico Credit Union
- 10. Method of intersection capacity analysis - planning or operational (see HCM 2000 or equivalent as approved by Transportation Development Staff). Must use latest version of design software and/or current edition of design manual.  
Implementation Year: 2015.
- 11. Traffic conditions for analysis:
- Existing analysis   x  yes   no - year (2011);
  - Project completion year without proposed development (yr. 2015);
  - Project completion year with proposed development (yr. 2015).  
2005 and 2011 plan
- 12. Background traffic growth.  
Method: use 5-year historical growth based on standard data from the MRCOG Traffic Flow Maps (2005 to 2010 w/5 years of standard data). If not available, use 5-year historical growth based upon MRCOG Traffic Flow Maps. Minimum growth rate to be used is 1/2%.
- 13. Planned (programmed) traffic improvements.  
List planned CIP improvements in study area and projected project implementation year: none.

Andalucia, Tract 6 (Montano/Coors)

- ☐ 14. Items to be included in the study:
- a. Intersection analysis (includes queuing requirements and auxiliary lane analysis where applicable).
  - b. Recommended street, intersection and signal improvements.
  - c. Site design features such as turning lanes, median cuts, queuing requirements and site circulation, including driveway signalization and visibility.
  - d. Transportation system impacts.
  - e. Other mitigating measures.
- ☐ 15. Number of copies of report required 2  
Executive Summary Required     yes   x\_no  
(12 copies if required)
- ☐ 16. Other:

The Traffic Impact Study for the Andalucia, Tract 6 (Montano/Coors) proposal shall be performed in accordance with the above criteria. If there are any questions regarding the above items, please contact me at 924-3934.

  
\_\_\_\_\_  
Tony Loyd  
For Transportation Development Section

11-7-11  
Date (returned to work)

cc: TIS Task Force Attendees  
file

# Montaño Rd.

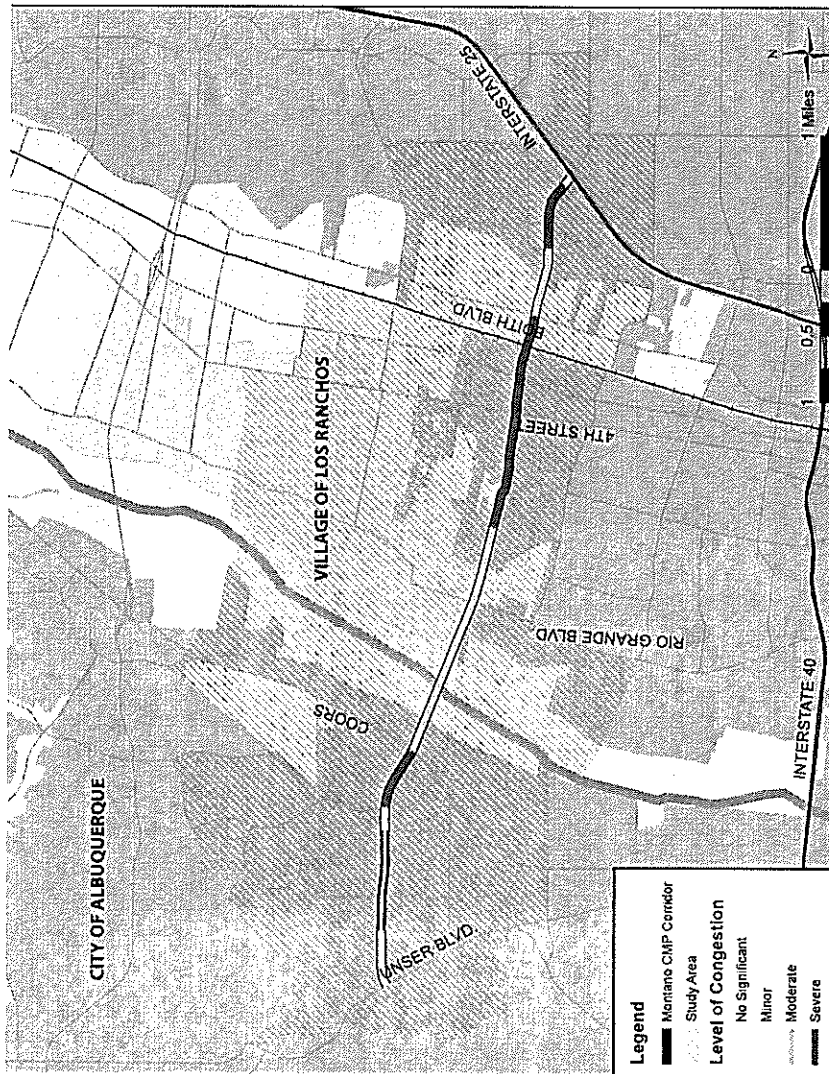
#2

## Profile & Statistics

Corridor Profile			
Study Area	16.24 Sq. Miles		
Length	6.33 Miles		
Functional Class	Principal Arterial		
Access Control	Limited access: Coors to Griegos Drain		
Lanes	4 - 6 lanes		
Total Capacity	3200-4800 vehicles/hour		
Intelligent Transportation Systems	Designated corridor: Yes		
	ITS deployment: Yes - F, CCTV, DMS, VDS		
Transit	ABQ Ride : Route 157 (local)		
Bicycle Facilities	Lanes: Entire corridor		
Summary Data			
Daily Volume	13,000 - 47,000		
Average Speed (PM East)	12 - 46 mph		
Average Speed (PM West)	12 - 45 mph		
Total Delay (PM East)	111 seconds (18 sec./mile)		
Total Delay (PM West)	197 seconds (31 sec./mile)		
Demographic Trends			
Measure	2000	2008	2035
Population	38,947	42,165	43,512
Employment	17,858	19,065	23,625
Corridor Ranks			
Volume/Capacity Ratio	4 / 30		
Speed Differential	8 / 30		
Crash Rates	8 / 30		
Overall Rank	2 / 30		

## Transit Characteristics

- ABQ Ride operates two routes along Montaño (157 and 162) and several commuter routes which intersect Montaño.
- Route 157 provides service between Kirtland AFB and the Northwest Transit Center and passes along Montaño between Golf Course and I-25.
- Route 162 provides commuter service between CNM West in Rio Rancho and Coors/Montaño and passes along Montaño between Unser and Coors



## Corridor Notes

- Montaño is an east-west principal arterial in the City of Albuquerque. Montaño provides access from the region's Westside to the I-25 corridor and is one of nine river crossings in the AMPA.
- The CMP corridor runs between Unser and I-25.
- Predominant movement along Montaño is eastbound in the AM and westbound in the PM.
- Congestion is most severe west of I-25 and between Rancho Caballero and Edith.
- Montaño experiences high volume-to-capacity ratios and speeds below posted limits across the stretch between Coors and I-25.
- The highest volume segment of Montaño is west of I-25 (47,000 daily vehicles).
- Crash rates along the corridor are 33% above the regional average. Intersections at 4th St. and Coors have rates more than three times the regional average.
- Projected growth in the study area is mostly in the form of additional employment. However, future growth across the Westside may result in additional traffic along Montaño.

