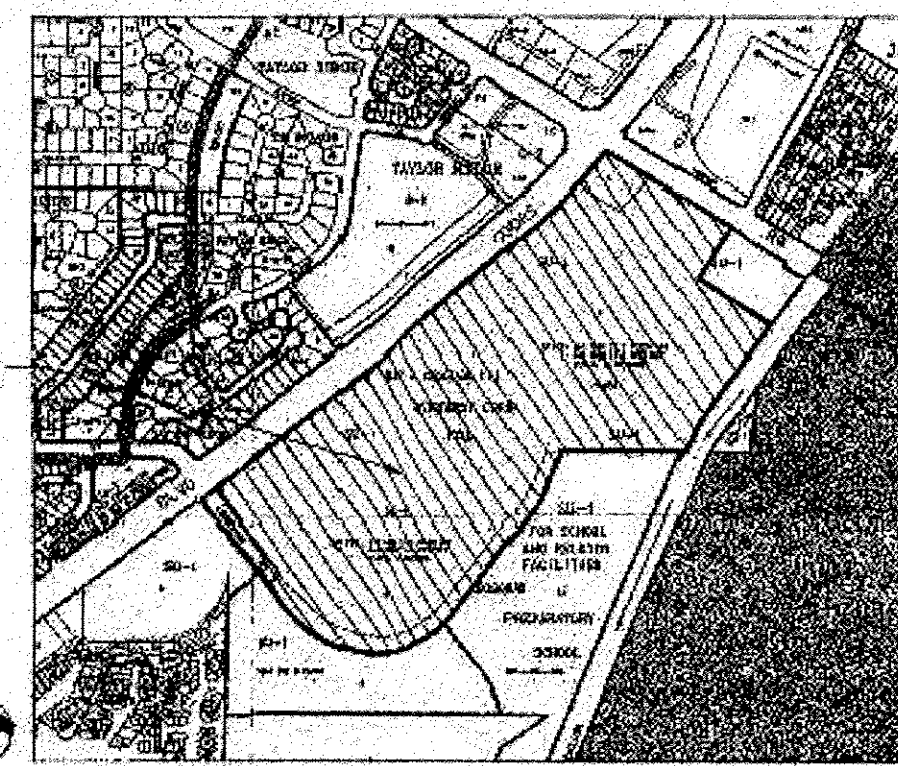


# SITE VICINITY



**PROJECT NUMBER: 1003859**  
**APPLICATION NUMBER:**  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 19, 2005, and the Findings and Conditions in the Official Notice of Decision are satisfied.  
 Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Environmental Health, if necessary	Date

**PROJECT NUMBER: 1003859**  
**APPLICATION NUMBER: 08EPC-40055**  
 Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

## GENERAL NOTES

- Tracts 6B and A (referred to on this Site Plan as Tracts 1-6), are part of a Site Plan for Subdivision approved by the Environmental Planning Commission on November 18, 2004 (Project 1000965 04EPC-00855). This Site Plan replaces the previous Site Plan for Subdivision as it relates to Tracts 6B and A.
- A portion of Learning Road at Coors Boulevard is public right-of-way. An additional portion of Learning Road within Tract 8 will be granted to the City of Albuquerque as a private access easement in order to provide access to the City's Lift Station #24. Tract 8, via a 24 foot limited access road with a 60 foot easement. The final portion of Learning Road will become part of Bosque School, Tract 4A.
- The area adjacent to Learning Road and the northern boundary of Bosque School, Lot 4A (a minimum of 300 feet) is restricted to PRD and O-1 Uses.
- Due to the existing Montano Pueblo Archaeological Site and the two smaller sites, future approvals for Site Development Plans for Building Permit on Tracts 6B and A shall require clearance and guidance from the State Historic Preservation Office.
- A cross access easement will be provided across Tracts 1, 2, and 3 (Now Tracts 1A-D, 2A-C & 3A).
- No fast food restaurants with drive through windows or gas stations are allowed at North Andalusia.
- When the future grade separation is constructed, access will no longer be allowed to Montano Road from Winterhaven, consistent with the Long Range Roadway System.
- The design for the sign and gate at Tract 7 and Mirandela Road shall be submitted with a Site Plan for Building Permit for development of Tract 7.

## SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

**THE SITE:**  
 The site consists of approximately 69.6 acres. Tracts 6B and A will be replatted into 9 Tracts through the Development Review Board as shown on this Site Plan.

**PROPOSED USE:**  
 The site is zoned SU-1 for C-2 (233 ac), O-1 (117 ac), and PRD (20 du/ac). The individual parcels are designated according to land use.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
**VEHICULAR ACCESS:** Learning Road provides the major signalized access into Andalusia at La Luz. Interior roads (at varying widths) are proposed to serve the project and provide vehicular ingress and egress to these parcels, to increase safety to existing development, and to be consistent with City policies contained in the Coors Corridor Plan (see Street Sections, on sheet 3). Two right-in/right-out access points onto Coors Boulevard are between Learning Road and Montano Road.

**BICYCLE AND TRAIL ACCESS:** Bicycle access is provided by 6 foot on-street bike lanes in Learning Road connecting to on-street bike lanes within Streets A and B providing a connection to Montano Road. Learning Road trail (a 10 foot trail within a 20 foot landscape easement), and a 10 foot trail within a 60 foot easement. Sidewalks will provide pedestrian connectivity throughout Andalusia.

**TRANSIT ACCESS:** Coordination with the City Transit Department shall be initiated at the Site Plan for Building Permit to provide access and service to this property. Coors Boulevard is a Enhanced Transit Corridor on the West Side.

**INTERNAL CIRCULATION REQUIREMENTS:**  
 Conceptual access points (at varying widths) have been identified on this Site Plan for each of the parcels final locations, width, and configuration shall be determined with future Site Plan for Building Permit with approval by the City Engineer. Internal sidewalks and/or trails shall be provided within each parcel with future Site Plans for Building Permit.

**BUILDING HEIGHTS AND SETBACKS:**  
 See Sheet 2 of 3 Design Standards. Building height shall be consistent with the Coors Corridor Plan (see Sheet 2).

**MAXIMUM FAR:**  
 A maximum floor area ratio (FAR) shall be .35 for the SU-1 for C-2 and SU-1 for O-1 portions of Tract 6B and Tract A.

**LANDSCAPE PLAN:**  
 The Design Standards (see Sheet 2 of 3) provide for preservation of significant cottonwoods, an emphasis on native and naturalized plant species, landscape criteria, and landscape buffers. Subsequent landscape plans shall be consistent with City standards and policies regarding water conservation and pollen.

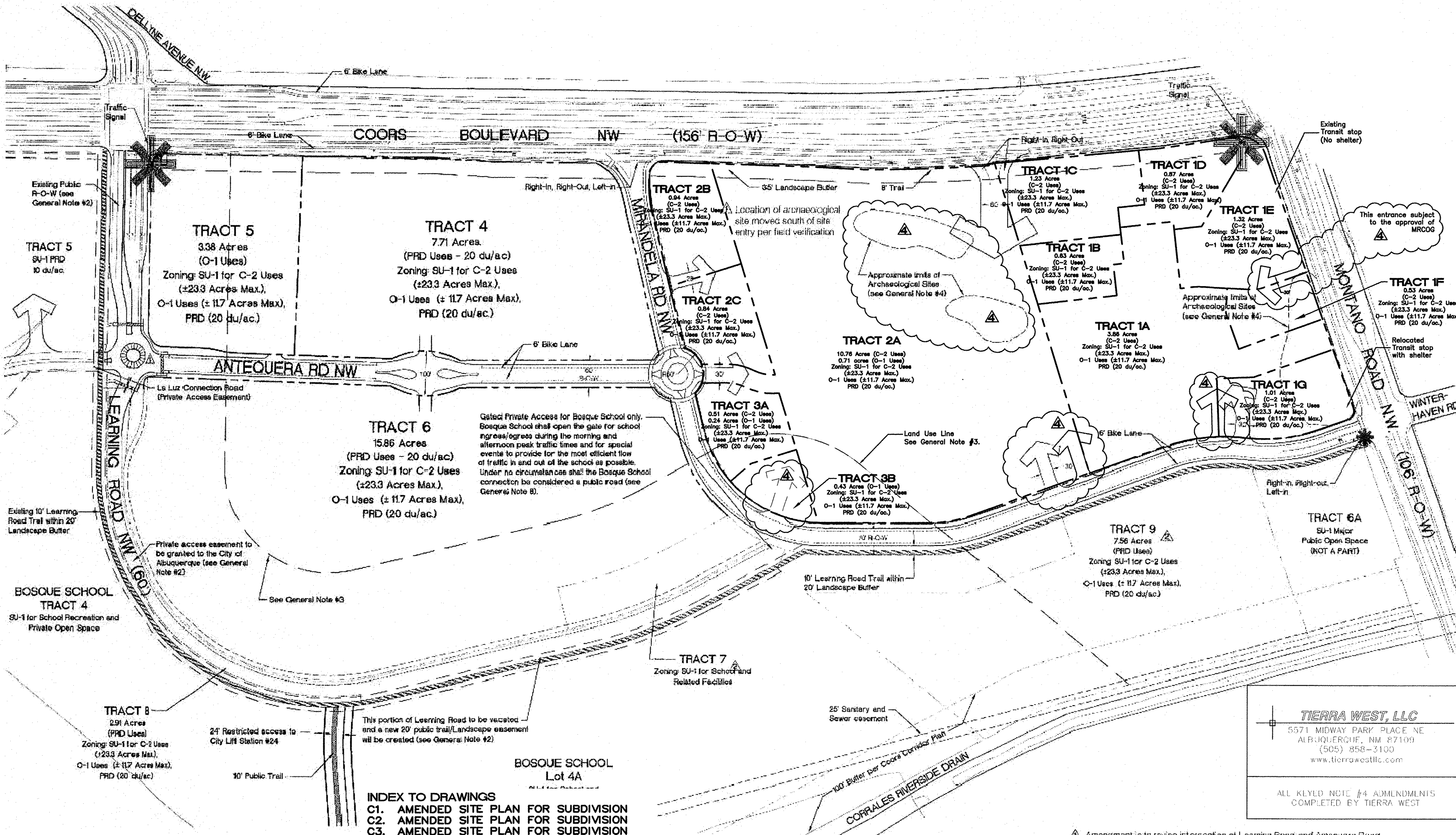
**PROJECT NUMBER: 1003859**  
**APPLICATION NUMBER: 04EPC 01845**

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 19, 2005 and the Findings and Conditions in the Official Notice of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date



- INDEX TO DRAWINGS**
- C1. AMENDED SITE PLAN FOR SUBDIVISION
  - C2. AMENDED SITE PLAN FOR SUBDIVISION
  - C3. AMENDED SITE PLAN FOR SUBDIVISION
  - C3A. CONCEPTUAL OVERALL SITE PLAN
  - C4. SITE PLAN FOR BUILDING PERMIT
  - C4A. ILLUSTRATIVE SITE PLAN
  - C5. VIEW PLANE EXHIBIT
  - C6. VIEW PLANE EXHIBIT
  - C7. LANDSCAPING PLAN
  - C8. LANDSCAPING PLAN
  - C9. LANDSCAPING PLAN
  - C10. CONCEPTUAL GRADING PLAN
  - C11. CONCEPTUAL MASTER UTILITY PLAN
  - C12. DETAIL SHEET
  - C13. DETAIL SHEET
  - C14. BUILDING DIMENSIONS
  - C15. BUILDING FLOOR PLAN
  - C16. BUILDING ELEVATIONS
  - C17. BUILDING SIGNAGE

This amendment request (11EPC-40067) is to replat Tracts 1, 2 and 3 as shown. Remove the access point near the private gated access off Mirandela Rd., shift the other two access points off Mirandela Rd. and allow for a right in/right out access off Montano Rd. If approved by MROOS. Remove the two archeological sites that were mitigated with the Data Recovery Plan for LA138927 & LA138928 approved by SHPO in June 2011 and completed in October 2011. This project will be constructed in two phases with Phase I consisting of Tract 2A.

Amendment is to revise intersection of Learning Road and Antequera Road into a round-a-bout and to accurately reflect the location of the archeological site per field verification.

Amendment is to remove Tracts 7, 8, & 9 from this Site Plan for Subdivision and consolidate those three Tracts into the Bosque School Site Development Plan for Subdivision, Project 1000901, 08EPC-40051.

**TIERRA WEST, LLC**  
 5571 MIDWAY PARK PLACE NE  
 ALBUQUERQUE, NM 87109  
 (505) 858-3100  
 www.tierrawestllc.com  
 ALL KLYED NOTE #4 AMENDMENTS COMPLETED BY TIERRA WEST

**North Andalusia at La Luz**  
 Site Plan for Subdivision  
 Tract 6B and A  
 Prepared for: Silver Leaf Ventures, LLC.

**CONSENSUS PLANNING, INC.**  
 Planning / Landscape Architecture  
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 Albuquerque, NM 87102  
 (505) 704-9801 Fax 842-5485  
 e-mail: cp@consensusplanning.com

**Bohannan & Huston**  
 1700 Jefferson St. NE Albuquerque, NM 87109  
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 ENGINEERING & SPATIAL DATA • ADVANCED TECHNOLOGIES

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 1301 University Ave. NE Albuquerque, NM 87106  
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SHEET #  
**C1**

Sheet 1 of 3  
 June 22, 2005



## Design Standards

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property. The primary goal for this property is to achieve a vibrant, mixed-use community that fosters pedestrian accessibility and maintains a village-type character.

The Design Standards should be used to facilitate the design of buildings which respect the natural conditions of the site, maintain and highlight the spectacular views of the Sandia and Manzano Mountains and to leave significant areas dedicated to open space. Innovative techniques such as cluster housing, water harvesting, and use of "green" building materials are strongly encouraged.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for Andaluia at La Luz. They are intended to be complementary to La Luz, Albuquerque's first cluster housing project, and the Bosque School. These standards primarily address commercial, office, and multi-family projects. Where specifically applicable to single-family development, the standards are called out as such.

Subsequent Site Plans for Building Permits shall be consistent with the design standards established by this Site Plan for Subdivision and shall be approved by the Environmental Planning Commission. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

### COORS CORRIDOR PLAN - VIEW AND HEIGHT RESTRICTIONS

A primary design requirement of the Coors Corridor Plan is view preservation. Andaluia at La Luz addresses the Coors Corridor Plan as follows:

- Coors Corridor Viewshed rules come into effect when a northbound vehicle passes Namaste Road.
- Measurement of building heights shall be consistent with the Coors Corridor Plan.
- A combination of walls and berms shall be built along Coors Boulevard. The high point of the wall or berm will occur within the first 60 feet of the property, but not closer than 20 feet from the right-of-way. From any point along the east edge of Coors, the high point of the wall or berm will obscure no more than 50% of the height of Sandia Crest, measured directly below Sandia Crest.
- All multi-story structures shall be built with the finish floor elevation at least 10 feet below the roadway, measured along a 45-degree angle from the northbound direction of travel along Coors.
- In no event will the building height be permitted to penetrate above the view of the ridge line of the Sandia Mountains as seen from four feet above the east edge of Coors Boulevard. In no event will more than 1/3 of the total building height outside of the setback area for multi-story buildings be permitted to penetrate through the view plane.
- As viewed from Coors Boulevard, no structure shall obscure more than 50 percent of the height of Sandia Crest, measured directly below Sandia Crest.

### PEDESTRIAN AND SITE AMENITIES

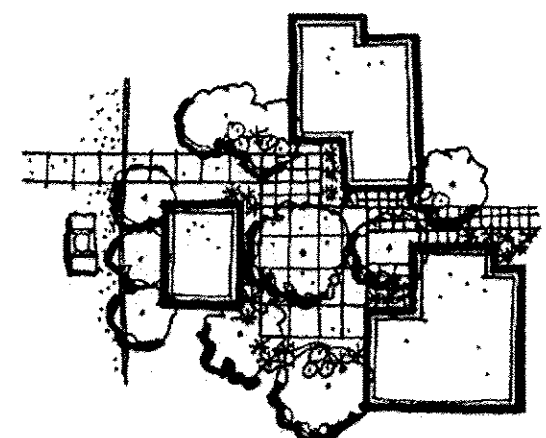
The creation of a pedestrian-friendly environment will depend on creative site design and will be a primary design objective for Andaluia at La Luz. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities including benches, plazas, walkways, lighting, etc.; providing shaded walkways; and creating separate vehicular and pedestrian circulation systems in order to support the creation of a village-type character.

The use of alternative paving materials (brick, colored concrete, decomposed granite, etc.) for pedestrian pathways are encouraged. Public art is another site amenity that is strongly encouraged, and if proposed, should be part of the subsequent building plans.

### TRAILS AND SIDEWALKS

Public and private trails and sidewalk systems are a defining element to Andaluia at La Luz. Private trails for use by residents are designed to lessen the need for vehicular use and will provide pedestrian connectivity throughout the project (see Landscape Section for more detail on trail landscaping).

- City Trails - All public multi-use trails through Andaluia at La Luz shall be built to City standards, per the City's Trails and Bikeways Facility Plan.
- All private trails and paths shall be soft surface, with a minimum width of 6 feet.
- All pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design, except where topography makes this unfeasible (several streets require grades over 8%).
- The use of asphalt paving for pedestrian trails is discouraged. Concrete or compacted decomposed granite with stabilizer are acceptable materials.
- Pedestrian connections to buildings should be provided in parking lots with greater than 50 spaces and should connect to adjacent roadways, sidewalks, and pathways.
- Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles and where City trails cross streets.
- Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- Non-residential and multi-family development shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.

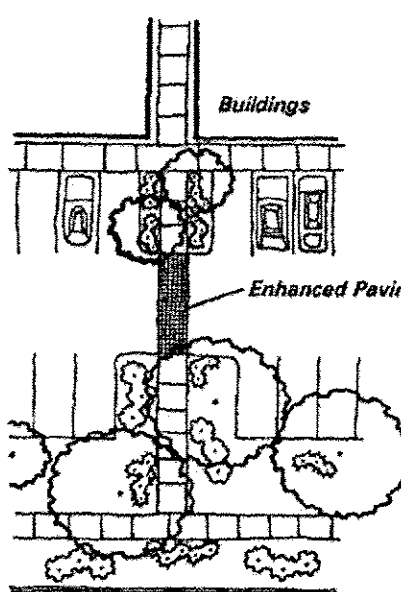


OUTDOOR AREAS - defined by building edges, differentiation of paving, variety of scales of landscaping

### PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. An effort should be made by site designers to lessen the impact of parking facilities on the land and to preserve views to the Bosque and the Sandia and Manzano Mountains. In order to lessen the visual impact of parking areas, parking facilities should be broken up into a series of smaller areas.

- Handicapped parking spaces shall be provided adjacent to building entries.
- The total maximum amount of parking provided shall meet parking requirements in the City Zoning Code, plus 10 percent.
- Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- Parking areas shall be designed to include a pedestrian link to buildings.
- In cases where parking is adjacent to roadways, landscaping for screening purposes shall be required. The wall shall be architecturally compatible with the surrounding buildings.



PARKING - pedestrian links should be provided between parking areas and buildings

### SINGLE-FAMILY PARKING STANDARDS

The following parking standards are provided for single-family residential development. They have been developed in conjunction with the Unique Street Standards (see Sheet 3 of 3)

- Off Street Parking shall be provided at the following rate:
  - 3 spaces per 2 bedroom dwelling unit
  - 4 spaces per 3-4 bedroom dwelling unit
  - 5 parking spaces per 5 bedrooms or greater dwelling unit

### MULTI-FAMILY PARKING STANDARDS

The following parking standards are provided for multi-family residential development.

- Off Street Parking shall be provided at the following rate:
  - 1 space per bath, but not less than two spaces
  - 1 space per bath for dwellings with less than 1,000 square feet of net leasable area, but not less than 1.5 spaces

### SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls. Parking areas are discouraged from being adjacent to roadways. Front yard setbacks for single family residential developed have been reduced from the City's standard in order to provide as intimate a streetscape experience as possible.

- All development at Andaluia shall comply with the setback requirements of the Coors Corridor Plan.
- Commercial and office development shall comply with the building setback requirements of the O-1 Zone in the Comprehensive City Zoning Code and the Coors Corridor Plan.
- Accessory structures shall comply with Section 14-16-3-3 of the Comprehensive City Zoning Code.

### SINGLE FAMILY LOTS

- Front Yard Setbacks  
Dwelling Unit - 8 feet  
Garages - 8 feet, except 20 feet for garages facing street
- Rear Yard Setbacks  
Dwelling Unit - 15 feet  
Garages (attached and detached) - 0 feet
- Side Yard Setbacks  
Dwelling Unit - 3 feet, except 8 feet for lots adjacent to roadway. Zero lot line is permitted provided 10 feet of separation between dwelling units is maintained.  
Garages (attached and detached) - 0 feet
- Garage Setbacks
  - Where garages face the street, the garage shall have a minimum setback of 20 feet from the property line.
  - No more than 3 houses in a row with garages facing the street can have a 20 foot setback. Minimum offset for adjacent houses is 3 feet.
  - Garages provided on alleys shall have a minimum rear yard set back of 3 feet to allow for proper turning clearances.

### TOWNHOUSE LOTS

- Front Yard Setbacks  
Dwelling Unit - 8 feet  
Garages - 8 feet, except 20 feet for garages facing street
- Rear Yard Setbacks  
Dwelling Unit - 15 feet, or for dwellings with offset rear lot lines, not less than 5 feet provided the average rear yard setback is not less than 15 feet  
Garages (attached and detached) - 0 feet
- Side Yard Setbacks  
No required side yard setback, except there shall be 8 feet on the street side of corner lots and 3 feet from a side lot line that separates townhouse zone from another zone

### MULTI-FAMILY APARTMENT DEVELOPMENT

- Front Yard Setbacks  
Dwelling Unit - 15 feet; driveways not less than 20 feet
- Rear Yard Setbacks  
Dwelling Unit - 15 feet
- Side Yard Setbacks  
5 feet, except there shall be 10 feet on the street side of corner lots
- Separation  
Not less than 10 feet between apartment buildings and off-street parking and vehicular circulation areas

### PARKING AREA SETBACKS

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

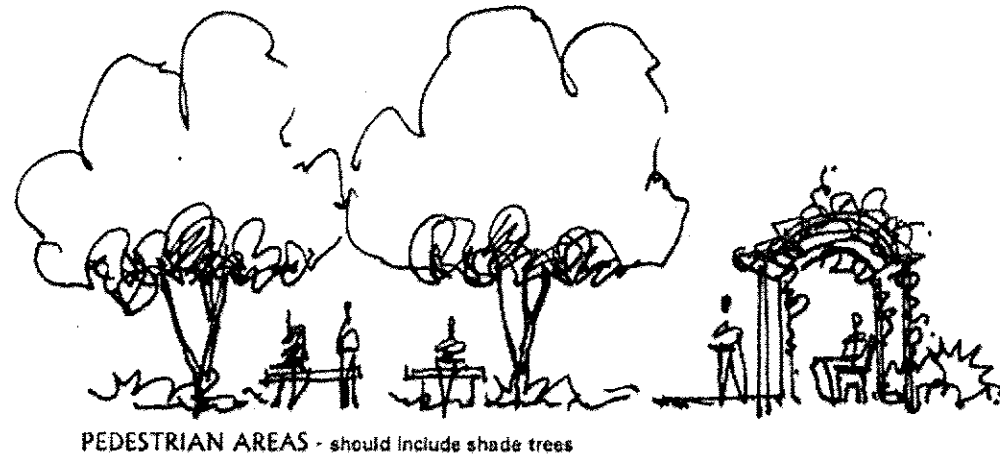
- 15 feet, except along Coors Boulevard where the setback shall be 35 feet.

### LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the property and is complementary to the Rio Grande Bosque. The landscape design should emphasize native and naturalized plant species. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

The following are minimum standards for the development of specific landscape plans:

- Significant cottonwoods specimens shall be identified and preserved, where feasible.
- For single family residential projects, street trees shall be provided along roadways at a rate of one tree per 40 linear feet. For multi-family and non-residential projects, they shall be provided along roadways at a rate of one tree per 25 linear feet. They may be randomly or regularly placed.
- Individual lot owners will be responsible for the installation and maintenance of the landscape on their property. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the lot owner in a living, attractive condition.
- All Private Commons Areas and parkway areas between curb and sidewalk shall be maintained by the developer/owner.



PEDESTRIAN AREAS - should include shade trees

### NON-RESIDENTIAL AND MULTIFAMILY RESIDENTIAL

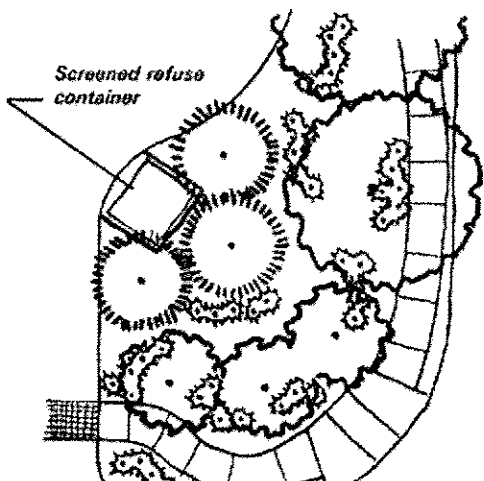
- A minimum of 15 percent of the site area for commercial, office, and multi-family projects (minus the building square footage) shall be devoted to landscape materials.
- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- Appropriate landscape headers shall be used to separate any turf and groundcover areas.
- To shade and mitigate the negative visual impact of large expanses of pavement, interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- 75 percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- All plant materials shall be chosen from the City of Albuquerque's Water Conservation Ordinance Plant List.
- Minimum plant sizes at time of installation shall be as follows:
  - Trees - 1 1/2 inch caliper, or 10 to 12 feet in height
  - Shrubs & Groundcovers - 1 gallon
  - Turf grasses shall provide complete ground coverage within 1 growing season after installation.

### SCREENING / WALLS AND FENCES

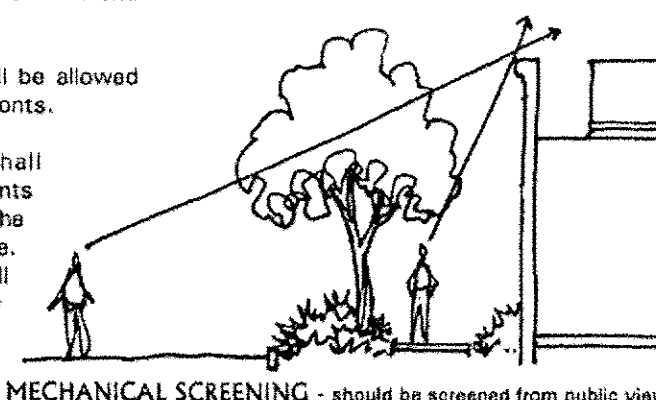
The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on the property. The site orientation of these elements shall be away from any street or pedestrian area. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

### SCREENING

- Parking areas shall be located away from adjacent streets and properties and shall be screened with plant materials, walls, or earthen berms. Such screening shall have a minimum height of 3 feet. Since the viewing public is from above site topographically, the focus of the screening materials should be on trees.
- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be screened with plant materials.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme and materials of the site and adjacent buildings.
- No refuse collection areas shall be allowed between streets and building fronts.
- All mechanical equipment shall meet the screening requirements of Section 14-16-3-1(E)(4) of the Comprehensive City Zoning Code. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.



REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials



MECHANICAL SCREENING - should be screened from public view

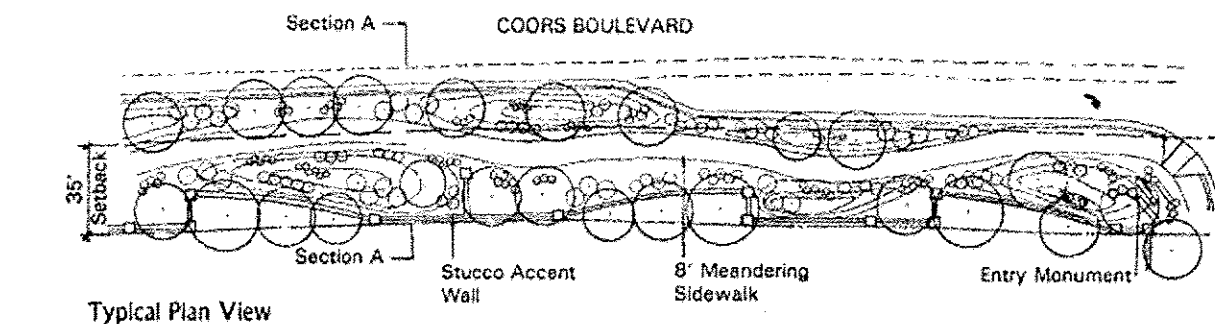
### WALLS/FENCES

Perimeter fencing is allowed on the property; however, an effort should be made by the site designer to lessen its visual impact through landscaping, meandering within a landscape area, and providing openings. Walls and fences shall comply with Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls or these Design Standards as specified below. Tensile wire fencing is encouraged for development adjacent to the Bosque to ensure visual access.

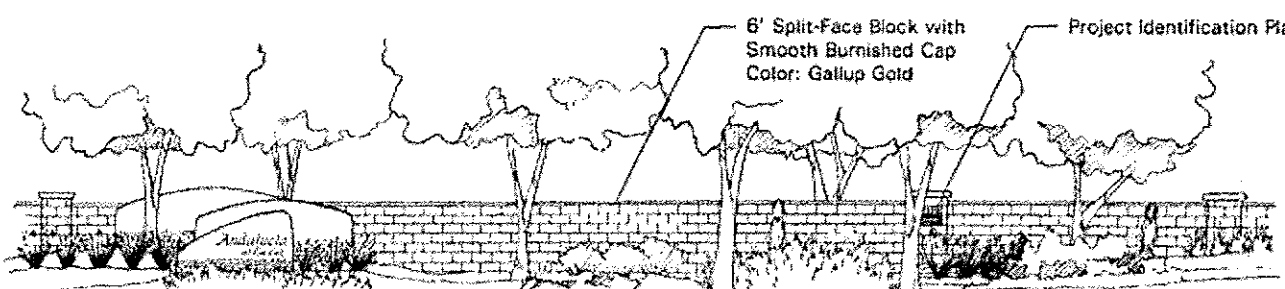
- Unfinished block walls and barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Perimeter walls, if used, shall include pedestrian openings at key locations within the development to ensure convenient access to other areas within the property.
- Clear site distances will be maintained at all driveway locations.
- The maximum height of retaining walls is 8 feet. Areas requiring greater retainage are required to be terraced.
- Materials acceptable for retaining walls are masonry block (no unfinished), split face block, and stone.
- Yard walls shall be constructed of adobe, cast pumice, rammed earth, concrete masonry, rastro or stuccoed masonry block and shall be finished to match adjoining exterior structure walls. Walls shall not exceed 6 feet in height except at the gate opening unless approved by the Architectural Control Committee and the City of Albuquerque.
- The maximum height of the wall adjoining Tract 6A is 6 feet, or a visual opening may be provided in the wall as an alternative.

### COORS BOULEVARD WALL

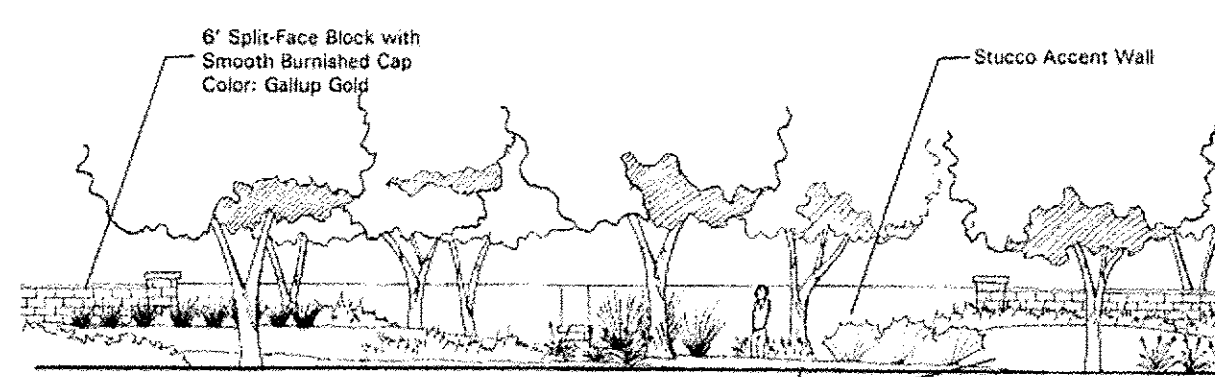
- The perimeter wall along Coors Boulevard at residential Tract 6B-4 shall be as shown below. Landscape provided shall meet the standards in the City's Street Tree Ordinance.
- The elevation at the top of the wall (including decorative features) along Coors Boulevard shall not exceed 8 feet above the existing elevation of Coors Boulevard in order to allow the wall to undulate in conjunction with the berm.
- With the exception of 3 foot parking lot screen walls, it is not anticipated that there will be a perimeter wall along Coors Boulevard or Montano Road adjacent to the non-residential Tracts 6B-1, 6B-2, and 6B-5.



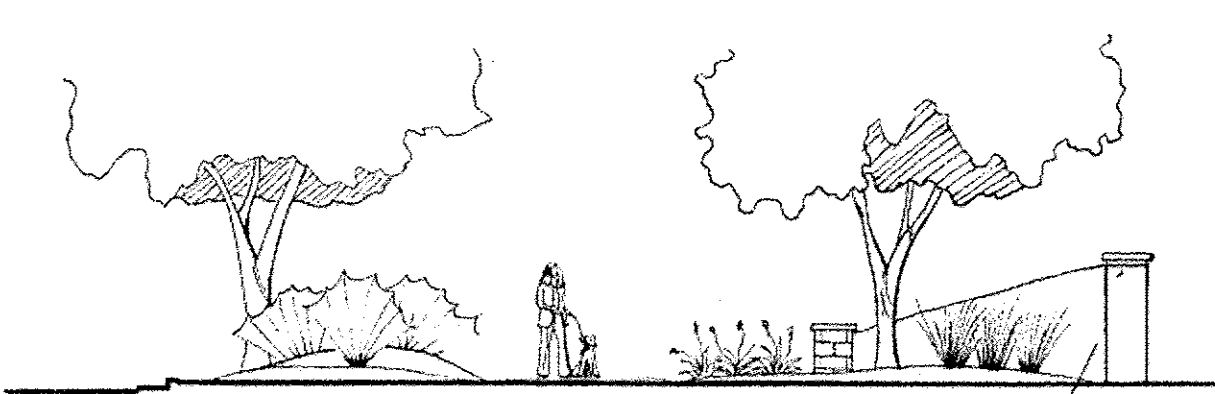
Typical Plan View



Typical Entry Monument & Wall Elevation



Typical Accent Wall Elevation



Typical Accent Wall Section A-A

North  
*Andaluia*  
at La Luz

Prepared for: Silver Leaf Ventures, LLC.



Sheet 2 of 3  
June 6, 2005

SHEET #

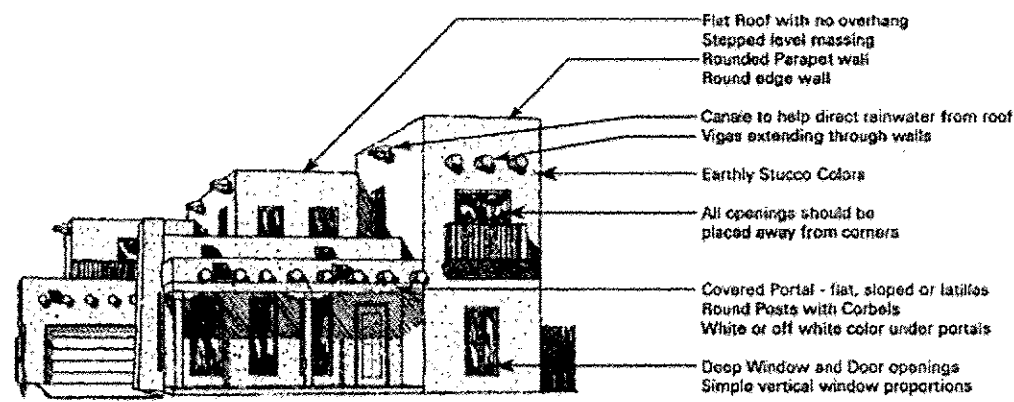
C2



## ARCHITECTURE

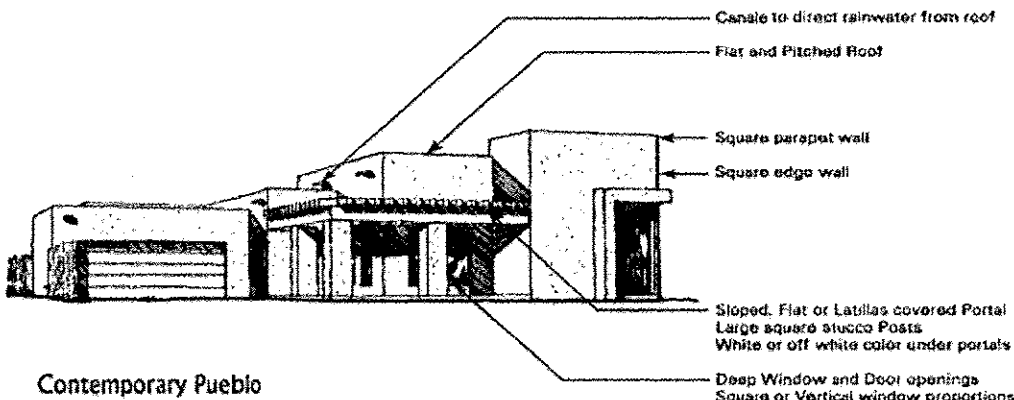
The architectural design should demonstrate a high quality aesthetic character throughout the property and should respond to climate, views, solar access, and aesthetic considerations.

### ARCHITECTURAL STYLES



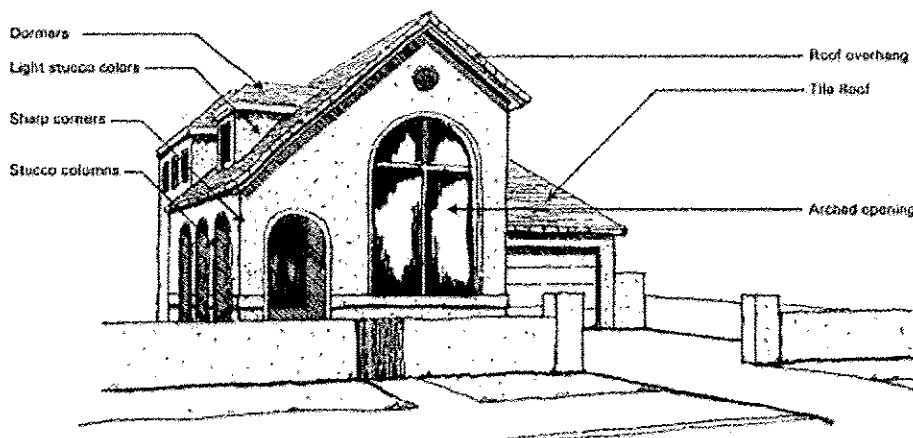
Pueblo Revival

**Pueblo Revival Style** is characterized by either massive adobe brick walls, or wood framing with stucco to give the effect of adobe, projecting vigas, rounded parapets, interspersed with canales, and rounded wood columns with corbels. The flat roof and exterior mud/stucco colors of earth tones are also strong features of this style.



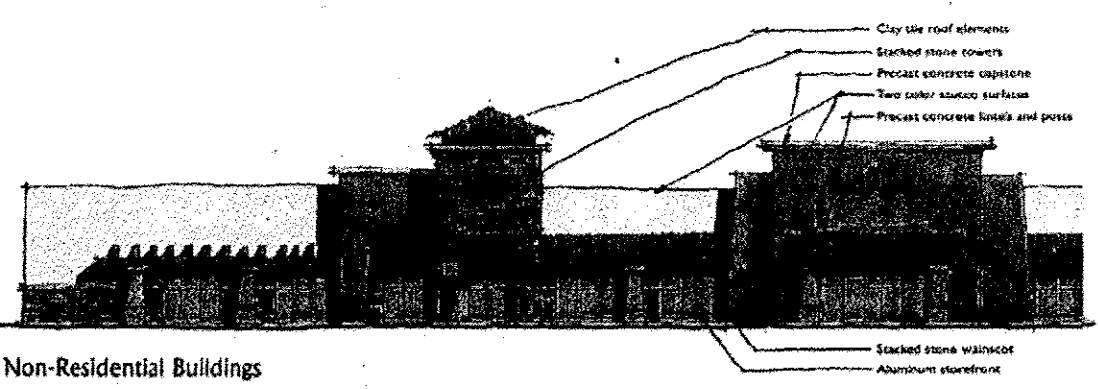
Contemporary Pueblo

**Contemporary Pueblo Style** is a more modern design which reflects much of the traditional Pueblo style architecture, combined with elements of modern architecture. The severe exterior walls are broken by large window openings that extend from floor to ceiling. Square large stuccoed columns replace the round columns of the Pueblo designs. Exterior colors range from earth tones to much lighter colors.



Spanish Colonial

**Spanish Colonial Style** exhibits authentic Colonial architectural elements brought from Spain and features a central courtyard or walled patio. The severe exterior masonry walls are broken only by an ornamental stone entrance. Most rooms open to a columned gallery which extends the entire length of the enclosed garden patio. The flat roof with red tile roof accents over the gallery and wall copings are common features of this design. Exterior colors range from earth tones to much lighter colors.



Non-Residential Buildings

**Commercial building style** will be a hybrid of New Mexico architectural styles, incorporating stucco surfaces, stacked stone wainscot and tower elements, precast concrete posts, lintels, cap stones, and ramadas, and clay tile roof elements. Materials will be natural rather than synthetic, in warm colors ranging from light to dark tans, terracotta red to deep browns. Roof mounted mechanical equipment will be screened from view by parapets or mechanical screens. Ground-mounted equipment will be screened by building elements or landscaping. All sides of all buildings will be architecturally articulated with the elements described and illustrated above.

### NON-RESIDENTIAL and MULTI-FAMILY RESIDENTIAL STANDARDS

- All non-residential buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- Finished building materials shall be applied to all exterior sides of buildings and structures and shall be consistent on all sides. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- Generic franchise building elevations or canopies are prohibited.
- No plastic or vinyl building panels, awnings, or canopies are allowed. Awnings and canopies, if used, shall be integrated with building architecture.
- Building heights should be kept to a minimum. Maximum height shall be limited to 45 feet for the ridge of the building to correspond with the Coors Corridor Plan.
- Entry ways to non-residential and multi-family buildings shall be clearly defined.
- No freestanding clock towers or antennas are allowed; rather antenna shall be integrated with the building architecture.

### SINGLE-FAMILY RESIDENTIAL STANDARDS

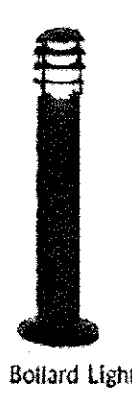
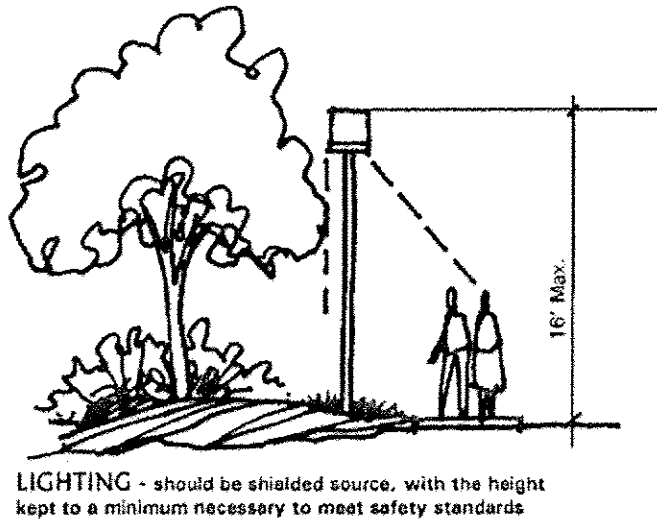
- Lot Size**
  - Minimum residential lot size shall be 3,500 s.f.
- Front Porches**
  - Front porches are required for each dwelling unit.
  - Front porches and/or portals shall have a minimum 6 foot depth.
- Building Colors and Materials**
  - Highly reflective surfaces shall be screened from public view.
  - Stucco shall be the primary building material. Stucco colors shall be limited to shades of brown, tan, sage green, and sand.
  - Accent colors in entry portals, front door, window frames and trim, and other incidental elements shall be shades of white, blue, brown, and green.
  - Windows may be wood, metal or solid vinyl. All windows visible from nearby street and path shall be glazed with clear, non reflective glass. Reflective film is prohibited.
  - Exterior doors, including garage doors, shall be stained or painted wood, or painted metal.
- Roof Colors and Materials**
  - Roofs may be flat, pitched (tile), or combination of both and shall be made of non-reflective materials. Roof tile color shall be Terracotta Blend.
- Accessory Buildings and Remodels**
  - All accessory buildings and/or building remodeling under 200 square feet are permitted without special approval from the City. Projects that are larger than 200 square feet are required to apply for administrative approval from the City Planning Director.

### LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

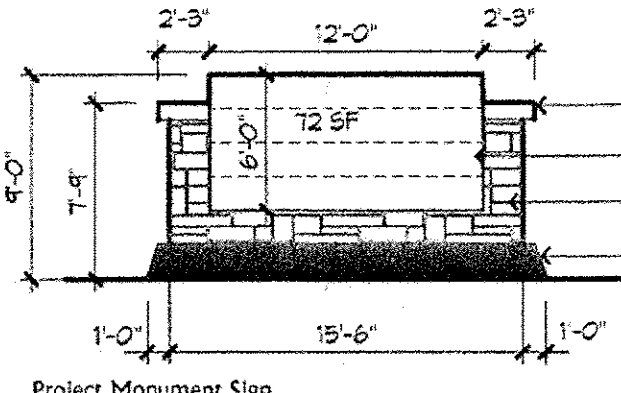
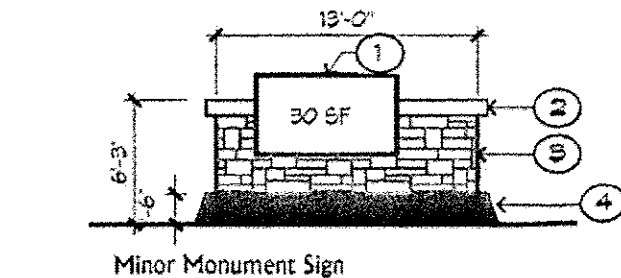
- All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source with glare cut off angles of a maximum of 75 degrees to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Cobalt and sodium lights are prohibited.
- The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- The location of light fixtures shall be identified on subsequent Site Plans for Building Permits. The maximum mounting height of luminaires for pedestrian scale lights shall be 16 feet in height. Consistent with the Coors Corridor Plan, the maximum mounting height of luminaires for parking lot lights shall be a maximum of 20 feet in height, except where they are within 70 feet of residential, they shall be 16 feet in height.
- Neon lights are prohibited in the area of Tract 6B, 300 feet north of Learning Road (see Sheet 1 for location).
- Site lighting shall be restricted to a maximum off-site luminaire of 1,000 lamberts from any point and 200 foot lamberts from any residential property line.
- Accent lighting is permitted, however, surface lighting is limited to an average of 2 footcandles measured 4 feet from the surface level of any point on the building surface being lighted.
- Average light levels shall be limited to 2 footcandles with maximum levels limited to 16 footcandles as measured from 4 feet above the surface level of any point on the site.



### SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within North Andalusia at La Luz. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

- All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code and the Coors Corridor Plan.
- Entry signs shall be monument type and shall complement the materials, color, and architectural character of the buildings.
- Three project monument signs are allowed at the entries along Coors Boulevard and one minor entry monument sign is allowed on Montano Road as landmarks identifying the project. These project monument signs shall be of similar design and materials as the buildings.
- Project monument signs shall have an overall maximum height of 9 feet and shall identify the tenants in a signage area not to exceed 75 square feet with a total of 10 items of information. Maximum height for individual monument signs shall not exceed 9 feet and shall have a maximum signage area not to exceed 30 square feet.



- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- Signs shall not overhang into the public right-of-way or extend above the building roof line.
- Off-premise signs and portable signs are prohibited.
- Building-mounted signs shall not exceed 6 percent of the facade area and the lettering shall not exceed 2 feet in height.
- Building-mounted signs shall:
  - Identify the name and business of the occupant or of those offering the premises for sale or lease;
  - Not have too many different colors;
  - Have a significant contrast between the background and the text in order to ensure readability; and
  - Not intrude upon any architectural features, including windows, columns, mouldings, or other decorative features.
- No illuminated plastic panel signs are allowed except business logos within the non-residential areas of the property.
- Signs on buildings immediately west of Winterhaven (labeled New Local Street) shall not be lighted.

### UTILITIES

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment should be minimized by the following:

- All new electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- Alleys may be used for dry utilities and sewer, wherever possible.
- Utility easements shall be a minimum of 7.5 feet in width and may be spot easements instead of continuous easements for above-ground structures.

### PRIVATE COMMONS AREAS

A defining feature of Andalusia at La Luz is the private commons areas that are spread throughout the community. The City's on-site useable open space requirements are met through a combination of the private commons areas and on-site useable open space.

- Minimum on-lot useable open space shall be as required in the SU-1 Zone: 250 square feet per two bedrooms and 300 square feet for three or more bedrooms.
- Covered outdoor space and balconies shall be considered on-lot useable open space.
- Private commons areas shall be considered as part of meeting the SU-1 useable open space requirements of 2,400 square feet provided the minimum on-lot requirements (as stated above) are met. The private commons areas shall be utilized to meet any deficiency in the 2,400 square foot requirement.

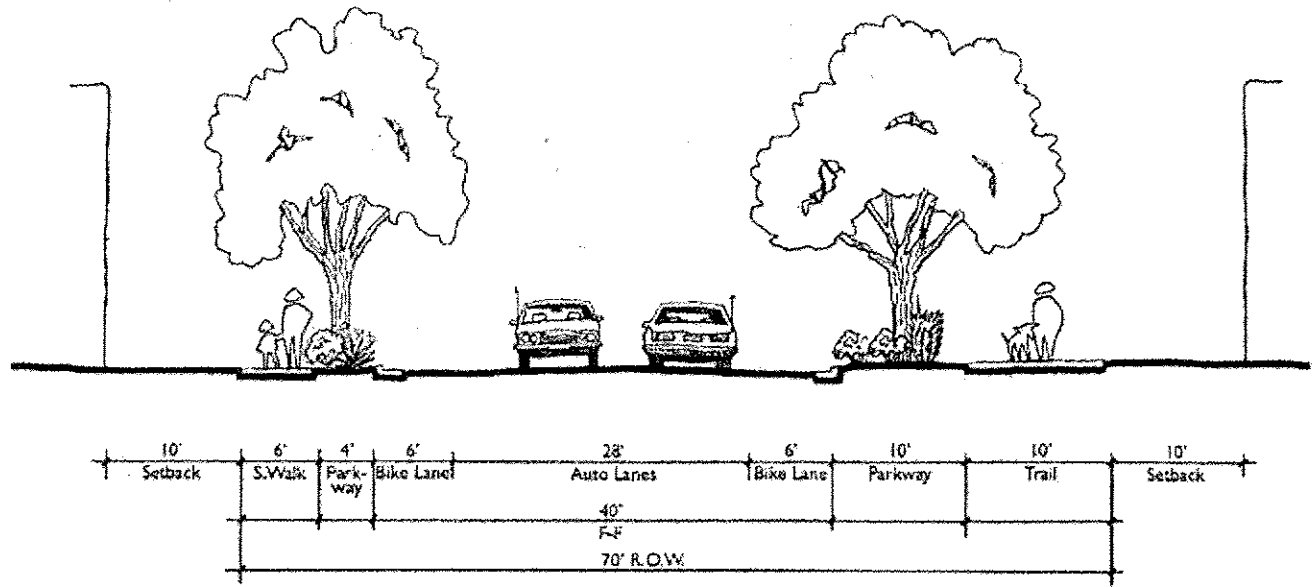
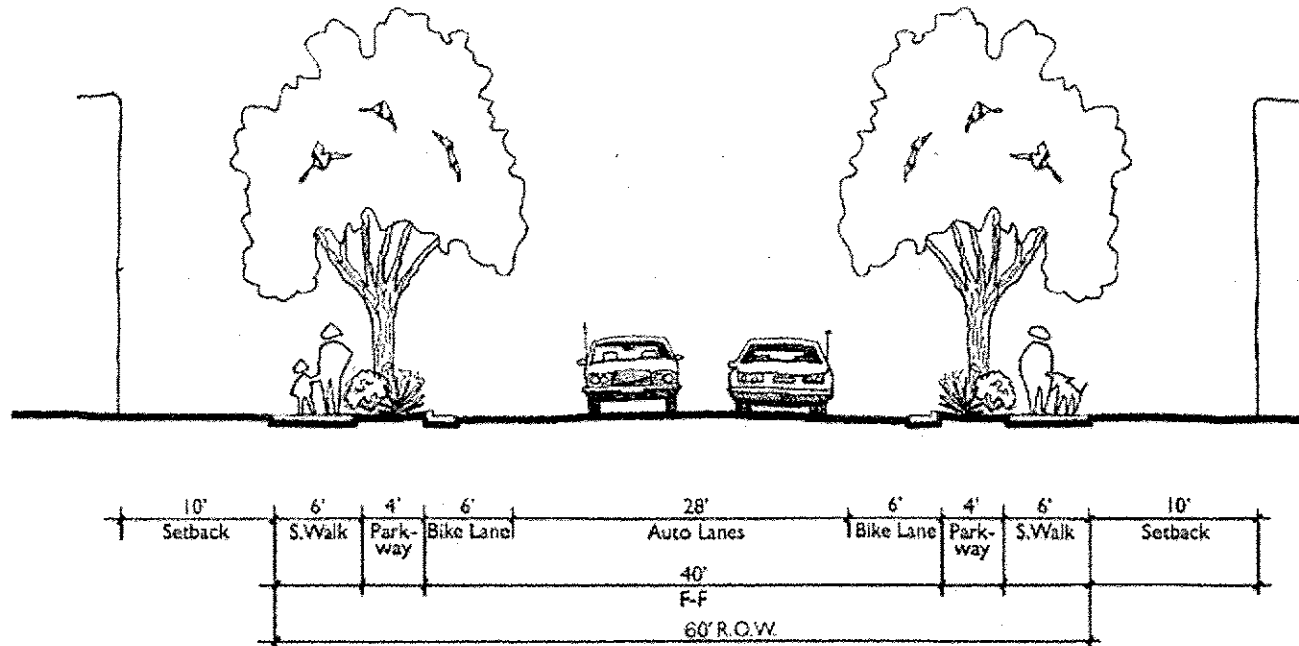
### UNIQUE STREET AND TRAFFIC CALMING STANDARDS

Much attention has been given to the design of the streetscapes at Andalusia at La Luz. These unique standards, along with the treatment given to garages and front yard setbacks, are critical to the success of creating an active, pedestrian-oriented urban community. The intent is to provide relatively short street blocks with a smaller number of lots in order to make the streets as intimate as possible and still meet the City's DPM Standards.

- All street types shall include a 5-6 foot landscaped parkway (actual width depending on street section) and 4 foot sidewalks on both sides of the street.
- Handicapped ramps shall be provided at each intersection, and shall be designed to direct the wheelchair user to the other side of the roadway.
- Bump-outs are allowed in order to slow traffic and to discourage parking close to certain intersections. Where provided, bump-outs shall protrude 4 feet maximum into the right-of-way.
- Curbs shall have a minimum curve radii of 10 feet in order to shorten the distance at pedestrian crossings and provide great pedestrian safety.

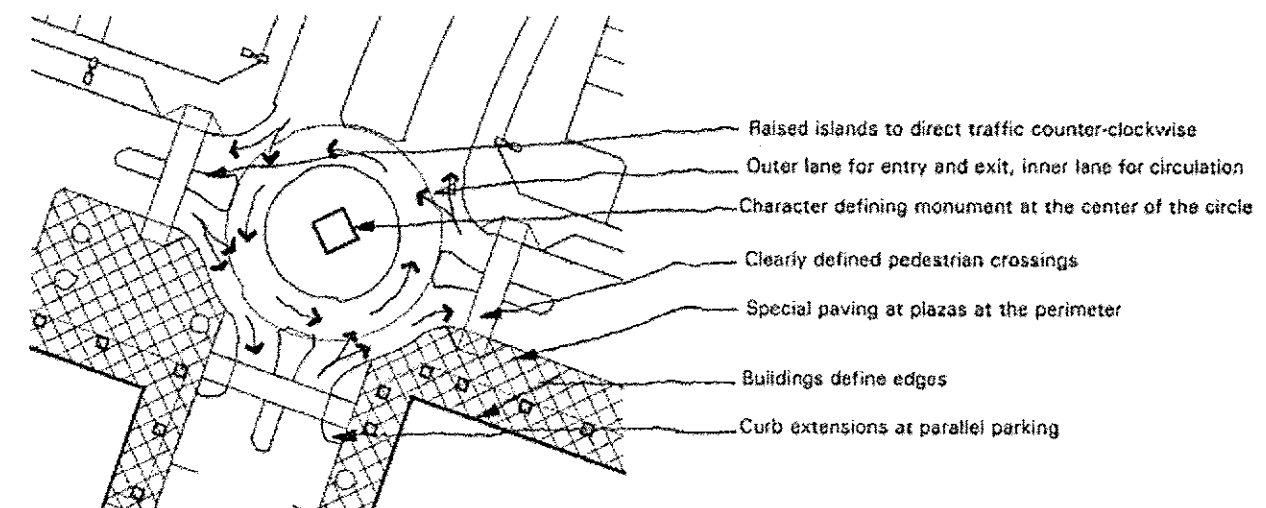
### Street Character

The following 60 foot street section will be constructed within Tracts 6B and A. It has been designed in conjunction with the parking standards (see Sheet 2 of 3), and is intended to reduce traffic speeds. The 70 foot section occurs north of the Learning Road/Street B intersection, and includes the 20 foot Learning Road landscape/trail.



70' Street Section

**Roundabouts**  
Roundabouts will be utilized as a traffic calming device at major public and private vehicular intersections. Because these locations will be focal points, a character defining monument element will be located at the center of the traffic circle.



Roundabouts

- Roundabouts will meet design requirements of Publications FHWA-RD-00-067 and AASHTO.
- Raised islands with rolled curbs will be used to direct traffic counter-clockwise, and prevent left turn movements. Special paving will be utilized on adjacent pedestrian plaza areas, and crosswalks will provide clear separation between vehicular and pedestrian movements. Traffic will enter and exit on the outer lane, and circulate around the circle on the inner lane.

### TRANSPORTATION DEMAND MANAGEMENT

Pursuant to the Comprehensive Plan policies related to Community Activity Centers, Transportation Demand Management (TDM) is one of the recommendations specific to the implementation of these centers in place of auto based improvements in order to mitigate traffic impacts of a development.

- Future employers that locate within the Andalusia Community Activity Center will be part of the TDM effort designed to help mitigate traffic impacts.
  - Businesses with more than 50 employees shall provide designated carpool parking spaces to encourage carpooling by employees.
  - Businesses should work with employees to encourage carpooling, bus ridership, and alternative modes of transportation.
  - Businesses should post the City trail map and bus route information in employee break rooms or other locations easily accessible to employees.
  - Businesses shall provide conveniently located bicycle racks and facilities to encourage bicycle commuting.
  - The Owner/Developer will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.
- As a part of the TDM Program, City Transit should:
  - Work with the residential and non-residential projects to provide efficient routes and schedules to the Andalusia Community Activity Center that address their specific needs; and
  - Work with the Owner/Developer to provide bus routes off of Coors Boulevard and Montano Road and into the interior of the project when feasible.

*North  
Andalusia  
at La Luz*

Prepared for: Silver Leaf Ventures, LLC.

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SHEET #

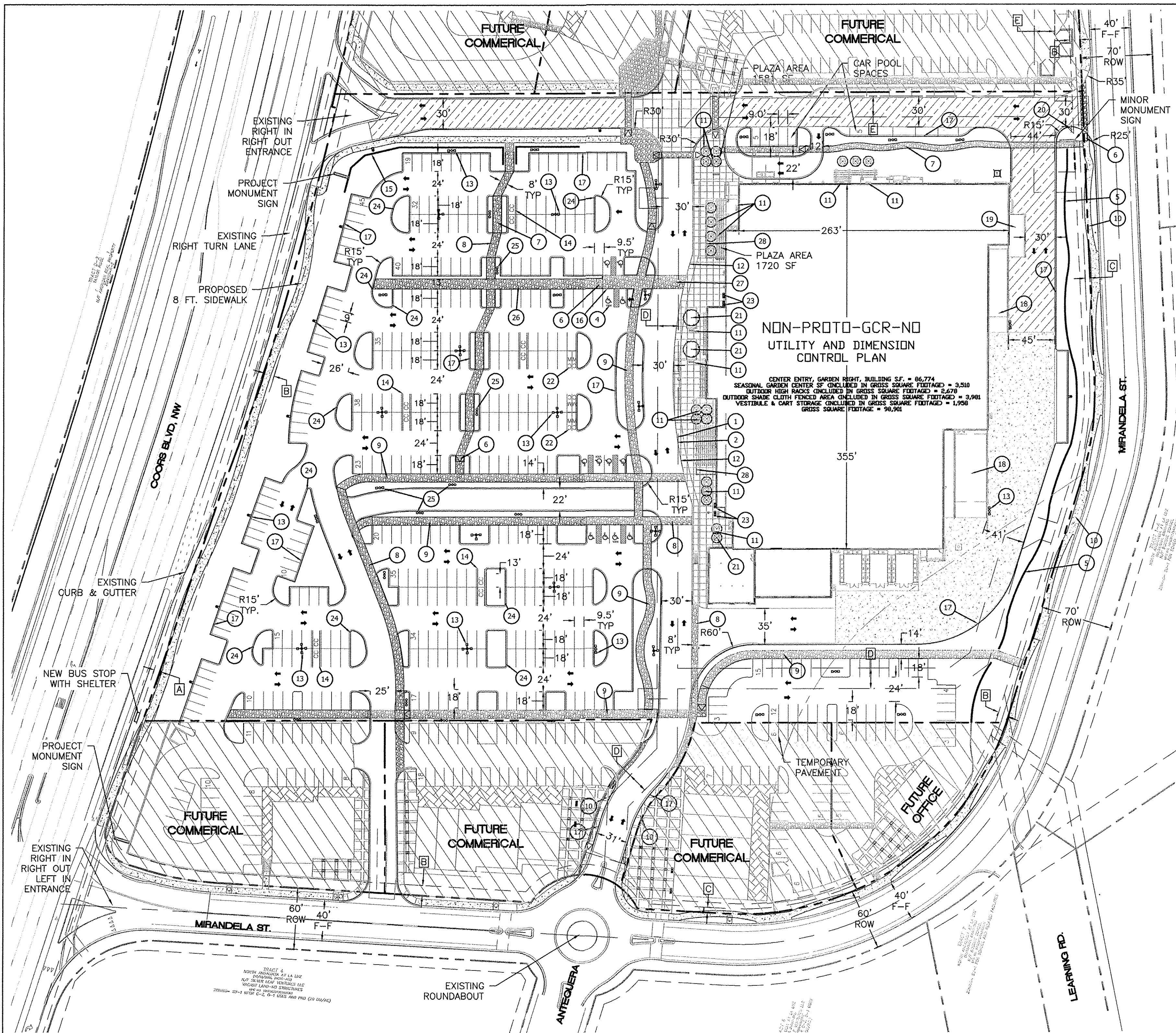
Sheet 3 of 3  
June 6, 2005

C3







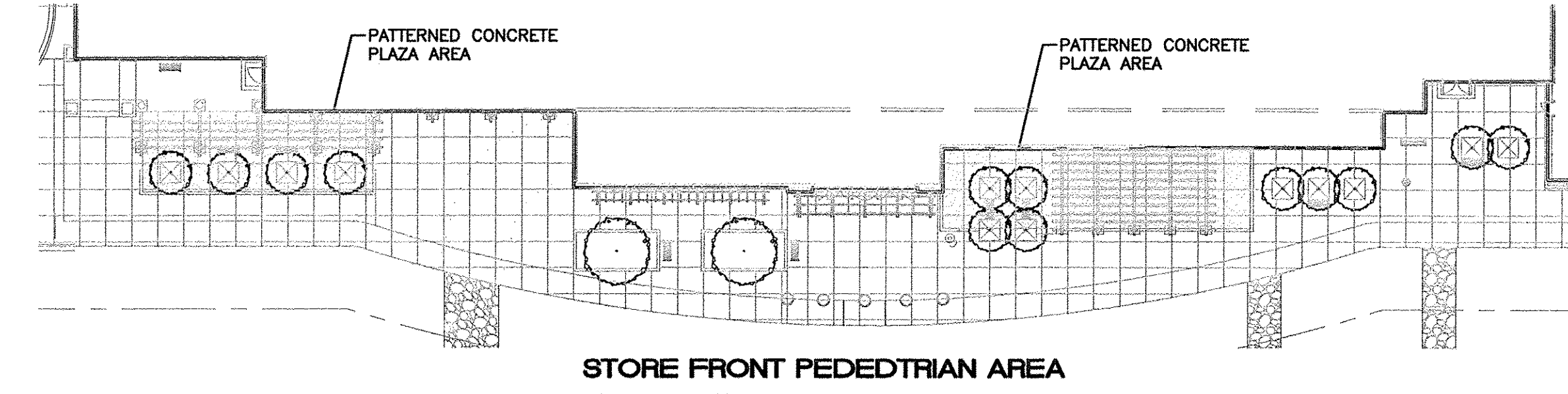


**SITE PLAN NOTES**

- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- THIS PROJECT SHALL COMPLY WITH THE DESIGN GUIDELINES LISTED IN THE NORTH ANDALUCIA AT LA LUZ SITE DEVELOPMENT PLAN FOR SUBDIVISION.
- NEW LIGHTING SHALL BE FULL CUT OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE.
- 16' HIGH LIGHTING POLES SHALL BE PLACED ALONG MAIN PEDESTRIAN WALKWAY AREAS AND 20' HIGH LIGHTING ELSEWHERE WITHIN THE PARKING AREA. MAX. 16' POLE HEIGHT IF WITHIN 100' OF RESIDENTIAL ZONE. FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- SITE LIGHTING ALONG PEDESTRIAN PATHWAYS SHALL BE ORNAMENTAL IN NATURE PER THE DESIGN GUIDELINES IN THE NORTH ANDALUCIA AT LA LUZ SITE DEVELOPMENT PLAN FOR SUBDIVISION AND THE LARGE RETAIL FACILITY ORDINANCE ZC 14-16-3-18(D)(5)(K).
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON BUILDING SIGNAGE.
- EXISTING BUS ROUTES INCLUDE ROUTE 155 AND RAPID RIDE ROUTE 790 ON COORS BLVD., AND ROUTE 157 ON MONTANO RD.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT ABOVE TOP OF SCREEN WALL.