from MRCOG-Commenc

## Profile & Statistics

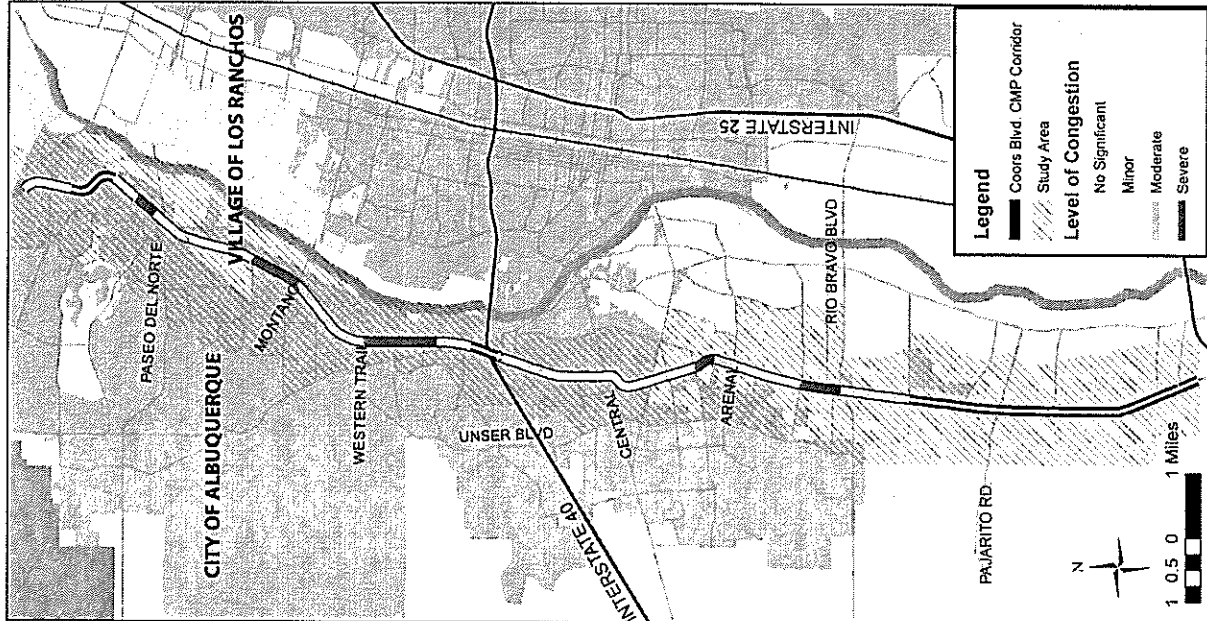
Corridor Profile			
Study Area	32.5 Sq. Miles		
Length	19.63 Miles		
Functional Class	Principal Arterial		
Access Control	Limited Access: Rio Bravo to Coors Bypass		
Lanes	4 - 7 lanes		
Total Capacity	Majority of corridor is 6 lanes		
Intelligent Transportation	3200-5600 vehicles/hour		
Systems	Designated corridor: Yes		
Transit	ITS deployment: Yes - PF, CCTV, DMS, VDS		
Bicycle Facilities	ABQ Ride : 790 (Rapid Ride Blue), 155 (local) Northwest Transit Center at Coors/Ellison		
	Lanes: South of Sage to Central Lanes: Ladera to Paseo del Norte		
Summary Data			
Daily Volume	5,000 - 80,500		
Average Speed (PM North)	19 - 56 mph		
Average Speed (PM South)	19 - 59 mph		
Total Delay (PM North)	404 seconds (21 sec./mile)		
Total Delay (PM South)	529 seconds (27 sec./mile)		
Demographic Trends			
Measure	2000	2008	2035
Population	78,171	95,142	108,417
Employment	20,892	30,467	42,619
Corridor Ranks			
Volume/Capacity Ratio	14 / 30		
Speed Differential	12 / 30		
Crash Rates	2 / 30		
Overall Rank	8 / 30		

### Corridor Notes

- Coors Blvd is the primary north-south facility in the AMPA west of the Rio Grande.
- The Coors CMP corridor extends nearly 20 miles from I-25 to NM 528. The corridor covers parts of unincorporated Bernalillo County and the City of Albuquerque, and provides access to the City of Rio Rancho (via NM 528).
- The most severe congestion occurs between I-40 and the Coors Bypass. There is very little congestion south of Rio Bravo Blvd.
- Congestion is tied to overall slow speeds across the corridor and particularly high volumes during the peak periods between Montano and Paseo del Norte.
- Sections of Coors at Paseo del Norte and I-40 have daily volumes of more than 60,000 and 80,000 respectively.
- Crash rates across the corridor are significantly above the regional average and a major source of non-recurring congestion. The intersections at Central and Paseo del Norte both have crash rates more than four times the regional average.
- A considerable amount of infill development is projected along corridor with more than 13,000 new residents and 12,000 jobs apiece by 2035.

### Transit Characteristics

- ABQ Ride operates two routes along Coors Blvd (additional commuter routes run along small portions of northern Coors).
- The Rapid Ride Blue Line (Route 790) originates at the Northwest Transit Center and runs south on Coors to I-40 before connecting to Downtown and the University of New Mexico. Ridership on the Blue Line surpasses 2,000 on weekdays while UNM is in session. The vast majority of Blue Line riders board at the Northwest Transit Center or at Cottonwood mall and travel to UNM. Route 155 provides north-south local service along the Coors CMP corridor between Rio Bravo and Ellison and averaged more than 1,100 riders per weekday in April 2011.
- The Northwest Transit Center at Coors and Ellison is a major regional transit facility. A total of nine routes, four of which are commuter, operate out of the facility.



from MRCOG  
(commen





Richard J. Berry  
Mayor

City of Albuquerque  
ABQ RIDE  
100 First Street  
Albuquerque, New Mexico 87102  
505.724.3100



Bruce Rizzieri  
Director

January 6, 2012

Ms. Catalina Lehner, Senior Planner  
City of Albuquerque  
Planning Department  
P.O. Box 1293  
Albuquerque NM 87103

*By electronic facsimile*

Re: Project #1003859  
Walmart at Coors and Montano  
Amended Comments

Ms. Lehner:

The Department wishes to expand on the original comments submitted to you for the December 8, 2011 hearing.

We have been in contact with the applicant's agent for several months, and during that time we discussed many theoretical ideas, including moving the existing bus stop on Montano, the creation of a Rapid Ride-sized stop (in anticipation of future traffic across the river) and even the possibility of an on-site park-and-ride on the Montano frontage. The application as actually submitted is somewhat smaller in scope, rendering many issues related to the Montano frontage moot, but allowing us opportunity to comment more precisely regarding Coors Boulevard.

With regard to the Amended Site Plan for Subdivision (SPS): The Department has no objection to the increase in the proposed number of lots. However: Nowhere on the two sheets of the Amended SPS does it state that the requirements of the original SPS (signed and dated by the DRB chair on June 22, 2005) consisting of three sheets of administrative and design guidelines is to be made part of the amended SPS. This is important to the Department in light of the "Transit Access" paragraph on page C-3, which makes an affirmative requirement for coordination of access and service with this Department at time of Site Plan for Building Permit.

With regard to the Site Plan for Building Permit (SPBP) itself:

As the SPBP request is now limited to the 11.5± acres of the Walmart site, the Department requests the applicant to include on the Coors frontage an 8 foot by 20 foot (8'x20') easement

Ms. Catalina Lehner  
January 6, 2012  
Project #1003859

for a "local" stop and shelter, behind the proposed six-foot sidewalk on Coors, centered approximately 90 feet (90') north of the north property line of Proposed Lot 2. *(We assume the meandering sidewalk will be placed in a public sidewalk easement.)* We would ask the applicant, at their cost, to construct the shelter pad, and construct and install a "Type C" standard transit shelter (including bench and trash receptacle) in accordance with the City's "Standard Specifications for Public Works Construction". Further, an ADA-compliant pedestrian connection on private land from the shelter location or the contiguous sidewalk to the southernmost "17 FT. Pedestrian Sidewalk" in the parking lot should be shown on the SPBP, and constructed.

The Department would also request that the applicant grant , concurrent with the approval of the SPBP, a "paper" easement, for a 10 foot by 40 foot (10'x40') "Rapid Ride" shelter easement on Montano Road, behind the right-of-way line, and centered on the proposed property line between Lot 11 and Lot 12. For the present the Department intends only to construct the pad in the easement and relocate the current Montano bus stop to this location. In future, when the applicant proposes a SPBP for proposed Lots 10, 11, or 12, the Department would wish to re-open the discussion of [1] providing the shelter [2] providing electrical power to the shelter pad and [3] developing a "shared park-and-ride" somewhere on the site.

Sincerely yours,

A handwritten signature in black ink, appearing to read 'Lawrence Kline', with a long horizontal flourish extending to the right.

(s) Lawrence Kline FAICP, Principal Planner ABQ Ride

Cc: Andrew De Garmo  
Shabih Rizvi



Richard J. Berry  
Mayor

City of Albuquerque  
ABQ RIDE  
100 First Street  
Albuquerque, New Mexico 87102  
505.724.3100



Bruce Rizzieri  
Director

#### MEMORANDUM

To: Ms. Catalina Lehner  
From: Lawrence Kline FAICP  
Re: Project #1003859 Walmart on Coors  
Date: December 6, 2012

Ms. Lehner:

Here are the more prosaic ramblings distilled into bullets for the Notice of Decision:

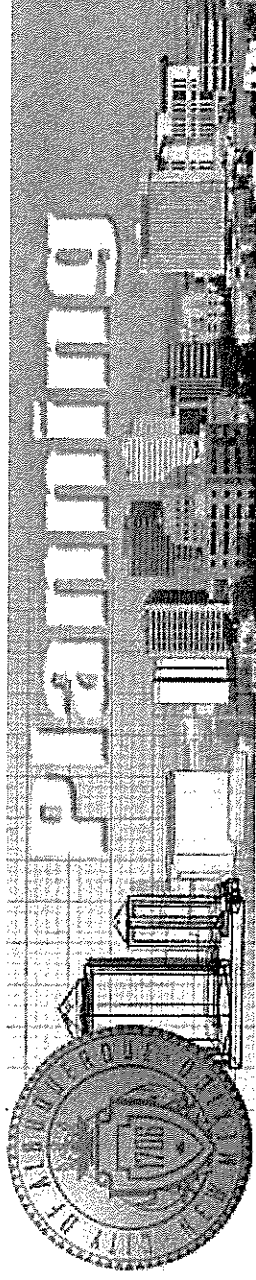
- The administrative and design requirements of the original Site Plan for Subdivision, dated June 22, 2005, shall have full force and effect in the Amended Site Plan for Subdivision.
- The applicant shall grant an 8 foot by 20 foot (8'x20') easement behind the proposed sidewalk on Coors Boulevard, centered approximately 90 feet (90') north of the north property line of Proposed Lot 2.
- The applicant shall install a shelter pad and Type C shelter within the shelter easement on Coors.
- The applicant shall construct an ADA-compliant path from the shelter or sidewalk to the southern-most 17' pedestrian path in the parking lot.
- The applicant shall grant a 10 foot by 40 foot (10'x40') shelter easement behind the current sidewalk on Montano, centered on the proposed property line between Lots 11 and 12. Construction needs in the easement on Montano will be determined when that frontage is developed.

*(Catalina: We note that the applicant did take the 10% transit line reduction, but did not take the 5% transit shelter reduction, and therefore, strictly speaking, we cannot require them to install shelters.)*

## CITY INFORMATION

## Albuquerque - Official City Website

### Planning Department



The Albuquerque Planning Department provides a full range of services from the processing of building permits to the development of long-range, regional plans and policies. The department also houses several quasi-judicial boards and commissions. The Department is comprised of several divisions, all of which are located in the Plaza del Sol Building, 600 Second Street NW. Business hours are **Monday - Friday, 8:00 a.m. to 5:00 p.m.** Our mailing address is P.O. Box 1293, Albuquerque, New Mexico 87103, **505-924-3860**.

### Notices

#### EPC Public Hearing to be held Thursday, January 19, 2012

At Mayor Richard J. Berry's request - the EPC Hearing for the proposed Wal-Mart Store at Coors Boulevard NW and Montano Road NW **was deferred from Thursday, January 5, 2012 to Thursday, January 19, 2012, beginning at 3 p.m.**

The EPC Hearing will be held in the **San Miguel Room, Upper East Level at the Albuquerque Convention Center, 401 Second Street NW, Albuquerque, New Mexico.**





**PARKING:** Parking is available at the **East Albuquerque Convention Center Parking Structure** or the **Underground Parking Structure at One Civic Plaza**. **The City will not validate parking.** Parking is also available at paid private parking structures and meters.

The Planning Department Staff Reports regarding the Wal-Mart Project will be available on-line at <http://www.cabq.gov/planning/epc/epcagenda.html> on **Thursday, January 12, 2012**.

Paper copies of the staff report will also be available at the **Plaza Del Sol Building, Planning Department, 600 Second NW, Third Floor**.

For more information contact Catalina Lehner at [clehner@cabq.gov](mailto:clehner@cabq.gov).

**Project #1003859 - Proposed Site Development Plan (Updated 12-23-11)**  [pdf, 20.3MB] for **Large Retail Facility (LRF)** at Coors Boulevard NW and Montano Road NW.

- » **Scope of Traffic Impact Study (TIS)**  [pdf, 32.9KB]
- » **TIS update**  [pdf 8.08MB]
- » **Traffic Engineer Comments regarding original TIS Update**  [pdf, 44.0MB]
- » **TIS Update revision in response to Traffic Engineer comments**  [pdf, 24.2MB]

**Note:** The complete file is available for viewing at the Planning Department, Plaza del Sol Building, 600 Second Street NW, Albuquerque, New Mexico, 3rd floor.