- ALL MONUMENT SIGNS ARE LOCATED PER THE SITE DEVELOPMENT PLAN FOR SUBDIVISION AND SHALL FOLLOW THE DESIGN GUIDELINES LISTED ON THAT PLAN. ALL MONUMENT SIGNS SHALL BE INTERNALLY LIT AND COLORS TO MATCH THE BUILDING.
- PEDESTRIAN WALKWAYS WILL BE CONTINUED THROUGH THE BALANCE OF THE PROJECT TO THE RELOCATED TRANSIT STOP AT MIRANDELA RD. AND MONTANO RD. AND TO THE EXISTING PEDESTRIAN & BICYCLE TRAIL NETWORKS THAT SURROUND THE SITE.
- STREETSCAPE ALONG MIRANDELA RD. AS WELL AS WITHIN THE PROJECT WILL ENCOURAGE USERS TO PARK ONCE AND WALK TO MORE THAN ONE DESTINATION. IT WILL ALSO ENCOURAGE NEARBY RESIDENTS AND EMPLOYEES FROM THE ADJOINING MULTI-FAMILY DEVELOPMENT AND EMPLOYMENT CENTERS TO WALK RATHER THAN DRIVE TO THIS DEVELOPMENT.
- PEDESTRIAN AMENITIES TO INCLUDE LANDSCAPING, RAISED PLANTERS, BENCHES AND SHADE STRUCTURES SHALL BE INCLUDED ALONG THE WALKWAYS. ALL WALKWAYS SHALL MAINTAIN A 6-FOOT WIDE CLEAR PATH, TO INCLUDE AREAS OF OUTDOOR DISPLAYS.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS WILL BE GRANTED BY PLATTING ACTION WITH THIS PROJECT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING ALL OUTDOOR PUBLIC SPACES.
- LIGHT POLE BASES LOCATED IN SIDEWALK AREAS SHALL BE PLACED IN THE PLANTERS OR LANDSCAPE ISLANDS WHERE POSSIBLE. WHERE IT IS NOT POSSIBLE, THE LIGHT BASES ARE TO BE LOCATED ON THE EDGE OF THE SIDEWALK. A SIX FOOT CLEAR DISTANCE SHALL BE MAINTAINED FOR PEDESTRIAN TRAFFIC.

- A MAINTENANCE AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE & THE OWNER SHALL BE SIGNED PER THE LARGE RETAIL FACILITY ORDINANCE (ZC 14-16-3-2).
- THIS DEVELOPMENT SHALL FOLLOW SUSTAINABILITY PRINCIPLES WHERE APPROPRIATE TO INCLUDE BUT NOT BE LIMITED TO THE USE OF BIOSWALES, PERMIABLE PAVEMENT, LED LIGHTING AND SOLAR PANELS, SHOULD AN AGREEMENT BE WORKED OUT WITH PHM.
- TRANSIT STOP SHALL BE RELOCATED FROM COORS BLVD. AND MONTANO RD. TO MONTANO RD. AND MIRANDELA RD. A SHELTER SHALL BE CONSTRUCTED AT THE NEW LOCATION.
- SEE SHEET C6 FOR VIEW PLANE ANALYSIS.

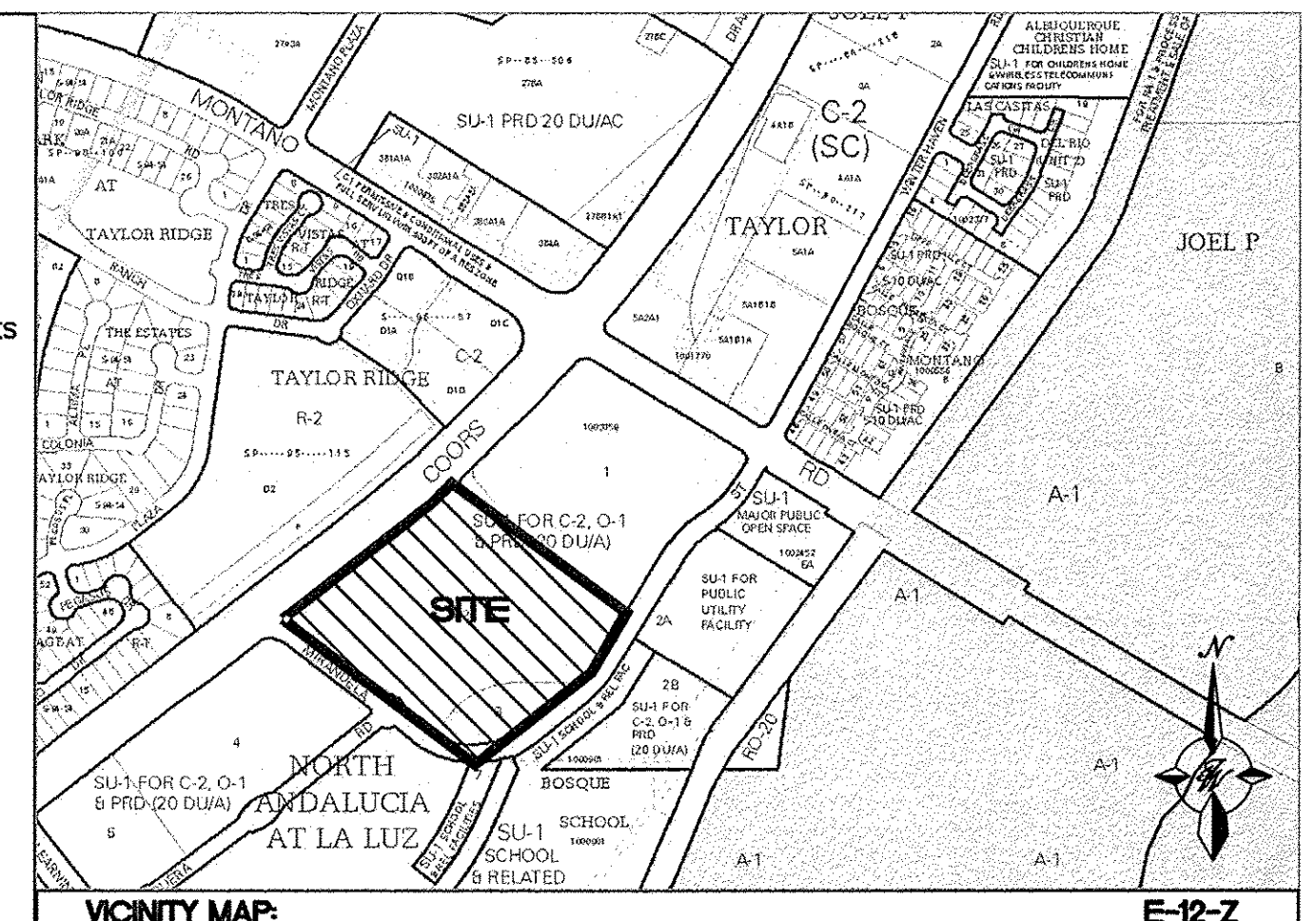


- SITE LEGEND**
- 6' WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL. CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS.
  - "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80' O.C. LETTERS TO BE A MINIMUM 2'-0" TALL.
  - "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL.
  - ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
  - 8 FT. SCREEN WALL (SEE DETAIL SHEET C15)
  - UNDIRECTIONAL HC RAMP. (SEE DETAIL SHEET C15)
  - 8' WIDE TEXTURED COLORED CONCRETE SIDEWALK
  - 8' TEXTURED COLORED CONCRETE PEDESTRIAN CROSSWALK.
  - 8' WIDE X 6" HIGH TEXTURED COLORED CONCRETE SIDEWALK.
  - 6' CONCRETE SIDEWALK TYPICAL.
  - (13) 4 SET BENCH
  - ZERO CURB PER ARCH. SECTIONS
  - PARKING LOT LIGHTING.
  - CART CORRALS TYPICAL.
  - 4 TO 8 FT. RETAINING WALL TYPICAL.
  - HC PARKING SIGN AND BOLLARD (SEE DETAIL SHEET C16)
  - STANDARD CURB AND GUTTER (SEE SHEET C10)
  - LOADING FACILITIES
  - TRASH COMPACTOR ENCLOSURE (15'X41')
  - STOP SIGN
  - RAISED PLANTER
  - MOTORCYCLE PARKING
  - (4) 5 SPACE BIKE RACK TYPICAL.
  - 1 FT. CURB CUT (SEE DETAIL SHT C15)
  - PEDESTRIAN LIGHTING
  - 10' WIDE X 6" HIGH TEXTURED COLORED CONCRETE SIDEWALK.
  - PEDESTRIAN CROSSING (SEE DETAIL SHEET
  - 3 FT. TALL PATIO WALL

- EASEMENTS**
- A** EXISTING 7' M.S.T.&T. EASEMENT (11/01/1968, BK. MISC. 119-PG. 938)
- B** EXISTING 10' PUBLIC UTILITY EASEMENT (10/13/2005, 2005C-342)
- C** PROPOSED 5' PUBLIC SIDEWALK EASEMENT
- D** PROPOSED 20' PUBLIC WATER LINE EASEMENT
- E** PROPOSED 20' PUBLIC SAS LINE EASEMENT

**WAL-MART SITE DATA**

EXISTING ZONING:	SU-1 FOR C-2, O-1 & PRD (20 DU/A)
PROPOSED USAGE:	RETAIL
LOT:	11.4733 AC
BUILDING:	98,901 SF
PARKING CALC:	15,000/200=75 SPACES 45,000/250=180 SPACES 38,901/300=130 SPACES 385 SPACES 423 SPACES
PARKING REQUIRED:	12 SPACES (2 VAN)
HC PARKING PROVIDED:	12 SPACES (3 VAN)
BIKE SPACE REQUIRED:	20 (1 BIKE PER 20 CARS)
BIKE SPACE PROVIDED:	20
MC SPACE REQUIRED:	6
MC SPACE PROVIDED:	6
PUBLIC SPACE REQUIRED:	1318 SF (400sf per 30,000sf of bldg.)
PUBLIC SPACE PROPOSED:	4755 SF PLAZA AREA
PEDESTRIAN SEATING REQUIRED:	16 (1 seat per 25 lf of bldg.)
PEDESTRIAN SEATING PROVIDED:	52



**LEGAL DESCRIPTION:**

NORTH ANDALUCIA AT LA LUZ - TRACTS 1, 2 AND 3  
ZONING: SO-1 FOR C-2 USES, O-1 USES, PRD (2000/AC.)

**LEGEND**

EXISTING CURB & GUTTER	STANDARD DUTY ASPHALT
BOUNDARY LINE	HEAVY DUTY ASPHALT
EASEMENT	HEAVY DUTY CONCRETE
PROPOSED EASEMENT	BIKE RACK
PROPOSED SCREEN WALL	PARKING LOT LIGHTING
PROPOSED RETAINING WALL	PEDESTRIAN LIGHTING
PROPOSED TEXTURED SIDEWALK	
PROPOSED SIDEWALK	
PROPOSED CART CORRALS	

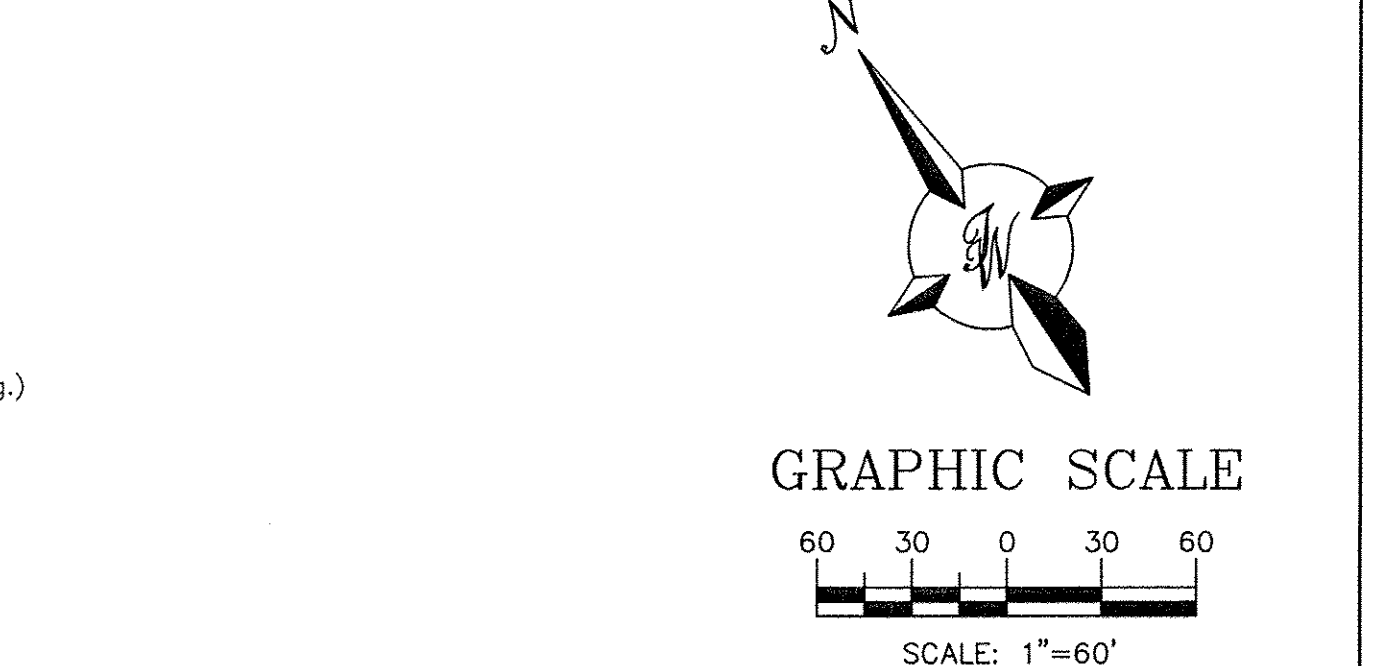
**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

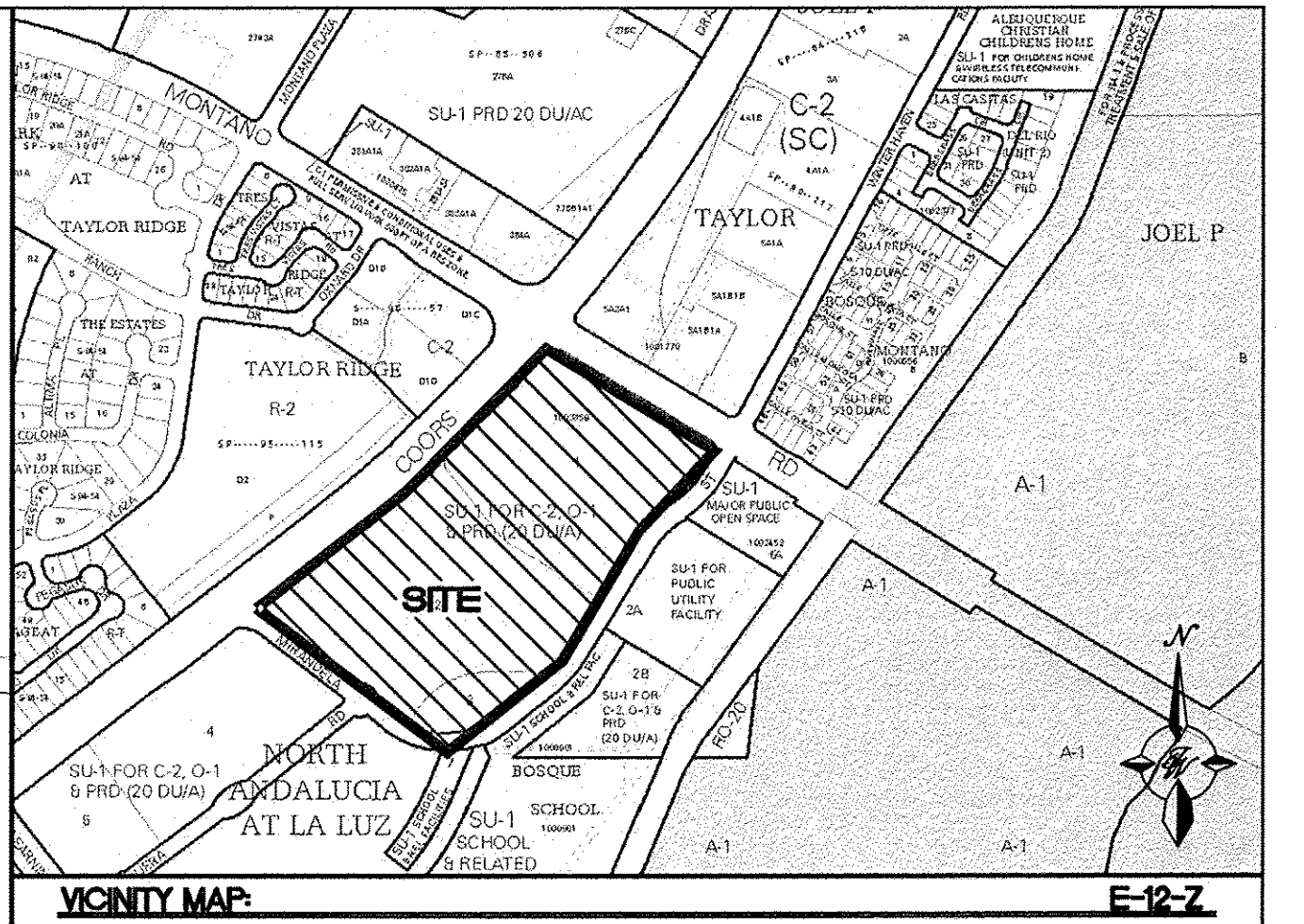
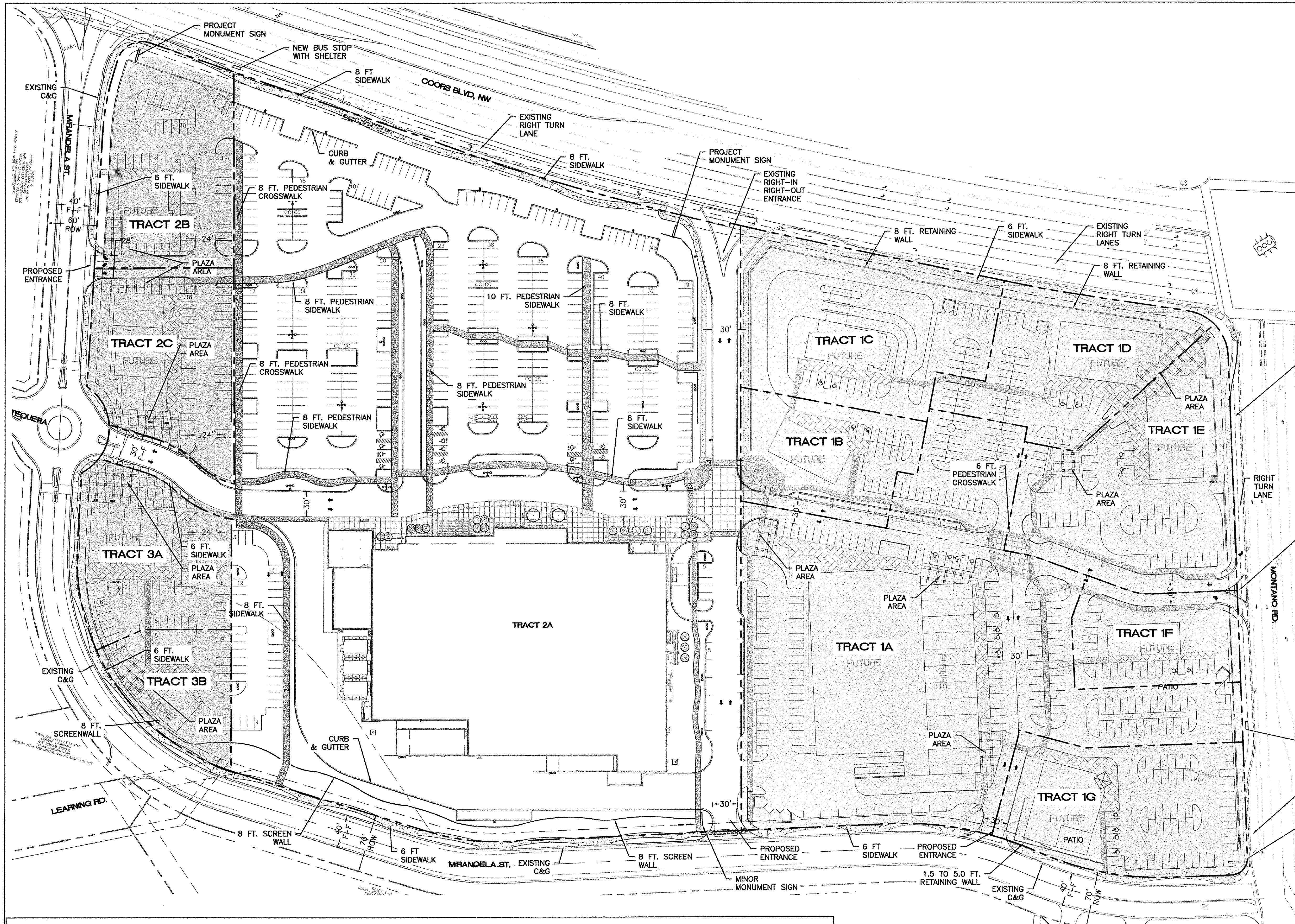
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineer, Transportation Division	_____	Date	_____
Water Utility Development	_____	Date	_____
Parks & Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____
* Environmental Health, if necessary			



ENGINEER'S SEAL	<b>Walmart #5650</b> ALBUQUERQUE, NEW MEXICO	DRAWN BY BJF
		DATE 4/5/12
RONALD R. BOHANNAN P.E. #7868	<b>SITE PLAN FOR BUILDING PERMIT</b>	2011001-SPE
		SHEET # <b>C4</b>
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-5100 www.tierrowestllc.com		JOB # 2011001