For more information on this proposed project, please contact co-Staff Planners **Carmen Marrone**, **505-924-3814** or **Catalina Lehner**, **505-924-3935**.

## Project #1008887/11EPC-40051

**The Albuquerque Bikeways and Trails Master Plan, 2011 Update** has been withdrawn to allow additional time to finalize the Plan. is a Rank II facility plan that describes the bikeway system serving Albuquerque and contains a list of proposed projects.

This plan combines the City's two previous planning documents – the Trails and Bikeways Facility Plan and the On-Street Bicycle Plan – into one resource. Combining these plans will help the City better manage the growth of the bikeway and multi-use trail system. The overarching purpose is to ensure a well-connected, enjoyable and safe non-motorized transportation and recreation system throughout the metropolitan area. The plan includes design guidelines for both on-street bicycle facilities and multi-use trails. Key recommendations address education and outreach, closing gaps in the system, maintenance, and wayfinding. There is also a detailed list of projects to improve the bicycle system and individual facilities.

If you have questions concerning the proposed Plan update, please email **Carrie Barkhurst**, Planner, or call her at **505-924-3879** for more information.

## Get Your House In Order

Do you have more than one house, a guesthouse or apartment on your property? If so, do you know that it might be illegal? You need to make sure all the homes on your property are allowed to remain.

The Zoning Code, which regulates all land use within the City of Albuquerque, was first adopted on March 27, 1959. Adoption of

**Lehner, Catalina L.**

---

**From:** Winklepleck, Stephani I.

**Sent:** Tuesday, December 13, 2011 11:14 AM

**Subject:** Project #1003859/11EPC-40067 & 11EPC-40068 & 04EPC-01845 - Tierra West, LLC for Silver Leaf Ventures LLC

**Importance:** High

Greetings to All:

I was asked by Ms. Marrone to please send the following notice to all affected parties regarding the proposed Wal-Mart at Coors Boulevard NW and Montano Road NW.

Stephani Winklepleck, ONC

\*\*\*\*\*

At Mayor Richard J. Berry's request - the EPC Hearing for the proposed Wal-Mart Store at Coors Boulevard NW and Montano Road NW **has been deferred from Thursday, January 5, 2012 to Thursday, January 19, 2012, beginning at 3 p.m.**

The EPC Hearing will be held in the **San Miguel Room, Upper East Level** at the **Albuquerque Convention Center, 401 Second Street NW, Albuquerque, New Mexico.**

**PARKING:** Parking is available at the **East Albuquerque Convention Center Parking Structure** or the **Underground Parking Structure at One Civic Plaza.**

**The City will not validate parking.**

Parking is also available at paid private parking structures and meters.

The Planning Department Staff Reports regarding the Wal-Mart Project will be available on-line at <http://www.cabq.gov/planning/epc/epcagenda.html> on **Thursday, January 12, 2012.**

Paper copies of the staff report will also be available at the **Plaza Del Sol Building, Planning Department, 600 Second Street NW, Third Floor.**

For more information contact Catalina Lehner at [clehner@cabq.gov](mailto:clehner@cabq.gov).

*Carmen Marrone, Manager  
Current Planning Section  
Urban Design & Development Division  
Planning Department*

## Carruthers, Madeline

---

**From:** Conrad, Matt A.  
**Sent:** Friday, December 09, 2011 4:09 PM  
**To:** Carruthers, Madeline  
**Subject:** Fw: Coors and Montano Deferral

Here you go.

---

**From:** Ron Bohannon <rrb@tierrawestllc.com>  
**To:** Conrad, Matt A.; Marrone, Carmen M.  
**Cc:** michelle@mhenrie.com <michelle@mhenrie.com>  
**Sent:** Fri Dec 09 15:55:38 2011  
**Subject:** Coors and Montano Deferral

Carmen and Matt we have reviewed your request and my client has agreed to the deferral of the hearing to Jan 19<sup>th</sup>. We would propose the hearing to start at 3 pm in the afternoon. That time will allow all of the presentations and public comment period in one meeting. If the meeting starts later the hearing may go late into the evening. Please let us know when you can the final details when you can.

Call if there are any questions.

Ronald R. Bohannon, P.E.  
President  
Tierra West LLC (WOBE)  
5571 Midway Park Place  
Albuquerque, NM 87109  
505-858-3100 ext 203  
800-245-3102  
www.tierrawestllc.com



# CITY OF ALBUQUERQUE

## *Planning Department*

Deborah L. Stover, Director  
600 2<sup>nd</sup> Street NW – 3<sup>rd</sup> Floor  
Albuquerque, NM 87102



Richard J. Berry, Mayor

December 8, 2012

Ronald R. Bohannon, P.E.  
Tierra West LLC  
5571 Midway Park Place NE  
Albuquerque NM 87109

RE: Project #1003859

Dear Mr. Bohannon,

Please accept this as a formal request by the Planning Department, on behalf of Mayor Berry, for your consideration and acceptance of a rescheduling of the Environmental Planning Commission (EPC) hearing for the site development plan submittals for the site at Montano and Coors Boulevards until January 19, 2012 at 5:00 pm.

PO Box 1293

Several neighborhood groups have expressed the concern that the currently scheduled hearing date of January 5, 2012 may be too close to the end of the Holiday Season and is during the first week that schools restart after their break. These two additional weeks may allow for better public participation in the development review process, which could benefit the applicant, the public, and the process.

Albuquerque

NM 87103

Please respond by the morning of Friday December 9, 2012, as the legal advertisement will have to be altered in the event of a positive response from you and your client.

Thank you for your careful and thoughtful consideration of this request.

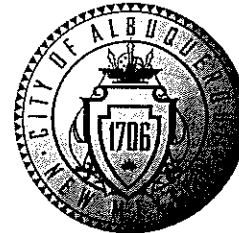
[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Matthew Conrad  
Acting Planning Director

cc: Richard J. Berry, Mayor

# CITY OF ALBUQUERQUE



Mr. Ron Bohannon, P.E.  
Tierra West LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**RE: Project No. 1003859**

November 10, 2011

Dear Mr. Bohannon:

The City of Albuquerque Planning Department has reviewed your application for a Site Development Plan for Subdivision and Site Development Plan for Building Permit in the North Andalucia @ La Luz Subdivision, Project #1003859. On the day the application was submitted, 10/27/11, it lacked an updated Traffic Impact Study (TIS) and a View Analysis, as required by the *Coors Corridor Plan*, a Rank 3 Sector Development Plan. The updated TIS was submitted on Monday, November 7 and is under preliminary review by our Transportation Staff.

Several members of the public have requested copies of the updated TIS and a View Analysis demonstrating compliance with the View Regulations of the *Coors Corridor Plan*. The Planning Department intends to provide copies of the TIS to the public early next week. However, we are still lacking the View Analysis. City staff cannot complete their review of the application without the View Analysis and the public needs sufficient time to review and comment on the TIS and the View Analysis in time for the December 8, 2011 EPC Hearing.

Under the EPC Rules of Conduct, Section B.11, "All written materials including petitions, legal analysis, and other documents should be submitted to the Planning Department at least 10 days prior to the EPC hearing, in time for full consideration by staff and presentation to the EPC at its Study Session." The EPC Study Session is scheduled for December 1. Under the best circumstances, if the updated TIS and the View Analysis are available to the public by the middle of next week, the public would have two weeks, at best, to review, analyze, and comment on the information in order to comply with EPC Rule B.11. Given the complexities of the application, two weeks may not be enough time for the public and Planning Staff to perform a thorough analysis on the late information and may raise issues of the public's due process.

In order to provide adequate time for review and analysis of the updated TIS and the not-yet-available View Analysis, the Planning Department is requesting a 4-week deferral of this request to January 5, 2012, at a Special EPC Hearing. We feel the additional time will allow a thorough understanding of the critical information that has not yet been made public.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

I hope you understand our concern and will agree with a 4-week deferral of this matter which will mean that the case will not be discussed at the December 8 EPC hearing. If you have any questions regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in cursive script, appearing to read "C. Marrone".

Carmen Marrone, Manager  
Current Planning Section  
Urban Design & Development Division  
City of Albuquerque, Planning Department

cc:

Catalina Lehner, Senior Planner  
Anita Miller, Assistant City Attorney

## NOTIFICATION



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

October 26, 2011

Cynthia Abeyta  
Tierra West, LLC  
5571 Midway Park Place NE/87109  
Phone: 505-858-3100/Fax: 505-858-1118  
E-Mail: [cabeyta@tierrawestllc.com](mailto:cabeyta@tierrawestllc.com)

Dear Cynthia:

Thank you for your inquiry of October 26, 2011 requesting the names of **ALL Neighborhood and/or Homeowner Associations and Coalitions** who would be affected under the provisions of O-92 by your proposed project at **(EPC SUBMITTAL) – TRACT 1B-1, PARADISE HILLS NORTH, LOCATED ON GOLF COURSE ROAD NW BETWEEN McMAHON BOULEVARD NW AND IRVING BOULEVARD NW** zone map **A-12.**

Our records indicate that the **Neighborhood and/or Homeowner Associations and Coalitions** affected by this proposal and the contact names are as follows:

**SEE "ATTACHMENT A" FOR NAMES OF NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS AND COALITIONS TO CONTACT FOR THIS (EPC SUBMITTAL) – swinklepleck – 10-26-11.**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,  
*Stephani Winklepleck*  
Stephani Winklepleck  
Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**PLEASE NOTE:** The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH  
CONTACTS OF EACH  
NEIGHBORHOOD AND/OR  
HOMEOWNER ASSOCIATION.**



# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ☒ **ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- ☐ The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- ☒ **Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- ☒ **Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*

(below this line for ONC use only)

Date of Inquiry: 10/26/11 Time Entered: 8:35 a.m. ONC Rep. Initials: siw

# **“ATTACHMENT A”**

Cynthia Abeyta  
Tierra West, LLC  
5571 Midway Park Place NE/87109  
Phone: 505-858-3100/Fax: 505-858-1118  
E-Mail: [cabeyta@tierrawestllc.com](mailto:cabeyta@tierrawestllc.com)  
Zone Map: E-12

## **LA LUZ DEL SOL N.A. (LDS) “R”**

### **\*Suzanne Fetsco**

23 Wind NW/87120 831-6622 (h)  
Art Woods  
33 Wind Rd. NW/87120 890-8664 (h)

## **LA LUZ LANDOWNERS ASSOC. (LUZ) “R”**

### **\*Heather Badal**

4 Tennis Ct. NW/87120 881-7892 (h)  
Rae Perls  
15 Tennis Ct. NW/87120 898-8833 (h)

## **TAYLOR RANCH N.A. (TRN) “R”**

### **\*David Waters**

5601 La Colonia Dr. NW/87120 897-5771 (h)  
Rene Horvath  
5515 Palomino Dr. NW/87120 898-2114 (h)

## **RIO OESTE H.O.A. (ROH)**

### **\*Eric Speck**

4104 Zarzuela NW/87120 508-0031 (h) 214-755-3455 (w)  
Sandra Tinlin  
4105 Moncloa Ct. NW/87120 980-1526 (c)

## **\* ANDALUCIA H.O.A., INC. (AND)**

Ann Prinz  
4611 Mijas Dr. NW/87120 352-0625 (h)  
Kahleetah Clarke  
2823 Richmond Dr. NE/87107 266-0000 (o)

## **NORTHWEST ALLIANCE OF NEIGHBORS**

**\*Dan Serrano**, 4409 Atherton Way NW/87120 249-7994 (c)

## **WESTSIDE COALITION OF N.A.'S**

**\*Gerald C. Worrall**, 1039 Pinatubo Pl. NW/87120 839-0893 (h)  
Candy Patterson, 7608 Elderwood NW/87120 321-1761 (c)

**\* denotes president of association**

5571 Midway Park Place NE Albuquerque, NM 87109  
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com

# TIERRA WEST, LLC

October 27, 2011

Heather Badal  
La Luz Landowners Assoc.  
4 Tennis Ct. NW  
Albuquerque, NM 87120

**RE: Lots 1, 2 & 3  
North Andalucia @ La Luz  
Project # 1002484  
Zone Atlas Page C-18**

Dear Heather:

The purpose of this letter is to inform you and the members of the La Luz Landowners Association that Tierra West, LLC has submitted a request for an Amended Site Development Plan for Subdivision and Site Development Plan for Building Permit to the Environment Planning Commission (EPC) for Lots 1, 2 & 3, North Andalucia @ La Luz. The site is 23.9 acres and located at the southeast corner of Coors Boulevard and Montano Road.

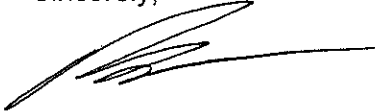
The Amended Site Development Plan for subdivision proposes the creation of twelve lots (see enclosed Amended Site Development Plan for Subdivision). All three lots are currently zoned SU-1 for C-2, O-1 and PRD (20 du per acre) are proposed to contain smaller retail, restaurant, and service uses consistent with the C-2 and O-1 zones.

The Site Development Plan for Building Permit covers Lot 1 of the subject site and is comprised of 11.47 acres. The proposal is for a Walmart store that will serve as the major anchor of the proposed center. The architectural style proposed is consistent with the approved Designed Standards established for North Andalucia @ La Luz. The buildings are designed with stucco surfaces, stacked stone wainscot and interesting changes in wall planes. Shaded outdoor seating areas are provided adjacent to the Walmart store.



The EPC hearing for this application will be held on December 8, 2011 at 8:30 AM, located at the Plaza Del Sol Building, 600 2<sup>nd</sup> Street NW. Please feel free to call me at 858-3100 to schedule a meeting on this proposal.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ronald R. Bohannon', with a long horizontal stroke extending to the right.

Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2011001  
RRB/jg/kdk

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15 Tennis Ct. NW  
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Albuquerque, NM 87120

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4105 Moncloa Ct. NW  
Albuquerque, NM 87120

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Sent To Suzanne Fetsco  
Street, Apt. No., or PO Box No. La Luz Del Sol N.A.  
City, State, ZIP+4 23 Wind Rd. NW  
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Albuquerque, NM 87120

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Street, Apt. No., or PO Box No. Andalucia H.O.A., Inc.  
City, State, ZIP+4 2823 Richmond Dr. NE  
Albuquerque, NM 87120 87107

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Street, Apt. No., or PO Box No. Taylor Ranch N.A.  
City, State, ZIP+4 5601 La Colonia Dr. NW  
Albuquerque, NM 87120

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Street, Apt. No., or PO Box No. NW Alliance of Neighbors  
City, State, ZIP+4 4409 Atherton Way NW  
Albuquerque, NM 87120

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Street, Apt. No., or PO Box No. Westside Coalition of N.A.'s  
City, State, ZIP+4 1039 Pinatubo Pl. NW  
Albuquerque, NM 87120

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Street, Apt. No., or PO Box No.	Andalucia H.O.A., Inc. 4611 Mijas Dr. NW
City, State, ZIP+4	Albuquerque, NM 87120

PS Form 3800, August 2006

See Reverse for Instructions



gaw

# TIERRA WEST, LLC

December 27, 2011

Gerald Worrall  
Westside Coalition of N.A.'s  
1039 Pinataubo Pl. NW  
Albuquerque, NM 87120

**RE: Lots 1, 2 & 3  
North Andalusia @ La Luz  
Project # 1003859  
Zone Atlas Page C-18**

Dear Gerald:

As a result of facilitated meetings and discussions with Planning Staff, Tierra West, LLC has made several revisions to the plans for North Andalusia @ La Luz. These revisions include: eliminating a truck access point from Learning Road (across from the Bosque School); modifying parking fields on all sides of the building; providing additional clarification in response to Staff's initial review; adding more details or clarification notes throughout the plans; modifying the front building elevations and pedestrian areas; and clarifying the view plane cross section locations and elevations.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2011001  
RRB/jg/kdk

7010 2780 0003 2259 8161

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 4104 Zarzuela NW  
 Albuquerque, NM 87120

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 2823 Richmond Dr. NE  
 Albuquerque, NM 87107

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Sent To: Art Woods  
 La Luz Del Sol N.A.  
 33 Wind Rd. NW  
 Albuquerque, NM 87120

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7010 2780 0003 2261 0009

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 Westside Coalition of N.A.'s  
 7608 Elderwood NW  
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Sent To: Heather Badal  
 La Luz Landowners Assoc.  
 4 Tennis Ct. NW  
 Albuquerque, NM 87120

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7010 2780 0003 2259 8727

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 La Luz Landowners Assoc.  
 15 Tennis Ct. NW  
 Albuquerque, NM 87120

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7010 2780 0003 2259 8178

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Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 10.35	

Sent To: Rene Horvath  
 Street, Apt. No., or PO Box No.: Taylor Ranch N.A.  
 City, State, ZIP+4: 5515 Palomino Dr. NW  
 Albuquerque, NM 87120


PS Form 3800, August 2006 See Reverse for Instructions

7010 2780 0003 2259 8710

U.S. Postal Service<sup>TM</sup>  
**CERTIFIED MAIL<sup>TM</sup> RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$ 5.20	
Certified Fee	2.85	
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 10.35	

Sent To: David Warrone  
 Street, Apt. No., or PO Box No.: Taylor Ranch N.A.  
 City, State, ZIP+4: 5601 La Colonia Dr. NW  
 Albuquerque, NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

7010 2780 0003 2259 8154

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For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$ 5.20	
Certified Fee	2.85	
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 10.35	

Sent To: Sandra Tinlin  
 Street, Apt. No., or PO Box No.: Rio Oeste H.O.A.  
 City, State, ZIP+4: 4105 Moncloa Ct. NW  
 Albuquerque, NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

7010 2780 0003 2259 8123

U.S. Postal Service<sup>TM</sup>  
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**OFFICIAL USE**

Postage	\$ 5.20	
Certified Fee	2.85	
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 10.35	

Sent To: David Serrano  
 Street, Apt. No., or PO Box No.: Northside Alliance of Neighbors  
 City, State, ZIP+4: 4409 Atherton Way NW  
 Albuquerque, NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

7010 2780 0003 2259 8116

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For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$ 5.20	
Certified Fee	2.85	
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 10.35	

Sent To: Gerald C. Worrall  
 Street, Apt. No., or PO Box No.: Westside Coalition of N.A.'s  
 City, State, ZIP+4: 1039 Pinatubo Pl. NW  
 Albuquerque, NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

7010 2780 0003 2259 8147

U.S. Postal Service<sup>TM</sup>  
**CERTIFIED MAIL<sup>TM</sup> RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$ 5.20	
Certified Fee	2.85	
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 10.35	

Sent To: Andalucia H.O.A.  
 Street, Apt. No., or PO Box No.: 4611 Mijas Dr. NW  
 City, State, ZIP+4: Albuquerque, NM 87120

PS Form 3800, August 2006 See Reverse for Instructions



7010 2780 0003 2259 9007

U.S. Postal Service<sup>TM</sup>  
**CERTIFIED MAIL<sup>TM</sup> RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$	10.30
Certified Fee		2.85
Return Receipt Fee (Endorsement Required)		2.85
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	15.95

Sent To **Mr. Timothy V. Flynn-O'Brien**  
 Street, Apt. No., or PO Box No. **817 Gold Avenue SW**  
 City, State, ZIP+4 **Albuquerque, NM 87102-3014**

PS Form 3800, August 2005

See Reverse for Instructions



7010 2780 0003 2259 8758

U.S. Postal Service<sup>TM</sup>  
**CERTIFIED MAIL<sup>TM</sup> RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$	5.20
Certified Fee		2.85
Return Receipt Fee (Endorsement Required)		2.85
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	10.90

Sent To **Suzanne Fetsco**  
 Street, Apt. No., or PO Box No. **La Luz Del Sol N.A.**  
 City, State, ZIP+4 **23 Wind NW Albuquerque, NM 87120**