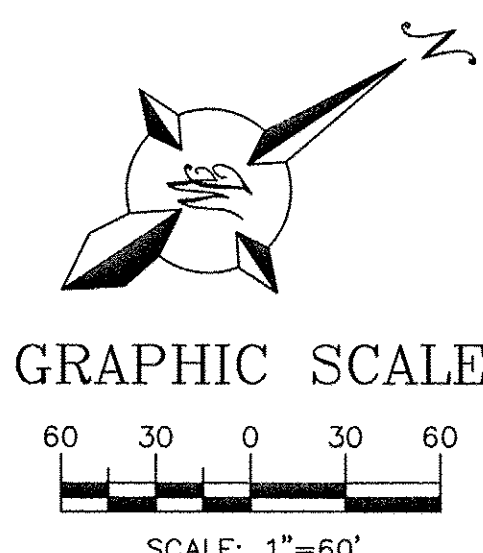
**LEGAL DESCRIPTION:**  
NORTH ANDALUCIA AT LA LUZ - TRACTS 1, 2 AND 3

**PROJECT PHASING**  
PHASE 1 - LOT 1 WALMART  
PHASE 2 - LOTS 2 THRU. 12

- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - RIGHT-OF-WAY
  - BUILDING
  - SIDEWALK
  - PEDESTRIAN CROSSING
  - PLAZA AREA
  - SCREEN WALL
  - RETAINING WALL
  - LANE
  - STRIPING
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - EXISTING SIDEWALK
  - EXISTING LANE
  - EXISTING STRIPING

	TRACT 2A	TRACT 2B	TRACT 2C	TRACT 3A	TRACT 3B	TRACT 1A	TRACT 1B	TRACT 1C	TRACT 1D	TRACT 1E	TRACT 1F	TRACT 1G	TOTAL
TOTAL ACRES	11.47 AC±	0.94 AC±	0.84 AC±	0.75 AC±	0.43 AC±	3.86 AC±	0.63 AC±	1.23 AC±	0.87 AC±	1.32 AC±	0.53 AC±	1.01 AC±	23.68 AC±
BUILDING SIZE	98,901 SF	4,800 SF	6,200 SF	7,000 SF	2,700 SF	44,643 SF	4,000 SF	4,400 SF	7,240 SF	7,240 SF	1,750 SF	6,660 SF	187,491 SF
PARKING REQUIRED	385 SPACES	35 SPACES	35 SPACES *	30 SPACES *	14 SPACES	208 SPACES	20 SPACES	22 SPACES	36 SPACES	53 SPACES	20 SPACES	94 SPACES	912 SPACES
PARKING PROVIDED	423 SPACES	38 SPACES	36 SPACES	32 SPACES	14 SPACES	190 SPACES	22 SPACES	24 SPACES	37 SPACES	63 SPACES	23 SPACES	94 SPACES	946 SPACES
HANDICAP REQUIRED	12 SPACE	2 SPACES	2 SPACES	3 SPACES	1 SPACES	5 SPACES	2 SPACES	2 SPACES	2 SPACES	1 SPACES	2 SPACES	2 SPACES	32 SPACES
HANDICAP PROVIDED	12 SPACES	2 SPACES	2 SPACES	3 SPACES	2 SPACES	5 SPACES	2 SPACES	2 SPACES	2 SPACES	2 SPACES	2 SPACES	2 SPACES	36 SPACES
MAXIMUM F.A.R.	.25	.25	.25	.25	.25	.25	.25	.25	.25	.25	.25	.25	.25
LANDSCAPE REQUIRED	5,442 SF	30,540 SF	7,035 SF	4,375 SF	4,375 SF	7,593 SF	7,593 SF	7,593 SF	7,593 SF	7,593 SF	7,593 SF	7,593 SF	62,402 SF
LANDSCAPE PROVIDED	5,442 SF	28,412 SF	7,035 SF	4,375 SF	4,375 SF	7,593 SF	7,593 SF	7,593 SF	7,593 SF	7,593 SF	7,593 SF	7,593 SF	60,274 SF
BIKE SPACES REQUIRED	20 SPACES	2 SPACES	2 SPACES	3 SPACES	3 SPACES	7 SPACES	3 SPACES	2 SPACES	2 SPACES	2 SPACES	2 SPACES	2 SPACES	51 SPACES
BIKE SPACES PROVIDED	20 SPACES	4 SPACES	4 SPACES	4 SPACES	4 SPACES	8 SPACES	4 SPACES	4 SPACES	4 SPACES	4 SPACES	4 SPACES	4 SPACES	54 SPACES
PHASING	PHASE 1					PHASE 2							

\* 15% BUS CREDIT APPLIED



ENGINEER'S SEAL

RONALD R. BOHANNAN  
P.E. #7868

**Walmart** #5650  
ALBUQUERQUE, NEW MEXICO

**ILLUSTRATIVE SITE PLAN**

**TERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
www.tierrowestllc.com

DRAWN BY  
BJF

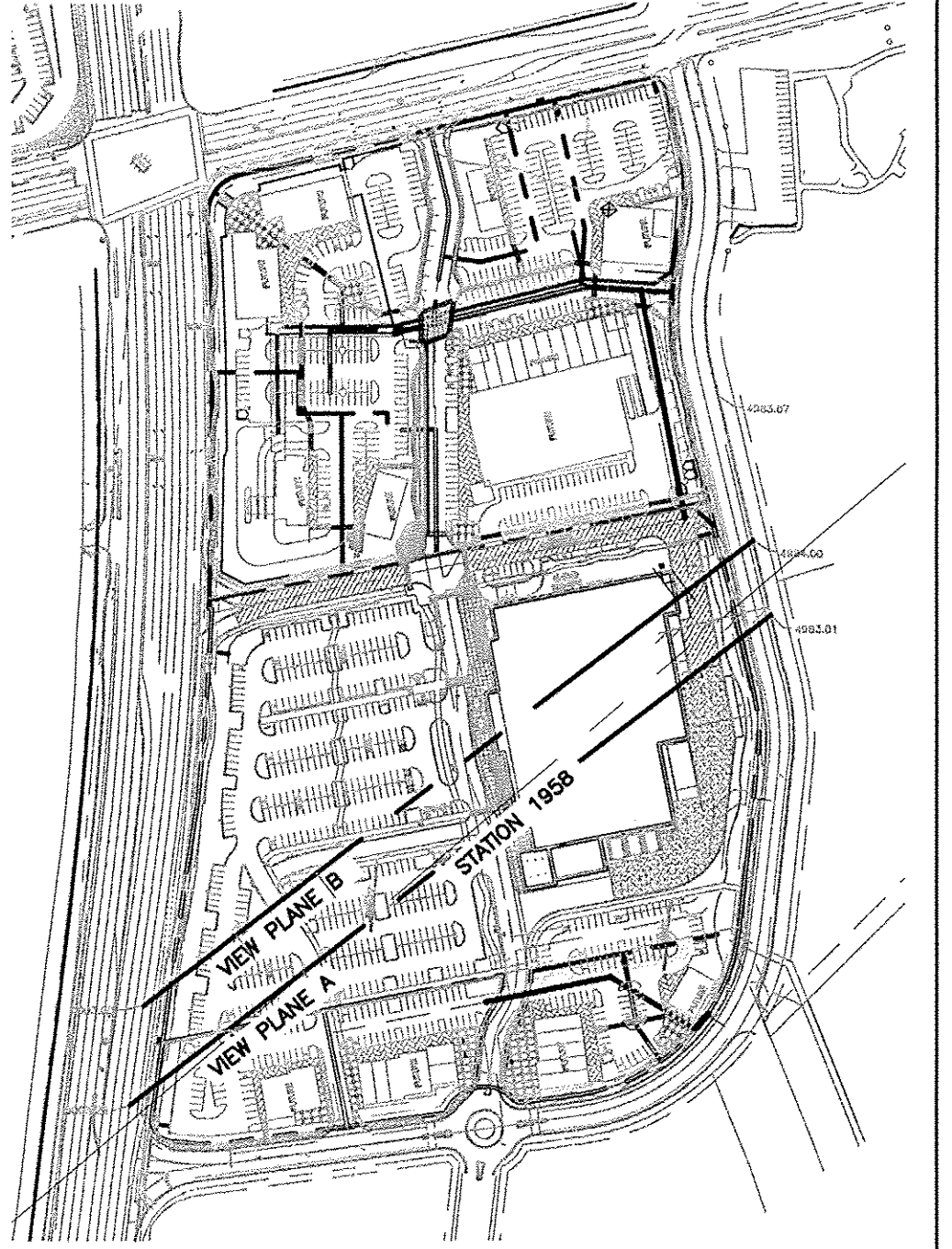
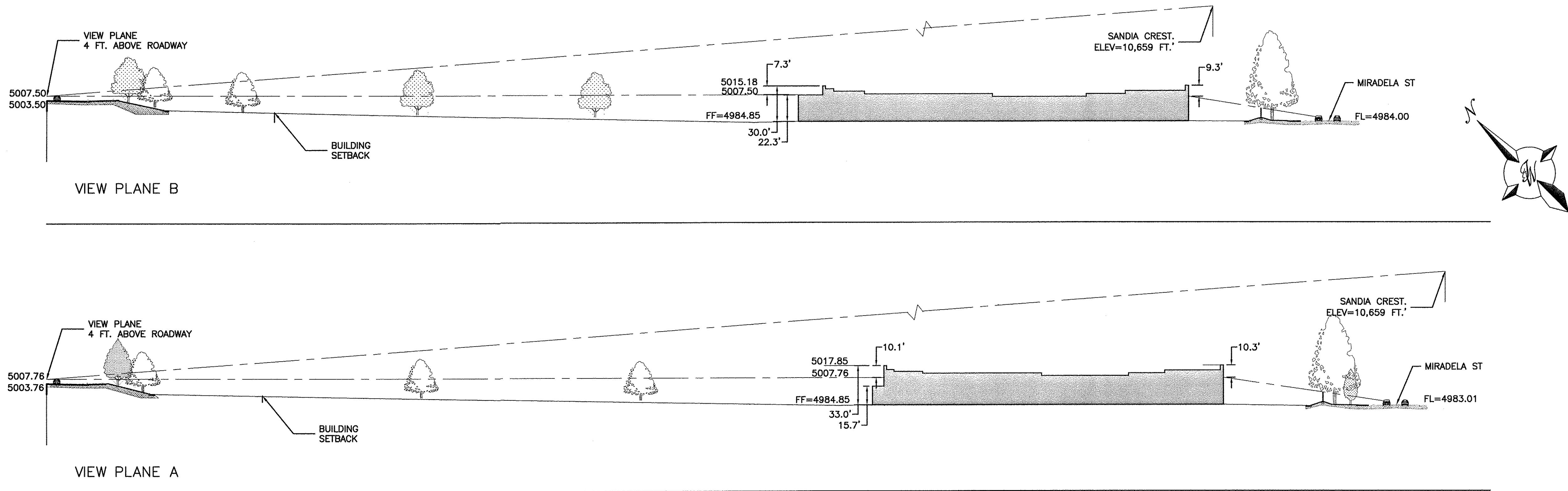
DATE  
4/5/12

2011001-SPSC-ILLUSTRATIVE

SHEET #  
**C4A**

JOB #  
2011001





**Coors Corridor Plan**  
Policy 1-View Preservation

**Rationale:**  
View s of the natural terrain, the bosque, the Rio Grande, the river valley, the east mesa, and the Sandia Mountains are particularly unique and attractive east of Coors Boulevard in corridor Segments 3 and 4. Site planning and design in this area should be especially sensitive to protection and enhancement of these views.

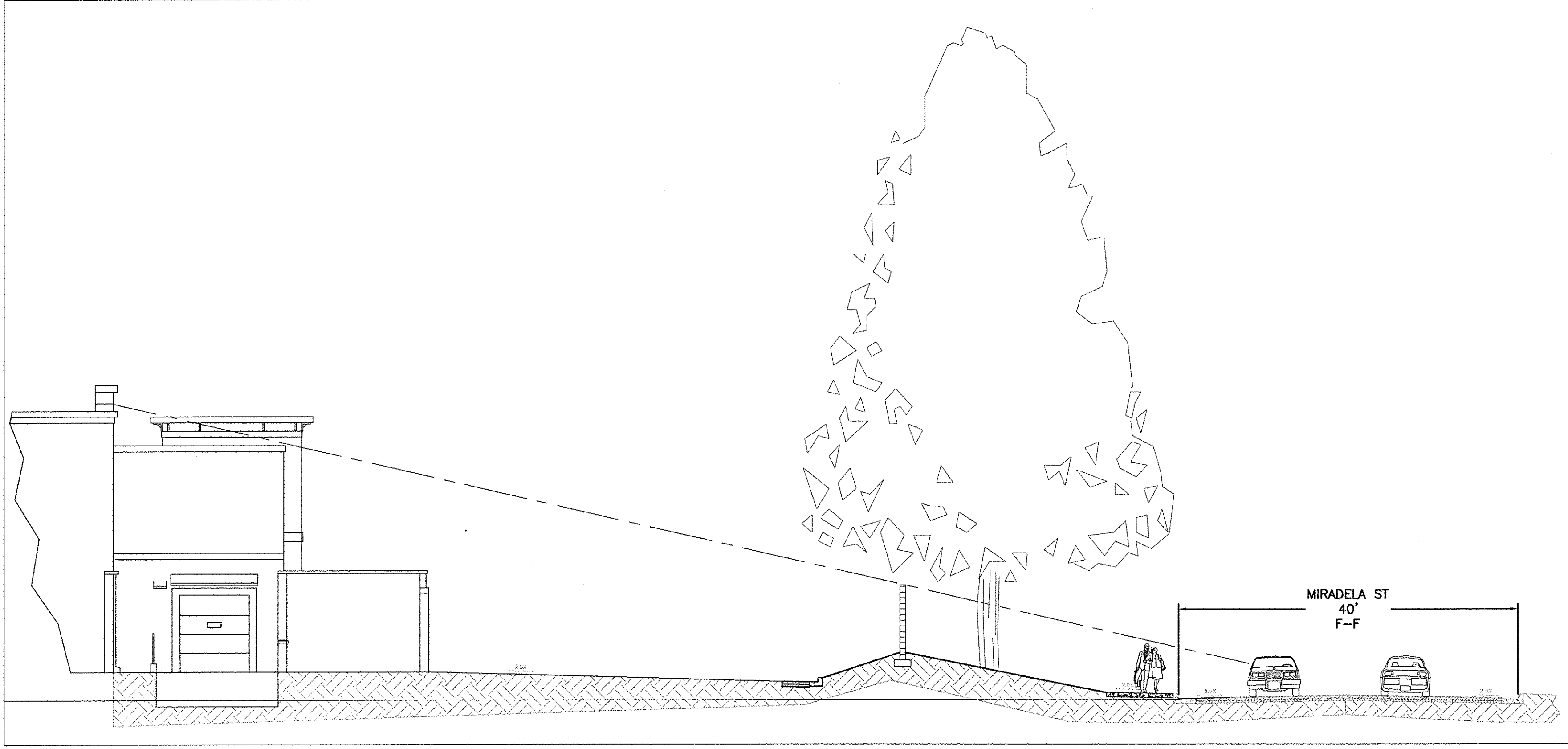
**Definitions:**  
**View Plane:** On the east side of Coors Boulevard, a view plane is established at four feet above the elevation at the east edge of the east driving lane. The view plane extends horizontally at 90 degrees to the easterly boundary of the corridor.

**Sight Lines:** Imaginary sighting lines at a 45-degree angle to the road alignment.

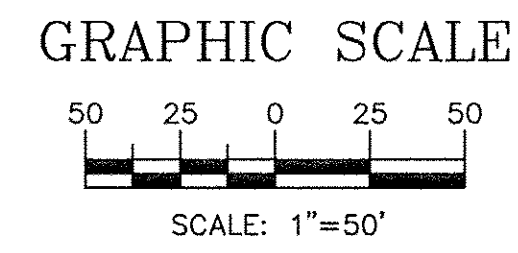
**View Area:** The view area for a parcel of land is a series of rectangular view frames created by the Coors Boulevard grade level as the bottom of the view frame, the highest point of the ridge line of the Sandia Mountains as the top of the view frame. The north and south edges of the view frame are created by vertical extensions from the north and south property lines of the parcel.

**Design Regulations:**

- A. Setback:**
1. The View Preservation Maps, Figures 32, 33, and 34 for corridor Segments 3 and 4 show a shaded area adjacent to the east edge of Coors Boulevard. The east edge of this shaded area represents an elevation approximately ten feet below the elevation at the east edge of the east driving lane. The east edge of the shaded area shall be used to determine the front yard setback for a multi-story building, except that a one-story building may be located not closer than the required 35-foot front yard setback if 1) site grading design is approved, and 2) the height of the building does not penetrate the view plane. **The setback is shown on the view plan analysis above. The proposed building does not encroach on the building setback.**
- D. Height, Bulk and Massing:**
1. View Plane Building Heights: Heights of buildings on the east side of Coors Boulevard in corridor Segments 3 and 4 shall not penetrate above the view plane within the building setback area for multi-story buildings (i.e., at any location with an elevation which is less than ten feet below the east edge of the roadway.) In no event will the building height be permitted to penetrate above the view of the ridge line of the Sandia Mountains as seen from four feet above the east edge of the roadway. Also, in no event will more than one-third of the total building height outside of the setback area for multi-story buildings be permitted to penetrate through the view plane. **The proposed building is not within the building setback line. The proposed building does not penetrate the ridgeline of the Sandia Mountains as demonstrated on the next sheet. The proposed building does not extend more than one third of its building height above the view plane.**
  2. View Plane Building Bulk: Not more than 50 percent of the view area, for any parcel of land on the east side of Coors Boulevard in corridor Segments 3 and 4 shall be obscured by the bulk of the building(s) placed on the parcel. **As the cross-sections and pictures demonstrate the project does not obstruct the views to the Sandia Mountains and provides views to the bosque.**
  3. Massing: projects containing several buildings should provide variety in building size and massing. A transition from low buildings on roadway frontages to larger and taller structures on the interior of the property is generally encouraged. **There is only one building proposed for this site and the building elevations show the proposed building has varying heights.**



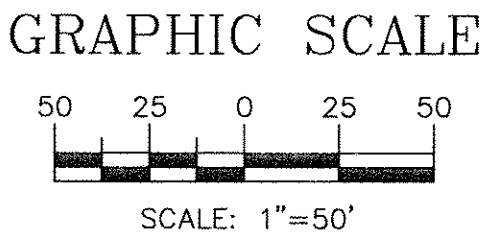
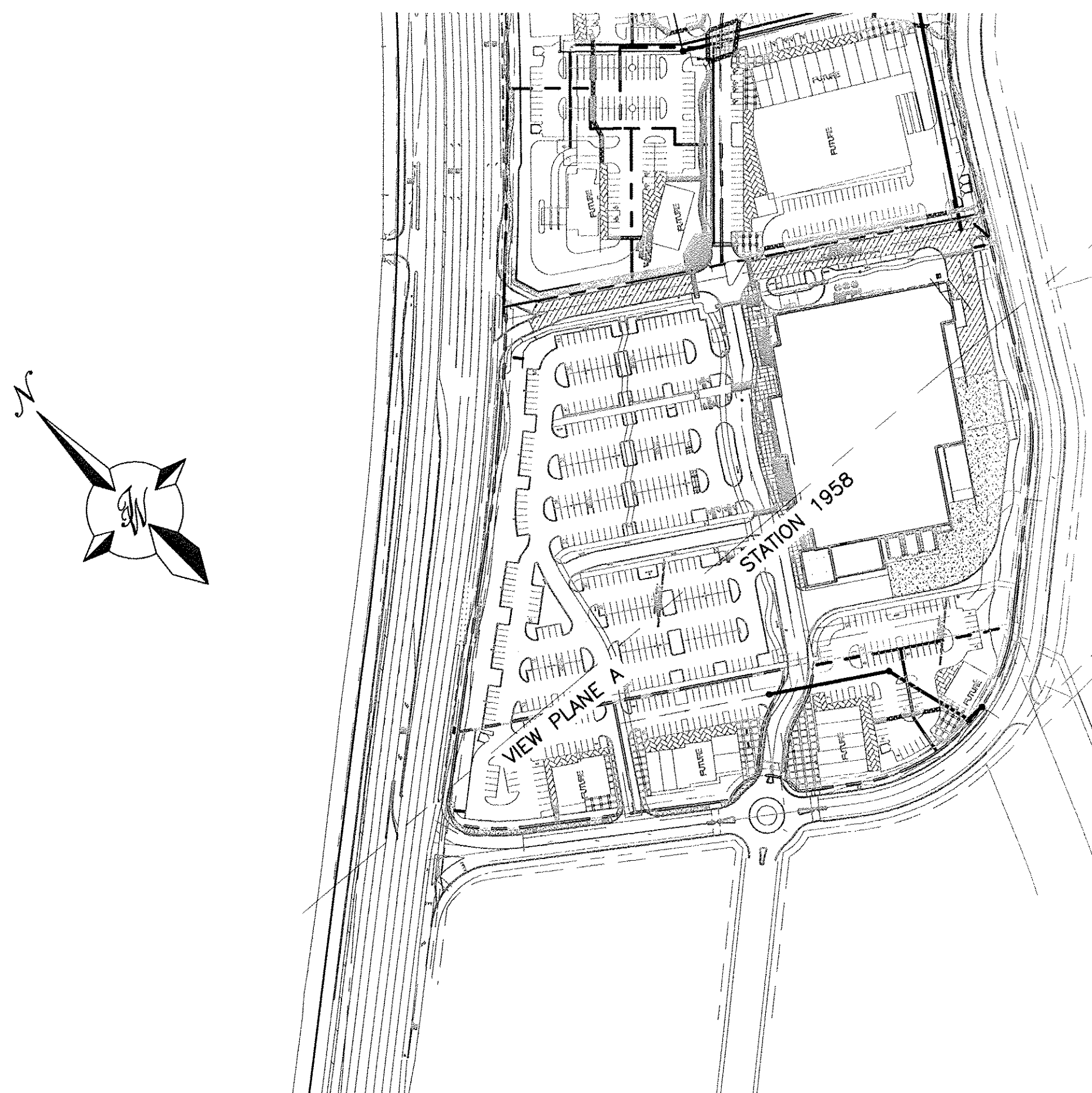
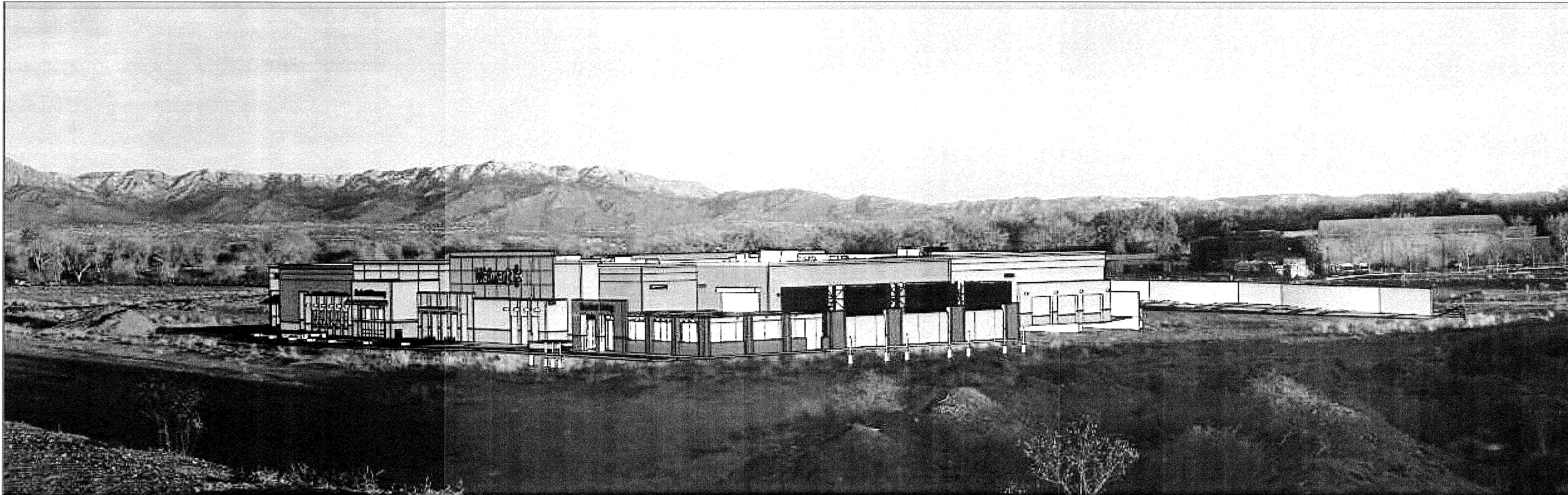
SECTION VIEW  
SCALE: 1"=10'



NOTE:  
BUILDING SETBACK AREA  
IS 10 FT. BELOW COORS

ENGINEER'S SEAL	<b>Walmart</b> #5650 ALBUQUERQUE, NEW MEXICO	DRAWN BY BJF
	VIEW PLANE EXHIBIT	DATE 4/5/12
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2011001_WALMART VIEW PLANE EXHIBIT
RONALD R. BOHANNAN P.E. #7868		SHEET # <b>C5</b>
		JOB # 2011001

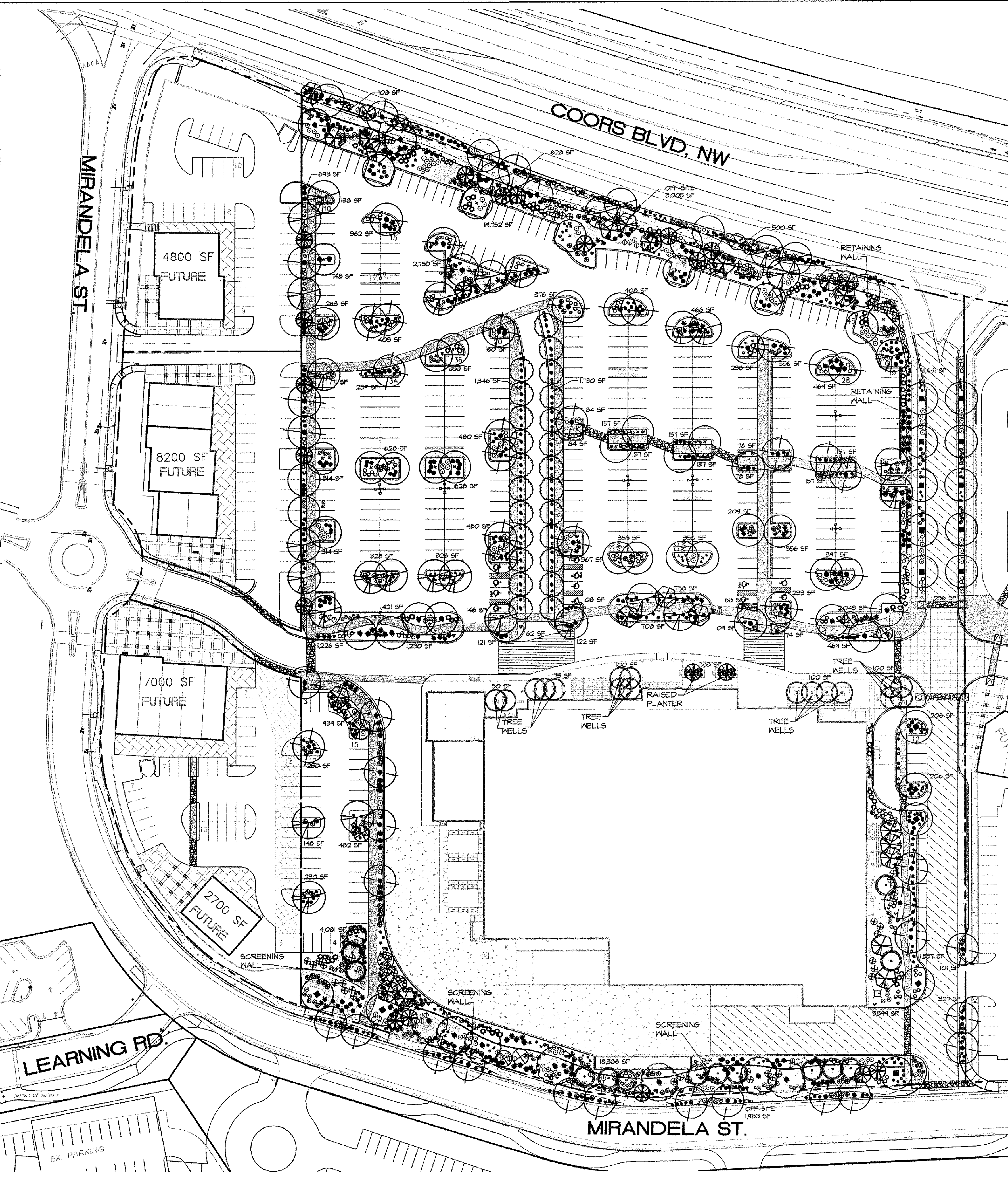




The view corridor plan was established using a Tremble Model VX Total Station and establishing the corners of the proposed building in the field along with the vertical elevations. The points where the photos were taken were also established and surveyed into the overall file. A photo scan set at 4 foot height elevation was set up and scanned into the file. The photos and reference points were established in the ACAD file and then the building superimposed on the photo at the correct physical elevation and height of the building. The photos represent a graphical representation of the proposed building at the points established on Coors Blvd.

ENGINEER'S SEAL	<b>Walmart</b> #5650 ALBUQUERQUE, NEW MEXICO	DRAWN BY BJF
	VIEW PLANE EXHIBIT	DATE 4/5/12
	 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2011001_WALMART VIEW PLANE EXHIBIT
RONALD R. BOHANNAN P.E. #7868		SHEET # <b>C6</b>
		JOB # 2011001





# GENERAL LANDSCAPE NOTES

## LANDSCAPE DESIGN

ALL PLANTING AREAS WILL BE TOP DRESSED WITH A COMBINATION OF 1/2" BUILDING BROWN ROCK MULCH AND 7/8" SANTA FE BROWN GRAVEL MULCH. 2-4" COBBLE WILL ALSO BE USED AS ACCENT MULCH IN LANDSCAPE BEDS.

## IRRIGATION SYSTEM

IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE (6-1-140 RQA 1994) SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUND COVER PLANTING AREAS. THE POINT OF CONNECTION WILL COME OFF OF THE DOMESTIC WATER SYSTEM. THE IRRIGATION SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER AND BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. THE IRRIGATION SYSTEM WILL HAVE TWO OR MORE INDEPENDENT PROGRAMMING SCHEDULES AND WILL BE FITTED WITH AN ET (EVAPOTRANSPIRATION) SYSTEMS MANAGER. THE ET MANAGER GATHERS WEATHER DATA ON SITE, CONTINUOUSLY SELF-ADJUSTS TO CALCULATE THE IDEAL PROGRAM FOR THE LANDSCAPE, RESULTING IN AN AVERAGE OF 30% WATER SAVINGS. THE IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AND CHECKED QUARTERLY.

## MAINTENANCE RESPONSIBILITY

MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W. SHALL BE THE RESPONSIBILITY OF THE OWNER. ALL LANDSCAPE, INCLUDING STREET TREES, SHALL BE MAINTAINED IN A LIVING, HEALTHY CONDITION. ALL DEAD OR DYING PLANTS SHALL BE REPLACED WITHIN 60 DAYS.

## WATER CONSERVATION ORDINANCE COMPLIANCE

THE LANDSCAPE PLAN FOR THIS SITE EXCLUDES HIGH WATER USE TURF. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED. PLANTING BEDS ARE SET AT GRADE AND THE USE OF WATER NOTCHES WILL ALLOW SITE RUN-OFF TO ACCESS LANDSCAPE PLANT MATERIALS THROUGH CURB. REFERENCE SITE PLAN AND GRADING PLAN FOR SPECIFIC NOTCH LOCATIONS.

## PNM COORDINATION

COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENINGS WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

## COORS BOULEVARD STREET TREES

THE STREETSCAPE PLAN ALONG COORS WAS DESIGNED TO RESPOND TO THE INTENT OF THE STREET TREE ORDINANCE BALANCED WITH THE VIEW REQUIREMENTS IN THE COORS CORRIDOR PLAN. IT SEEMS COUNTERPRODUCTIVE TO DESIGN THE SITE TO ENSURE THAT BUILDINGS DON'T BLOCK THE VIEW OF THE SANDIA MOUNTAINS AND BOSQUE AND THEN PLANTING A CONTINUOUS CANOPY OF STREET TREES. IN ORDER TO MEET THIS BALANCE, THE LANDSCAPE PLAN HAS BEEN MODIFIED TO PROVIDE THE REQUIRED NUMBER OF STREET TREES (20), WHILE CLUSTERING THE TREES TO CREATE OPEN VIEW CORRIDORS THROUGH THE SITE.

## LANDSCAPE COVERAGE

LANDSCAPE COVERAGE SHALL BE 75% LIVING GROUND COVER AT FULL MATURITY.

SITE AREA (11.41 AC.)	494,710 SF
BUILDING FOOTPRINT:	- 88,645 SF
GARDEN CENTER:	- 10,206 SF
OFF-SITE LANDSCAPE AREA:	- 4,382 SF
NET LOT AREA:	395,884 SF

## IMPERVIOUS AREA:

311,923 SF
REQUIRED LANDSCAPE (15%):
59,383 SF

## PROVIDED LANDSCAPE

OFF-SITE/ROW:	4,980 SF
ON SITE:	(21%) 83,966 SF
TOTAL PROVIDED:	88,946 SF

## VEGETATIVE COVER REQUIREMENT

VEGETATIVE COVER IS CALCULATED BY MULTIPLYING THE SQUARE FOOT COVERAGE PROVIDED BY EACH PLANT TYPE AND MULTIPLYING IT BY THE QUANTITY OF EACH PLANT TYPE, THEN TOTALING THOSE FIGURES.

## REQUIRED LIVE VEGETATIVE COVER BASED

ON REQUIRED LANDSCAPE AREA (75%):	44,531 SF
PROVIDED LIVE VEGETATIVE COVER:	45,430 SF

## PARKING LOT TREES

WALMART IS PROVIDING 423 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 8 SPACES.

## PARKING LOT TREES REQUIRED:

53
PARKING LOT TREES PROVIDED:
103

## STREET TREES

COORS BOULEVARD FRONTAGE IS 590'. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C. IN ADDITION THE APPLICABLE STANDARDS THAT APPLY REQUIRE SPACING OF 25' ON CENTER.

## STREET TREES REQUIRED:

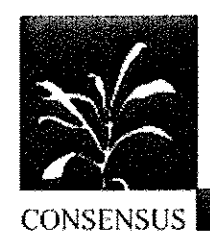
24
STREET TREES PROVIDED:
24

## PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
23		CHITALPA TASHKENTENSIS CHITALPA	24" BOX	10' HT. X 6' SFR. 30' HT. X 30' SFR.	MEDIUM
14		FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15 GAL.	8' HT. X 5' SFR. 15' HT. X 15' SFR.	MEDIUM
31		QUERCUS SHUMARDII SHUMARD OAK	2.5" B&B	14' HT. X 6' SFR. 60' HT. X 60' SFR.	MEDIUM
27		FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	2.5" B&B	14' HT. X 6' SFR. 40' HT. X 40' SFR.	MEDIUM +
17		KOELREUTERIA PANICULATA GOLDEN RAIN TREE	2.5" B&B	12' HT. X 5' SFR. 25' HT. X 25' SFR.	MEDIUM
14		PINUS NIGRA AUSTRIAN PINE	B&B	10' MIN HT. 35' HT. X 25' SFR.	MEDIUM
34		PISTACHIA CHINENSIS CHINESE PISTACHE	3" B&B	14' HT. X 6' SFR. 60' HT. X 60' SFR.	MEDIUM
17		PLATANUS WRIGHTII ARIZONA SYCAMORE	2.5" B&B	14' HT. X 6' SFR. 60' HT. X 70' SFR.	MEDIUM +
7		POPULUS NISILIZENI RIO GRANDE COTTONWOOD	2.5" B&B	16' HT. X 6' SFR. 70' HT. X 60' SFR.	MEDIUM +
24		PYRUS CALLERYANA 'CLEVELAND' FLOWERING PEAR	2" B&B	14' HT. X 5' SFR. 30' HT. X 20' SFR.	MEDIUM +
34		ROBINIA AMBIGUA 'PURPLE ROBE' PURPLE ROBE LOCUST	2" B&B	16' HT. X 6' SFR. 40' HT. X 30' SFR.	MEDIUM
20		VITEA AGNUS-CASTUS CHASTE TREE	24" BOX	8' HT. X 5' SFR. 20' HT. X 20' SFR.	MEDIUM
68		SHRUBS/GROUNDCOVERS CARYOPTERIS CLANDONENSIS BLUE MIST	5-GAL.	3" O.C. 3' HT. X 3' SFR.	MEDIUM
101		CHRYSOTHAMNUS NAUSEOSUS CHAMISA	1-GAL.	5" O.C. 4' HT. X 4' SFR.	LOW
101		CYTISUS SCOP. 'LENA'S BROOM' LENA'S BROOM	5-GAL.	4" O.C. 4' HT. X 4' SFR.	LOW
82		ERIGACERIA LARICIFOLIA 'AGUIRRE' TURPENTINE BUSH	1-GAL.	2" O.C. 2' HT. X 2' SFR.	LOW
62		FALLUGIA PARADOXA APACHE PLUME	5-GAL.	5" O.C. 4' HT. X 4' SFR.	LOW
48		HESPERALOE PARVIFLORA RED YUCCA	5-GAL.	3" O.C. 3' HT. X 3' SFR.	MEDIUM
81		JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER (FEMALE)	5-GAL.	5" O.C. 2' HT. X 5' SFR.	LOW +
182		LAVENTULA ANGUSTIFOLIA ENGLISH LAVENDER	1-GAL.	4" O.C. 3' HT. X 3' SFR.	MEDIUM
61		RAPIHOLEPIS INDICA INDIA HAWTHORN	5-GAL.	5" O.C. 3' HT. X 4' SFR.	MEDIUM
65		FEROVSKIA A. 'LITTLE SPIRE' DWARF RUSSIAN SAGE	5-GAL.	5" O.C. 3' HT. X 4' SFR.	MEDIUM
106		POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3" O.C. 3' HT. X 3' SFR.	LOW +
86		RHUS TRILOBATA THREE-LEAF SUMAC	5-GAL.	4" O.C. 4' HT. X 4' SFR.	LOW +
132		ROSMARINUS OFFICINALIS ROSEMARY	5-GAL.	6" O.C. 5' HT. X 5' SFR.	LOW +
103		SALVIA GREGGII CHERRY SAGE	5-GAL.	3" O.C. 3' HT. X 3' SFR.	MEDIUM
118		ORNAMENTAL GRASSES CALAMAGROSTIS 'KARL FOERSTER'S' FEATHER REED GRASS	5-GAL.	3" O.C. 3' HT. X 3' SFR.	LOW +
141		MISCANTHUS SIN. 'GRACILLIMUS' MAIDEN HAIR GRASS	5-GAL.	4" O.C. 8' HT. X 4' SFR.	LOW
200		MULHENBERGIA CAP. 'REGAL MIST' MUHLY GRASS	5-GAL.	3" O.C. 3' HT. X 3' SFR.	MEDIUM
90		NASSELLA TENISSIMA THREADGRASS	1-GAL.	3" O.C. 3' HT. X 3' SFR.	LOW +
110		NOLINA MICROCARPA BEARGRASS	5-GAL.	5" O.C. 4' HT. X 5' SFR.	LOW
53		VINES LONICERA JAPONICA HALL'S HONEYSUCKLE	5-GAL.	CLIMBING 12' SFR.	MEDIUM

76,645 SF	2"-4" BUILDING BROWN COBBLE MULCH (6" DEPTH OVER DENITT PRO-5 WEED CONTROL FABRIC)
12,304 SF	1" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DENITT PRO-5 WEED CONTROL FABRIC)
173	MOSS ROCK BOULDERS (3'X3' MINIMUM)

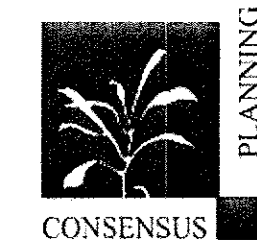
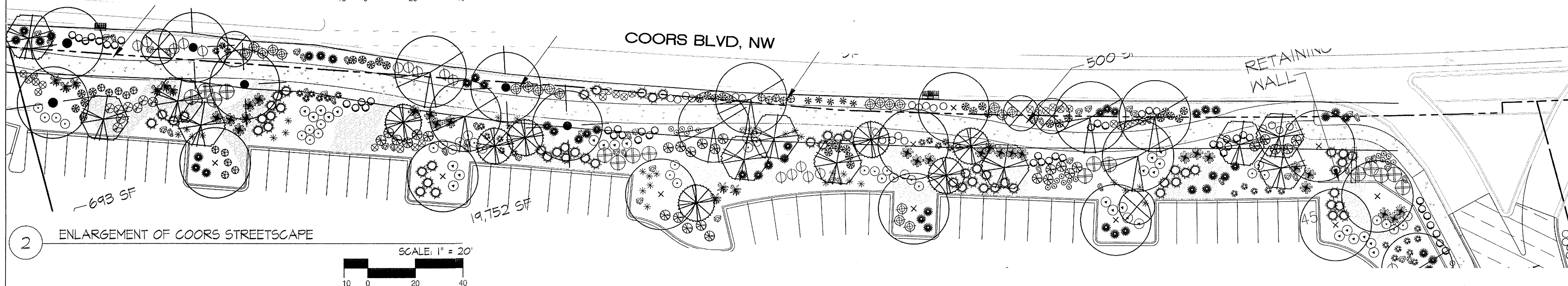
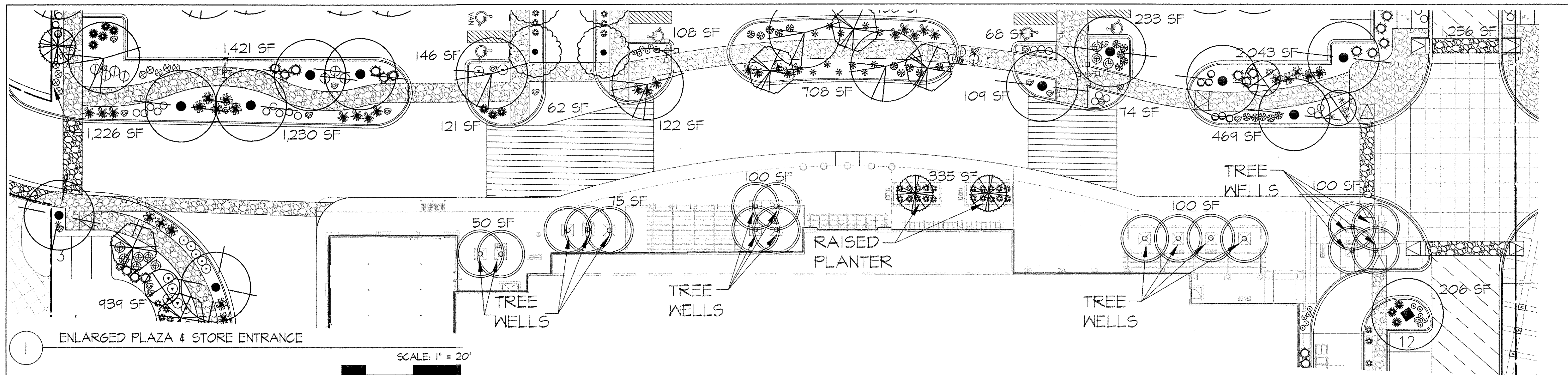
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**CONSensus PLANNING, INC.**  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

ENGINEER'S SEAL	<b>Walmart #5650</b> ALBUQUERQUE, NEW MEXICO	DRAWN BY BJF
	<b>LANDSCAPING PLAN 1</b>	DATE 4/2/12
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2011001-LPE
DESIGNED BY P.E. #78883		SHEET # <b>C7</b>
		JOB # 2011001