PS Form 3800, August 2005

See Reverse for Instructions





**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** Thursday, January 19, 2012 **Project# 1003859**

**Zone Atlas Page:** E-12

**Notification Radius:** Neighborhood Associations  
100ft plus r.o.w


**Cross Reference and Location:** Coors Blvd Between Montano Rd. NW and Learning Rd.

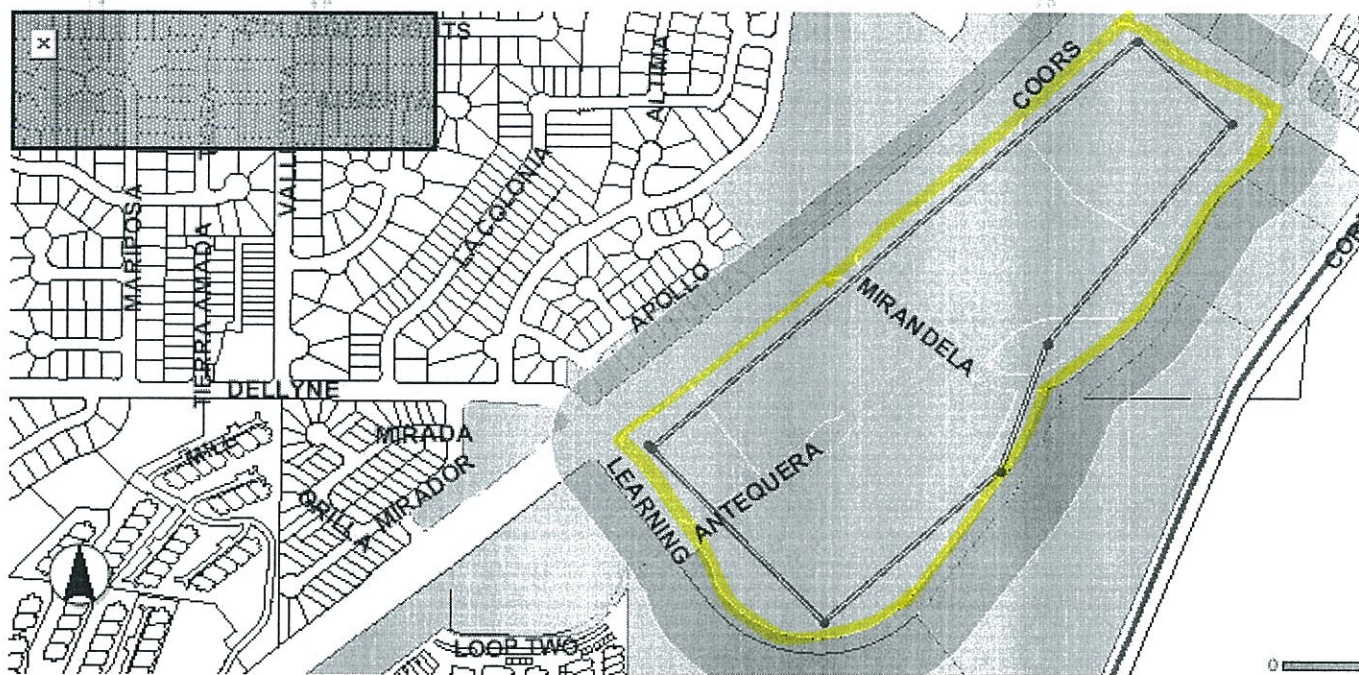
**Applicant:** Silver Leaf Ventures LLC  
5319 Menaul Blvd NE  
Albuquerque, NM 87110

**Agent:** Tierra West LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** 12-28-11  
**Signature:** 



KARA AZIM  
Or Current Occupant  
5336 APOLLO DR NW  
ALBUQUERQUE NM 87120

SPS INVESTMENTS LLC & COORS  
ROAD LAND INVESTMENTS LLC  
Or Current Occupant  
8300 CARMEL AVE NE SUITE 401  
ALBUQUERQUE NM 87122

BOSQUE SCHOOL  
Or Current Occupant  
4000 LEARNING RD  
ALBUQUERQUE NM 87120

GUZMAN DAVID L & MARIA E  
Or Current Occupant  
5300 APOLLO DR NW  
ALBUQUERQUE NM 87120

CORDOVA LOUIE  
Or Current Occupant  
5236 APOLLO DR NW  
ALBUQUERQUE NM 87120

SANCHEZ DEREK & FELIX ANDREA  
Or Current Occupant  
5320 APOLLO DR NW  
ALBUQUERQUE NM 87120

RAMOS CHARLES L  
Or Current Occupant  
1024 BADGER CT  
SANTA ROSA CA 95409

BOSQUE SCHOOL  
Or Current Occupant  
4000 LEARNING RD  
ALBUQUERQUE NM 87120

ARVIDSON DENISE LYNN & HICKS  
SHERYL MARLENE  
Or Current Occupant  
5324 APOLLO DR NW  
ALBUQUERQUE NM 87120

BOSQUE SCHOOL  
Or Current Occupant  
4000 LEARNING RD  
ALBUQUERQUE NM 87120

HALLE PROPERTIES LLC DEPT 1100  
NMA07  
Or Current Occupant  
20225 N SCOTTSDALE RD  
SCOTTSDALE AZ 85255

JPS LLC C/O MAESTAS & WARD  
PROP. MGMT.  
Or Current Occupant  
PO BOX 91090  
ALBUQUERQUE NM 87199

SILVER LEAF VENTURES LLC  
Or Current Occupant  
5319 MENAUL BLVD NE  
ALBUQUERQUE NM 87110

THELEN MELANIE  
Or Current Occupant  
3616 CALLE OVEJA CT NW  
ALBUQUERQUE NM 87120

SILVER LEAF VENTURES LLC  
Or Current Occupant  
5319 MENAUL BLVD NE  
ALBUQUERQUE NM 87110

WOLVERINE LAND COMPANY LLC  
Or Current Occupant  
8525 JEFFERSON NE  
ALBUQUERQUE NM 87113

DADIAN PATRICIA A  
Or Current Occupant  
5332 APOLLO DR NW  
ALBUQUERQUE NM 87120

MONTOYA BENITO O & PATRICK G  
PADILLA  
Or Current Occupant  
3615 CALLE OVEJA CT NW  
ALBUQUERQUE NM 87120

SAAVEDRA HENRY & CHARISSA  
Or Current Occupant  
5316 APOLLO DR NW  
ALBUQUERQUE NM 87120

JPS LLC  
Or Current Occupant  
7600 JEFFERSON NE  
ALBUQUERQUE NM 87109

SANDOVAL RUBEN & SHANNON  
Or Current Occupant  
10901 CARTAGENA AVE SW  
ALBUQUERQUE NM 87121

GARCIA JOHN & ROSE MARIE  
Or Current Occupant  
5304 APOLLO DR NW  
ALBUQUERQUE NM 87120

SILVER LEAF VENTURES LLC  
Or Current Occupant  
5319 MENAUL BLVD NE  
ALBUQUERQUE NM 87110

SISNEROS MANUEL E  
Or Current Occupant  
5228 APOLLO DR NW  
ALBUQUERQUE NM 87120

WRIGHT REAL ESTATE LLC  
Or Current Occupant  
4959 E RED ROCK DR  
PHOENIX AZ 85018

CAVALIER INVESTMENTS LLC  
Or Current Occupant  
PO BOX 35754  
ALBUQUERQUE NM 87176

GIL VIRGILIO S  
Or Current Occupant  
6506 CALLE REDONDA NW  
ALBUQUERQUE NM 87120

BLEA WALTER A & FLORA  
Or Current Occupant  
5308 APOLLO DR NW  
ALBUQUERQUE NM 87120