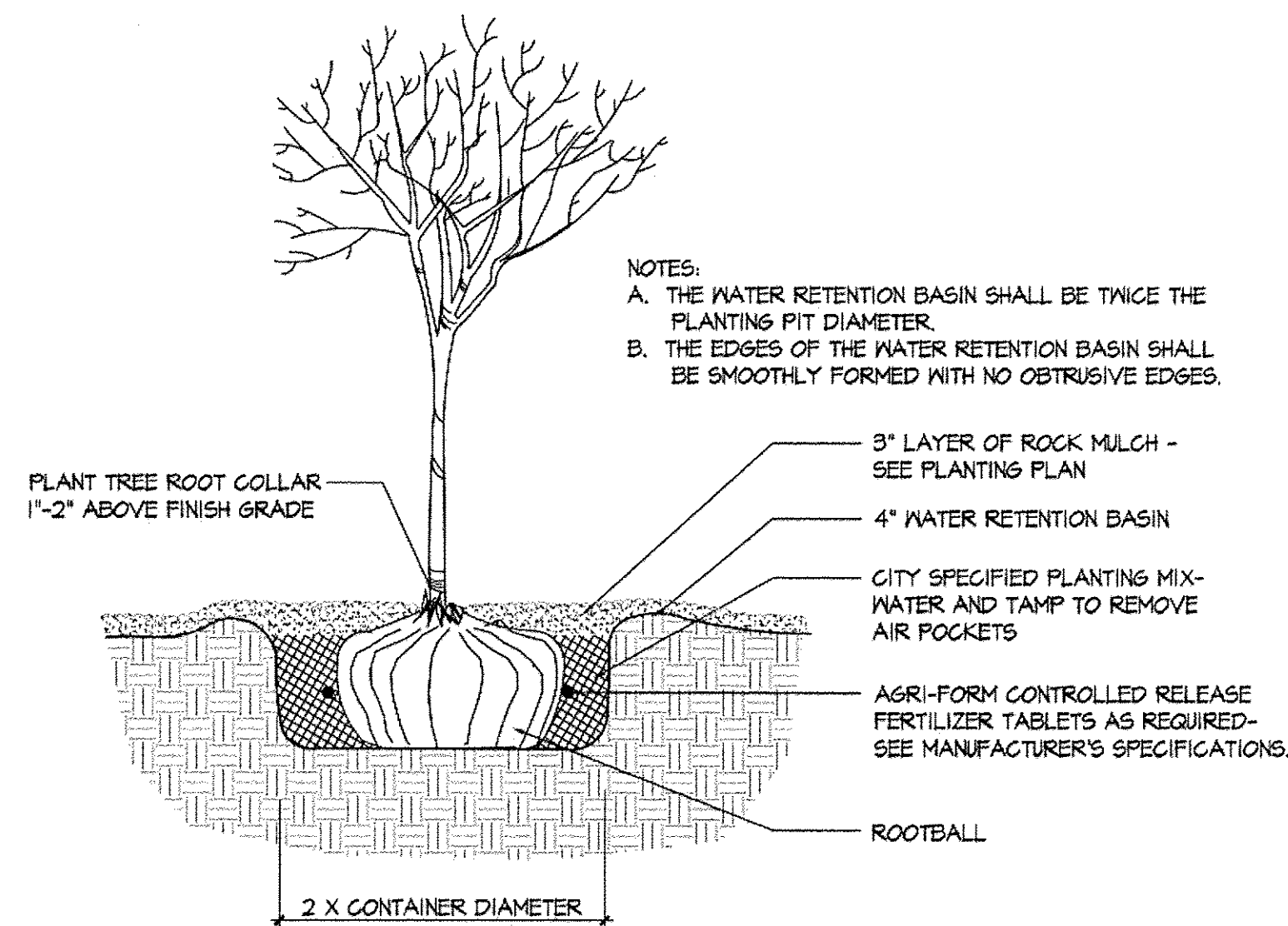




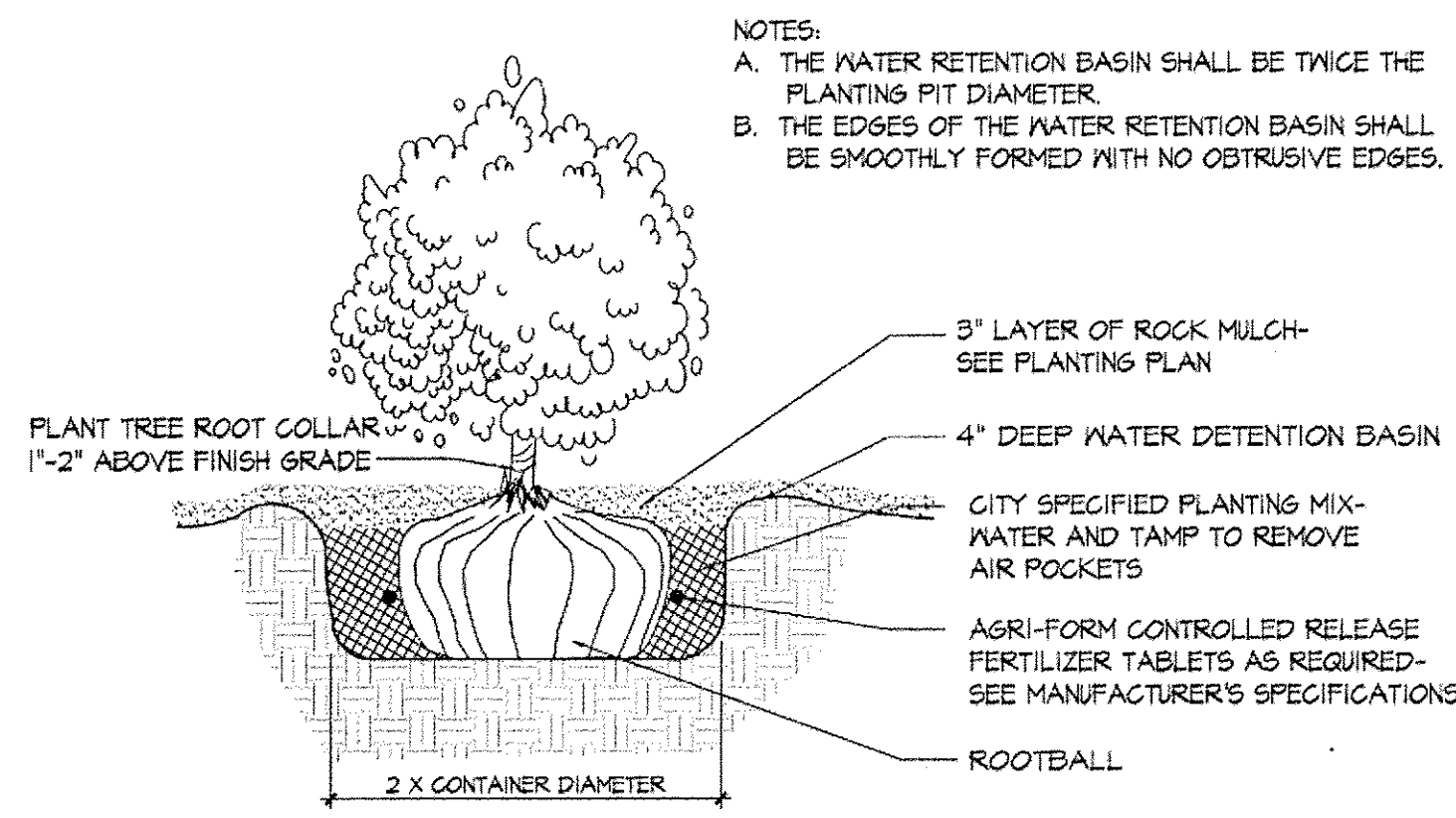
**CONSENSUS PLANNING, INC.**  
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 302 Eighth Street NW  
 Albuquerque, NM 87102  
 (505) 764-9801 Fax 842-5495  
 e-mail: cp@consensusplanning.com

ENGINEER'S SEAL	<b>Walmart</b> #5650	DRAWN BY BJF
	ALBUQUERQUE, NEW MEXICO	DATE 4/2/12
	<b>LANDSCAPING PLAN 2</b>	2011001-LPE
ENGINEER'S SEAL	<b>TERRA WEST, LLC</b>	SHEET # <b>C8</b>
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	JOB # 2011001
	REGISTERED PROFESSIONAL P.E. #78882	

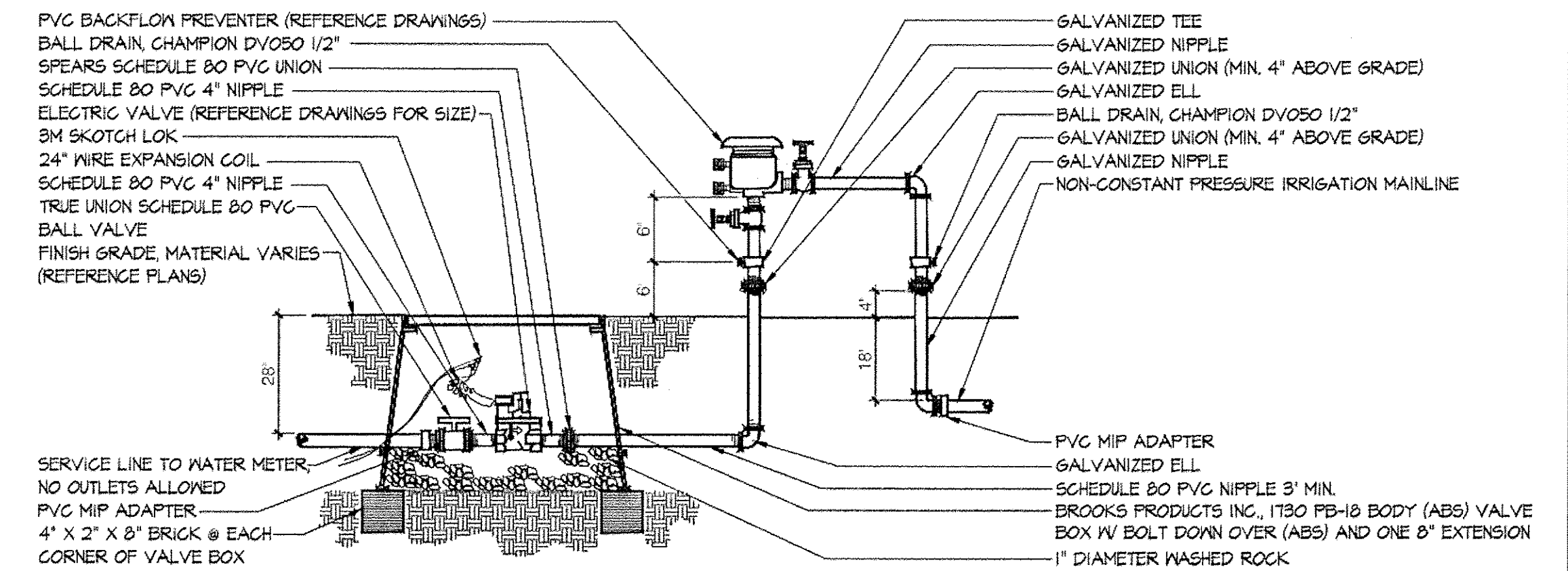




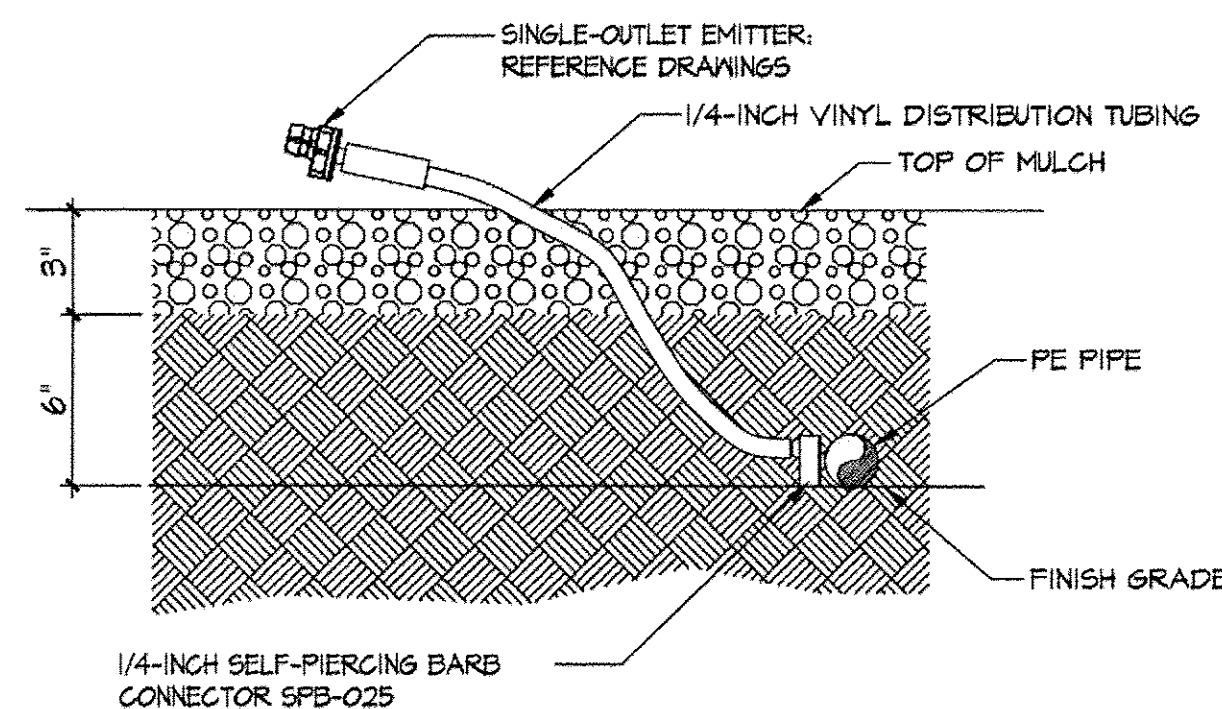
1 TREE PLANTING @ GRADE N.T.S.



2 SHRUB PLANTING @ GRADE N.T.S.



3 MASTER VALVE W/ PVB N.T.S.

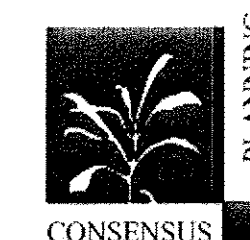


4 DRIP EMITTER DETAIL N.T.S.

#### IRRIGATION SCHEDULE

SYSTEMS ARE GENERALLY DESIGNED TO OPERATE FOR APPROXIMATELY ONE HOUR OF RUN TIME PER WEEK AFTER PLANT ESTABLISHMENT. WATERING SHALL OCCUR MORE OFTEN DURING THE FIRST TWO YEARS. ONCE NATIVE OR XERIC PLANTS THAT DON'T GROW WELL ON REGULARLY MOIST SOILS ARE ESTABLISHED, OPERATE THE SYSTEM WEEKLY ON ESTABLISHED PLANTS AND LET SOIL DRY OUT IN BETWEEN WATERING. MORE WATER WILL BE REQUIRED IN PEAK SUMMER HEAT THAN IN COOLER SPRING AND FALL TEMPERATURES SO ADJUST IRRIGATION RUN TIMES ACCORDINGLY.

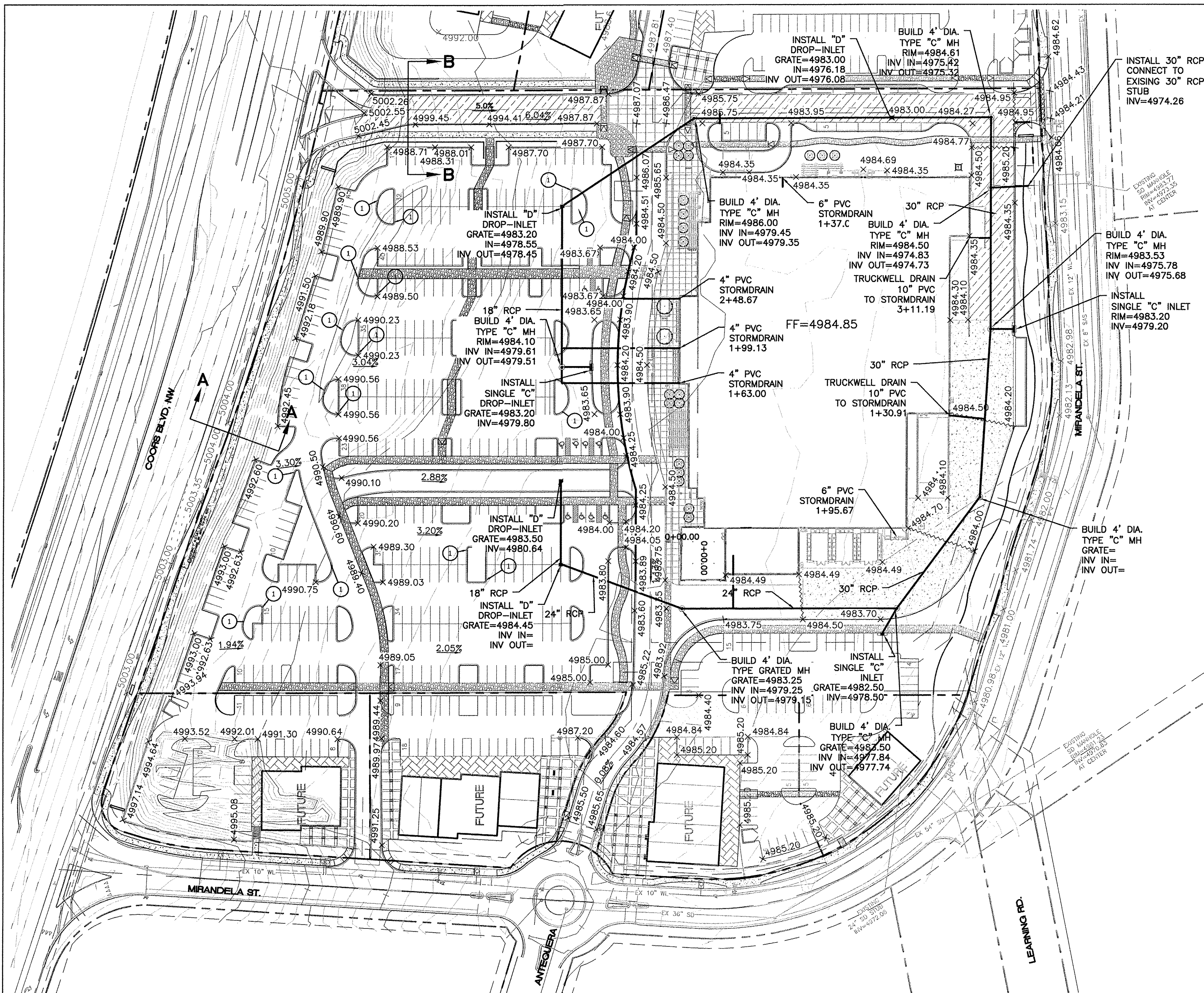
DAILY HIGH TEMPERATURE	WATERING TIME	INTERVAL (PRE / POST ESTABLISHMENT)
50°-75°	0.5 HOURS	EVERY OTHER DAY / WEEKLY
75°-95°	1.0 HOURS	EVERY OTHER DAY / WEEKLY
95°-115°	2.0 HOURS	EVERY OTHER DAY / WEEKLY



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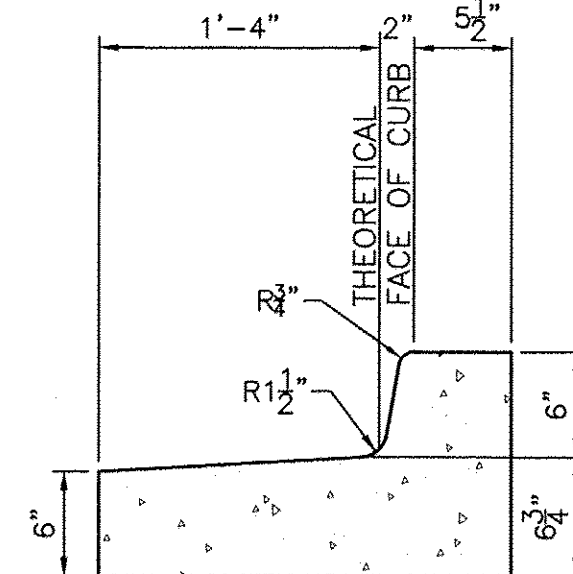
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	<b>LANDSCAPING PLAN</b>	DATE 4/2/12
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2011001-LPE
		SHEET # <b>C9</b>
		JOB # 2011001