WRIGHT MICHAEL S & PAREO  
SHANNYN C  
Or Current Occupant  
5416 FAIR AVE APT 1122  
NORTH HOLLYWOOD CA 91601

BOSQUE MONTANO HOMEOWNERS  
ASSOCIATION INC C/O CAROL  
RICKERT & ASSOCIATES  
Or Current Occupant  
4121 EUBANK BLVD NE  
ALBUQUERQUE NM 87111

SILVER LEAF VENTURES LLC  
Or Current Occupant  
5319 MENAUL BLVD NE  
ALBUQUERQUE NM 87110

GONZALES JOHNNY MITCHELL  
Or Current Occupant  
1417 SAMOA WAY  
LAGUNA BEACH CA 92651

LA LUZ LANDOWNERS  
ASSOCIATION  
Or Current Occupant  
1 LOOP ONE NW A  
ALBUQUERQUE NM 87120

BROUGHTON RANDALL J  
Or Current Occupant  
5224 APOLLO DR NW  
ALBUQUERQUE NM 87120

BOSQUE SCHOOL  
Or Current Occupant  
4000 LEARNING RD  
ALBUQUERQUE NM 87120

CORDOVA ROGER S  
Or Current Occupant  
3609 CALLE OVEJA CT NW  
ALBUQUERQUE NM 87120

PEKNIK GEORGE & SABINA  
Or Current Occupant  
3612 CALLE OVEJA CT NW  
ALBUQUERQUE NM 87120

TAYLOR JOEL P ETUX ETAL TRUST %  
WELLS FARGO BNK NM N.A.  
Or Current Occupant  
PO BOX 1968  
ALBUQUERQUE NM 87103

CARLSON DENNIS L & SANDRA M  
Or Current Occupant  
5232 APOLLO DR NW  
ALBUQUERQUE NM 87120

AMERICAN REALPROP  
Or Current Occupant  
5601 TAYLOR RANCH DR NW  
ALBUQUERQUE NM 87120

SILVER LEAF VENTURES LLC  
Or Current Occupant  
5319 MENAUL BLVD NE  
ALBUQUERQUE NM 87110

SULEIMAN IMAN  
Or Current Occupant  
5328 APOLLO DR NW  
ALBUQUERQUE NM 87120

MARRIOTT JOHN T & MARRIOTT  
MARY M  
Or Current Occupant  
3602 CALLE OVEJA CT NW  
ALBUQUERQUE NM 87114

RAVER JOHN R  
Or Current Occupant  
5220 APOLLO DR NW  
ALBUQUERQUE NM 87120

Tierra West LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

Silver Leaf Ventures LLC  
5319 Menaul Blvd NE  
Albuquerque, NM 87110

Candy Patterson  
Westside Coalition of N.A.'s  
7608 Elderwood NW  
Albuquerque, NM 87120

Rae Perls  
La Luz Landowners Assoc.  
15 Tennis Ct. NW  
Albuquerque, NM 87120

Heather Badal  
La Luz Landowners Assoc.  
4 Tennis Ct. NW  
Albuquerque, NM 87120

Rene Horvath  
Taylor Ranch N.A.  
5515 Palomino Dr. NW  
Albuquerque, NM 87120

Eric Speck  
Rio Oeste N.A.  
4104 Zarzuela NW  
Albuquerque, 87120

Sandra Tinlin  
Rio Oeste N.A.  
4105 Moncloa Ct. NW  
Albuquerque, NM 87120

Suzanne Fetsco  
La Luz Del Sol N.A.  
23 Wind Rd. NW  
Albuquerque, NM 87120

Art Woods  
La Luz Del Sol N.A.  
33 Wind Rd NW  
Albuquerque, NM 87120

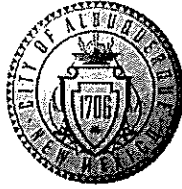
Kahleetah Clarke  
Andalucia H.O.A. Inc.  
2823 Richmond Dr. NE  
Albuquerque, NM 87107

David Waters  
Taylor Ranch N.A.  
5601 La Colonia Dr. NW  
Albuquerque, NM 87120

Dan Serrano  
NW Alliance of Neighbors  
4409 Atherton Way NW  
Albuquerque, NM 87120

Gerald C Worrall  
Westside Coalition of N.A.'s  
1039 Pinatubo Pl. NW  
Albuquerque, NM 87120

Ann Prinz  
Andalucia H.O.A Inc.  
4611 Mijas Dr. NW  
Albuquerque NM 87120



## NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission (EPC) will hold a **Public Hearing on Thursday, January 19, 2012 at 3:00 p.m.**, in the San Miguel Room, Upper East Level at the Albuquerque Convention Center, 401 Second Street NW, Albuquerque, NM to consider the items described below.

**PARKING:** Parking is available at the East Albuquerque Convention Center Parking Structure or the Underground Parking Structure at One Civic Plaza. The City **will not** validate parking. Parking is also available at paid private parking structures and paid meters.

The Planning Department staff reports regarding the following items will be available on **Thursday, January 12, 2012**, on-line at [cabq.gov/planning](http://cabq.gov/planning). Limited hard copies of the staff reports will also be available at the Planning Department, 600 Second Street NW, 3<sup>rd</sup> Floor, Albuquerque, NM.

**Project# 1003859**

11EPC-40067 Site Development Plan for Building Permit

11EPC-40068 Site Development Plan for Subdivision Amendment

Tierra West LLC, agent for Silver Leaf Ventures LLC, requests a site development plan for building permit for all or a portion of Tracts 1-3, North Andalucia at La Luz, zoned SU-1 for C-2, O-1 & PRD (20 du/ac), located on Coors Blvd. NW between Montano Rd. NW and Mirandela St., containing approximately 24 acres; and a site development plan for subdivision amendment for all or a portion of Tracts 1-6, North Andalucia at La Luz, zoned SU-1 for C-2, O-1 & PRD (20 du/ac), located on Coors Blvd. NW between Montano Rd. NW and Learning Rd., containing approximately 60 acres. (E-12) Carmen Marrone and Catalina Lehner, Staff Planners

**Project# 1003859**

04EPC-01845 Site Development Plan for Subdivision

Tierra West LLC, agent for Silver Leaf Ventures LLC, requests a five year extension of the life of a site development plan for subdivision for all or a portion of Tracts 1-9, North Andalucia at La Luz, zoned SU-1 for C-2, O-1 & PRD (20 du/ac), located on Coors Blvd. NW between Montano Rd. NW and Learning Rd., containing approximately 70 acres. (E-12) Carmen Marrone and Catalina Lehner, Staff Planners

Details of these applications may be examined at the Current Planning Division of the Planning Department, 3rd Level, Plaza Del Sol Building, 600 Second Street NW, between 8:00 a.m. and 5:00 p.m., Monday through Friday, or you may call 924-3860. **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at the public hearing should call 924-3860.

Doug Peterson, Chair  
Environmental Planning Commission

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL DECEMBER 28, 2011.**

APPROVED

Carmen Marrone, Manager  
Planning Department