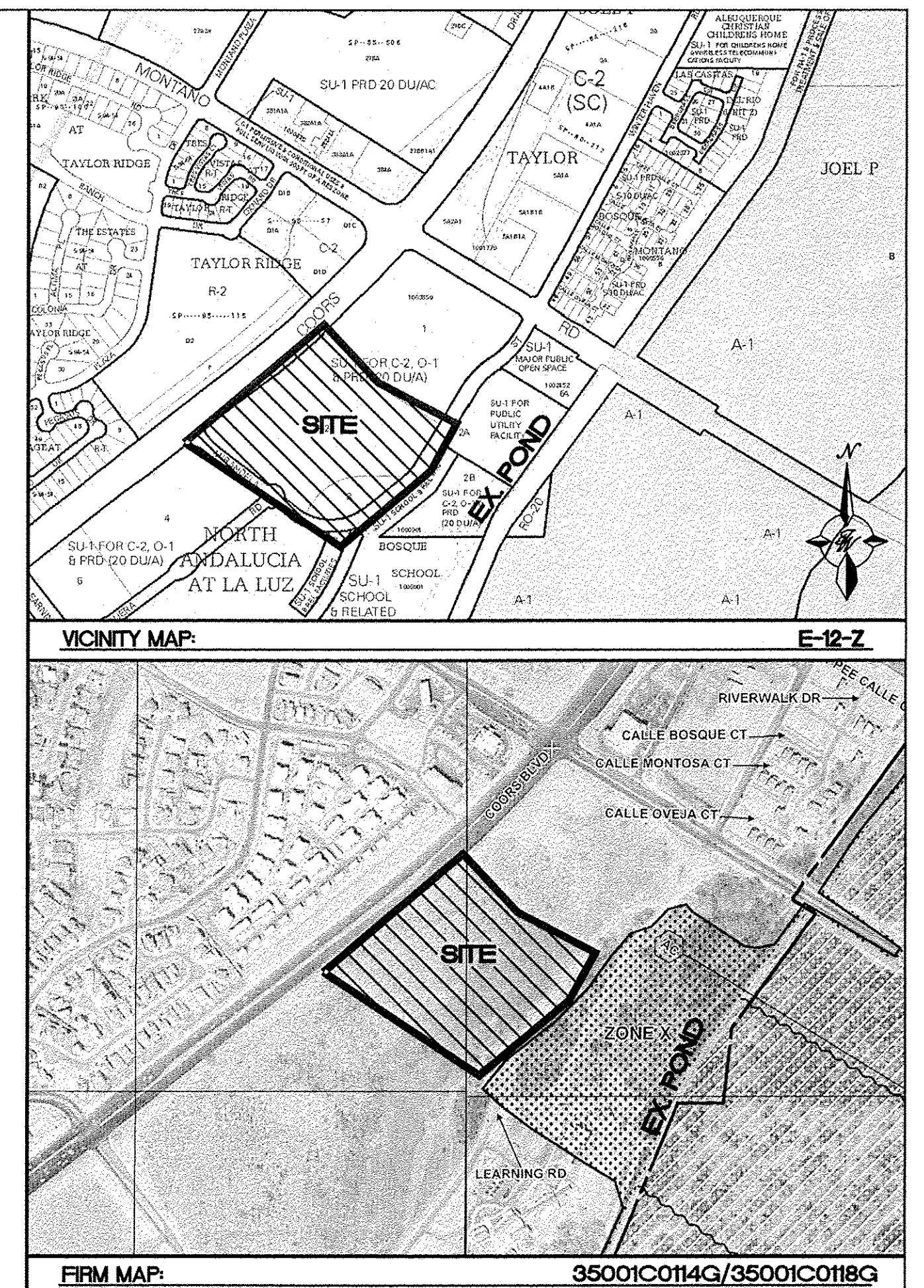
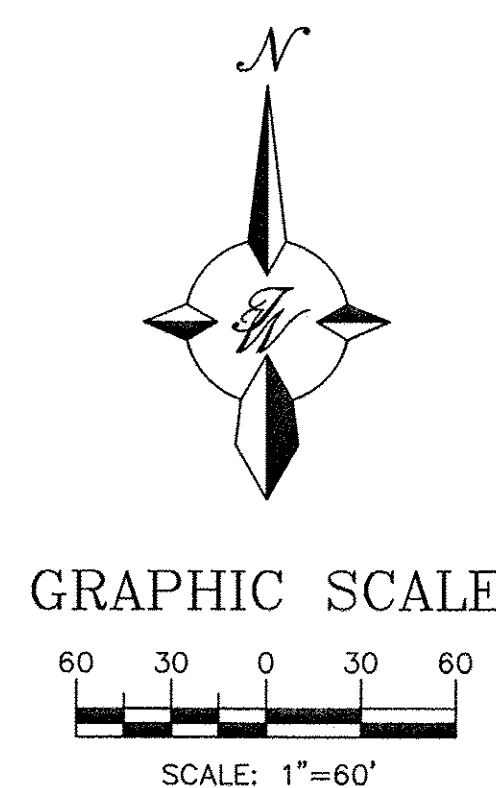
- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - RIGHT-OF-WAY
  - BUILDING
  - SIDEWALK
  - SCREEN WALL
  - RETAINING WALL
  - 5010 CONTOUR MAJOR
  - 5011 CONTOUR MINOR
  - x 5048.25 SPOT ELEVATION
  - FLOW ARROW
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - 5010 EXISTING CONTOUR MAJOR
  - 5011 EXISTING CONTOUR MINOR
  - x 5048.25 EXISTING SPOT ELEVATION
- 1 1 FT. CURB CUT (SEE LANDSCAPE ISLAND WATER HARVESTING DETAIL SHEET C14)

**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



- CURB GENERAL NOTES:**
- ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
  - PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
  - ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
  - 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

**STANDARD CURB / GUTTER**  
NTS

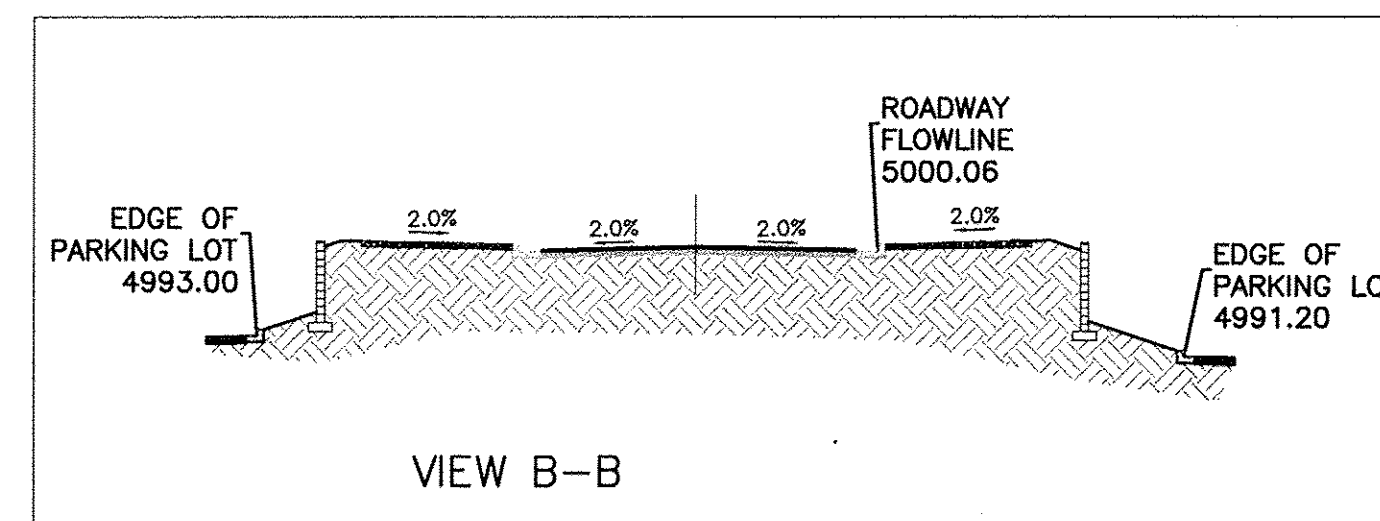
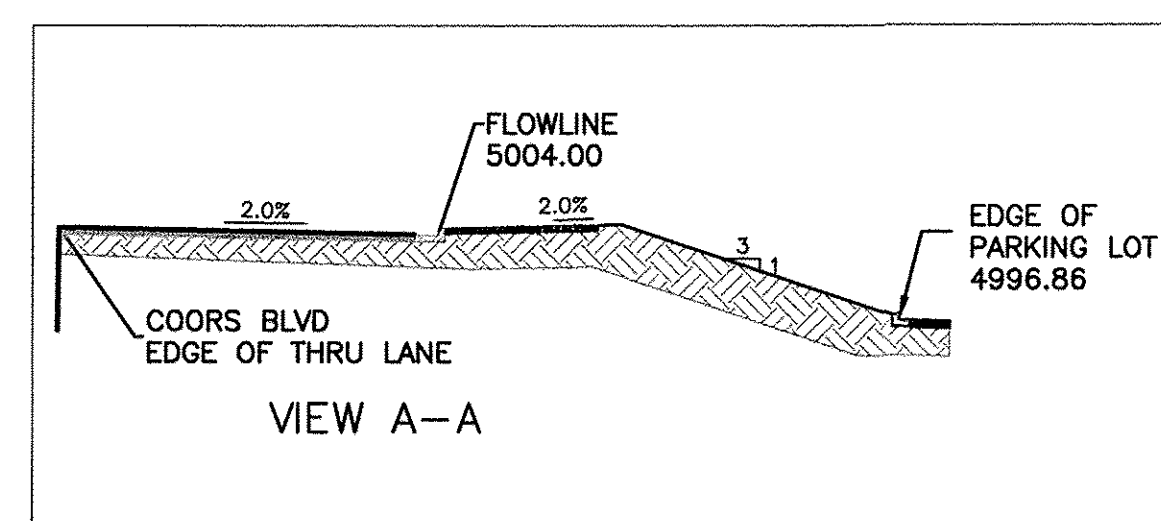


**DRAINAGE NARRATIVE:**

THIS PROJECT IS PART OF THE APPROVED NORTH ANDALUCIA AT LA LUZ MASTER DRAINAGE PLAN COMPLETED BY BOHANNAN AND HUSTON IN APRIL 2006 AND IS CURRENTLY VACANT. THE SITE CURRENTLY SLOPES FROM WEST TO EAST AND DRAINS ONTO MIRANDELA ROAD. THE STORM WATER IS COLLECTED IN EXISTING DROP INLETS AND CONVEYED TO AN EXISTING RETENTION POND LOCATED ON TRACTS 2A & 2B ALONG THE BOSQUE IMMEDIATELY EAST OF THE SITE AS SHOWN ON THE ABOVE VICINITY MAP.

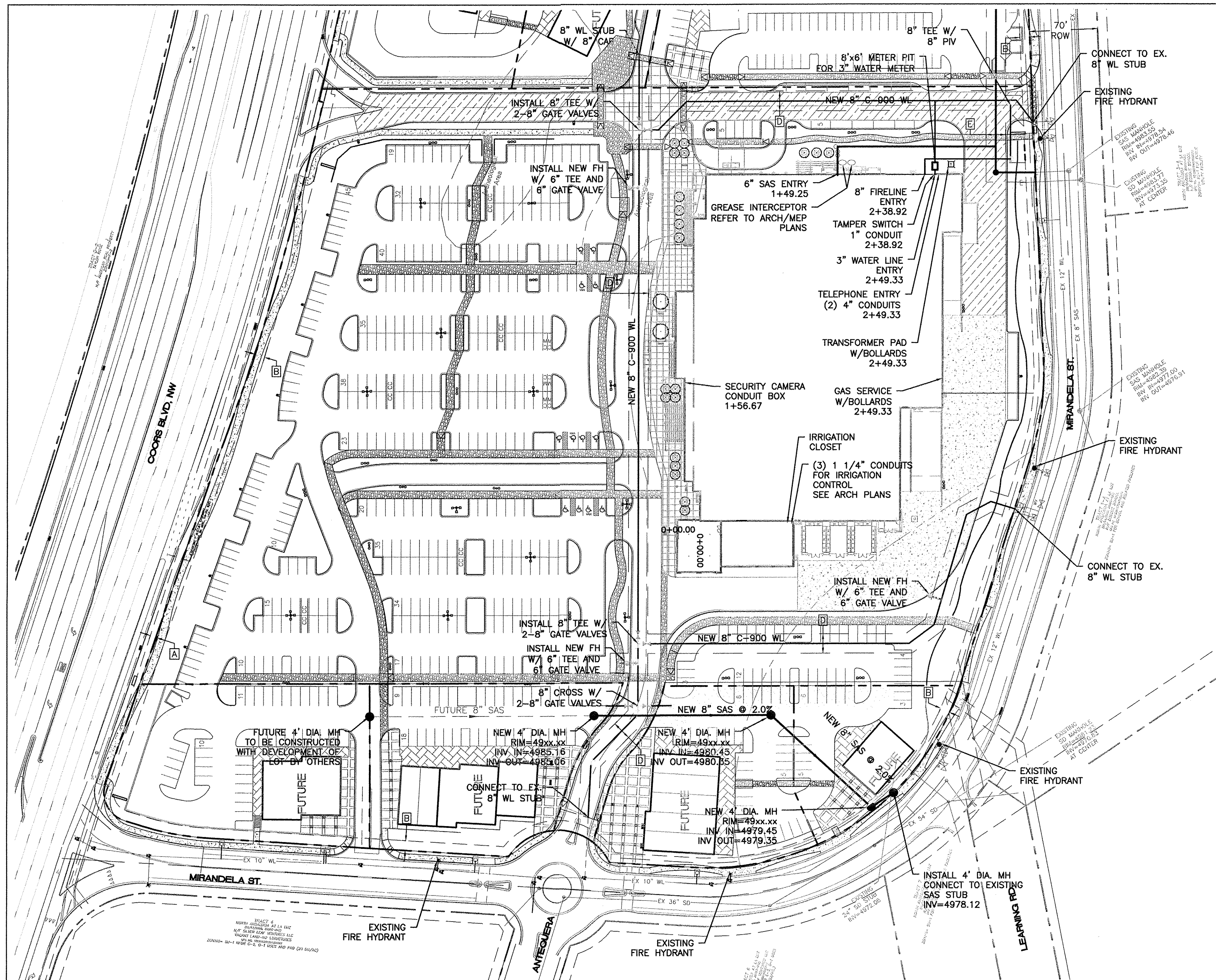
AS SHOWN ON THE FIRM MAP ABOVE, THIS SITE IS OUTSIDE OF A FLOOD PLAIN. THE PROPOSED DRAINAGE PLAN WOULD UTILIZE PASSIVE WATER HARVESTING AND OTHER LOW IMPACT DEVELOPMENT TECHNIQUES WHERE POSSIBLE. THE STORM WATER IS THEN COLLECTED IN A SERIES OF DROP INLETS. THE DROP INLETS WOULD CONVEY THE STORM WATER THROUGH NEW STORM SEWER THAT WOULD CONNECT TO THE EXISTING SYSTEM LOCATED IN MIRANDELA ROAD. THE EXISTING STORM SEWER WOULD CONVEY THE FLOWS TO THE EXISTING RETENTION POND LOCATED ON TRACTS 2A AND 2B. THAT POND WAS SIZED FOR THE 100 YEAR DEVELOPED FLOWS FOR NORTH ANDALUCIA. THE 50 YEAR DEVELOPED FLOWS WOULD ALSO BE CONTAINED IN THE EXISTING RETENTION POND.

**NOTE:**  
ALL PEDESTRIAN CROSSINGS SHALL NOT EXCEED A 2% CROSS SLOPE PER ADA REQUIREMENTS.

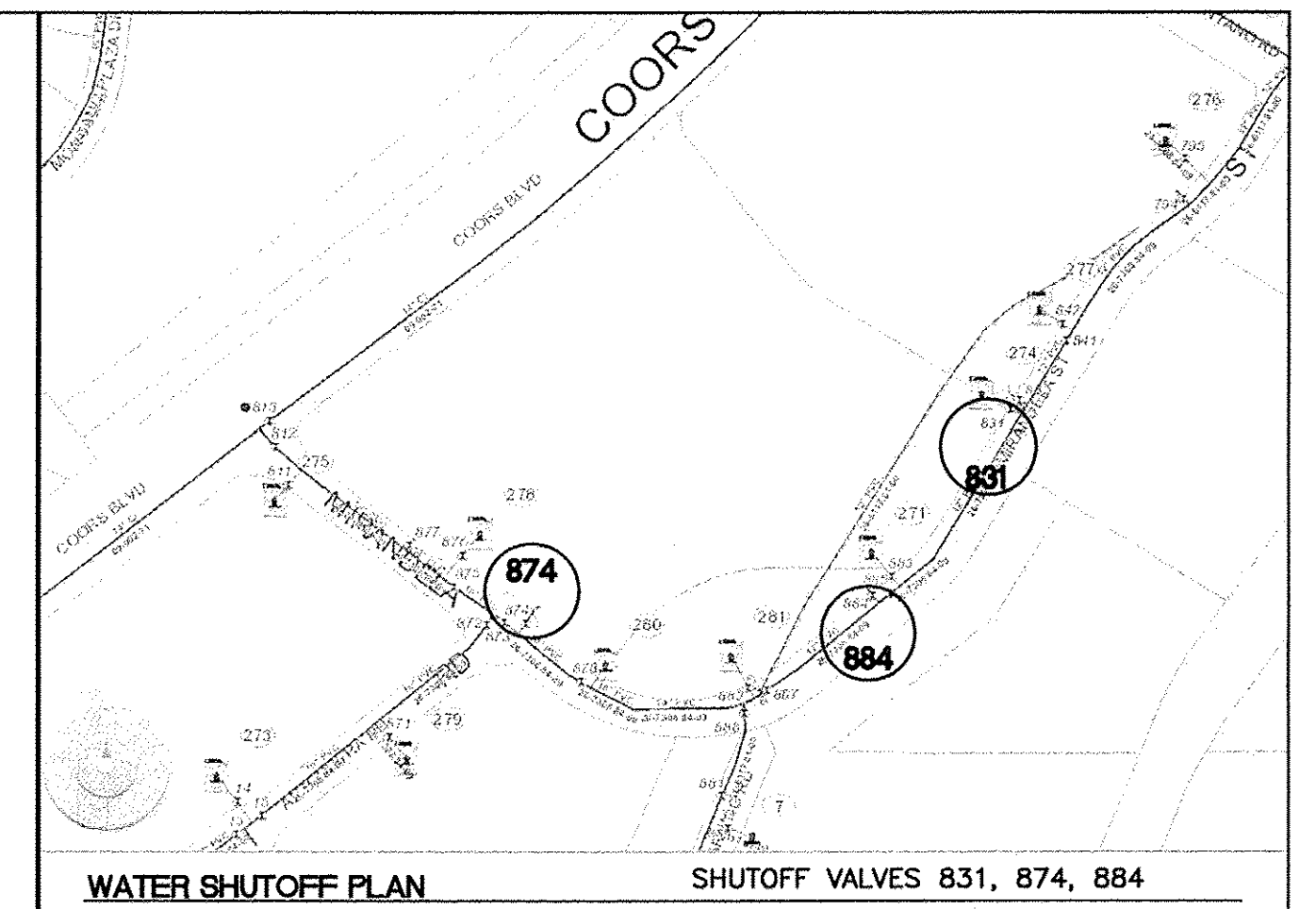


ENGINEER'S SEAL	<b>Walmart</b> #5650 ALBUQUERQUE, NEW MEXICO <b>CONCEPTUAL GRADING AND DRAINAGE PLAN</b>	DRAWN BY BJF DATE 4/5/12 2011001-GRE
RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # <b>C10</b>
		JOB # 2011001

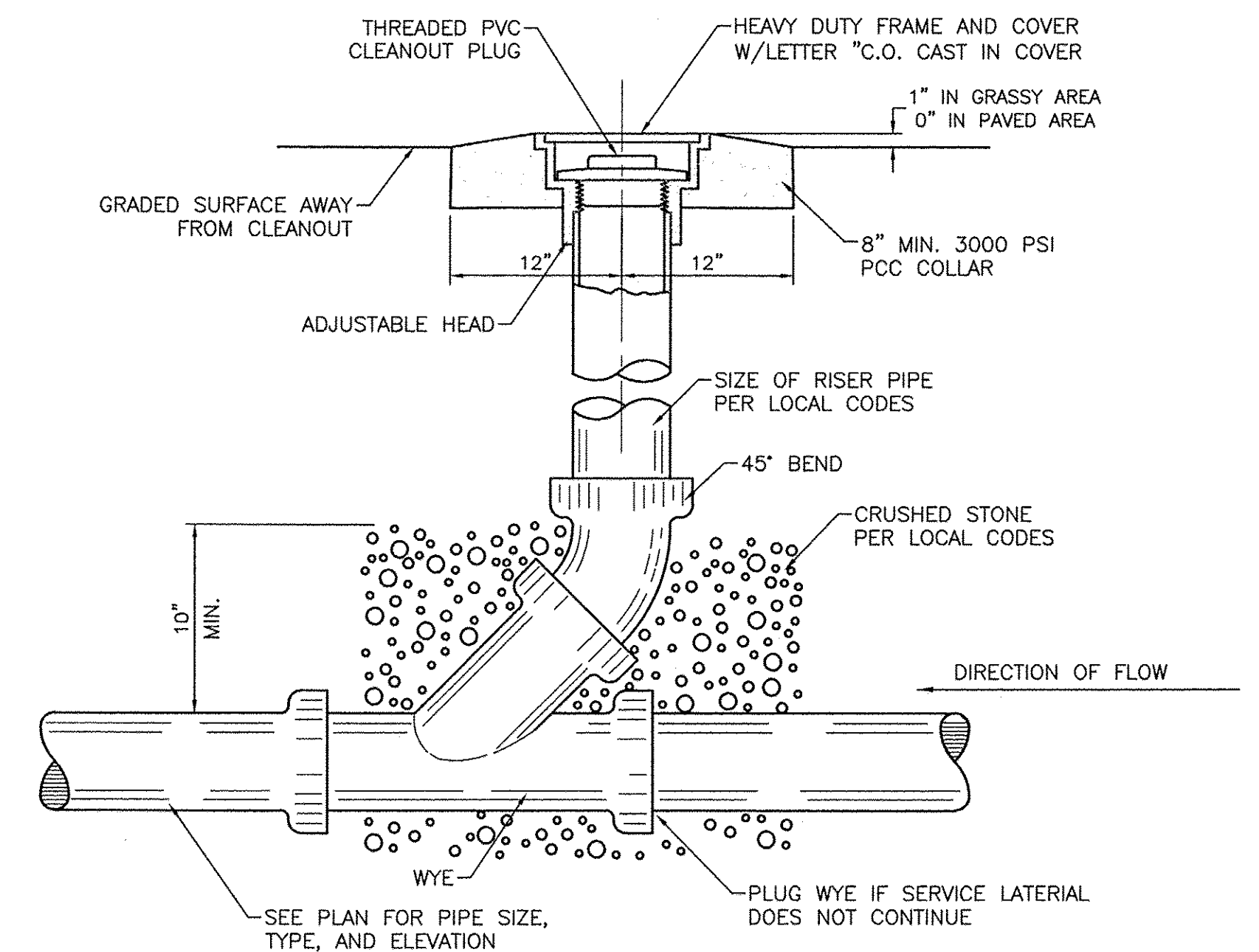




- LEGEND**
- CURB & GUTTER
  - - - BOUNDARY LINE
  - - - EASEMENT
  - - - CENTERLINE
  - - - RIGHT-OF-WAY
  - - - BUILDING
  - - - SIDEWALK
  - - - SCREEN WALL
  - - - RETAINING WALL
  - - - EXISTING CURB & GUTTER
  - - - EXISTING BOUNDARY LINE
  - - - 36" SD
  - - - 8" SAS
  - - - 8" WL
  - SINGLE CLEAN OUT
  - DOUBLE CLEAN OUT
  - EXISTING SD MANHOLE
  - EXISTING INLET
  - EXISTING SAS MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER METER
  - EXISTING POWER POLE
  - EXISTING GAS VALVE
  - - - EXISTING OVERHEAD UTILITIES
  - - - EXISTING UNDERGROUND UTILITIES
  - - - EXISTING GAS
  - - - EXISTING SANITARY SEWER LINE
  - - - EXISTING WATER LINE
  - - - EXISTING STORM DRAIN LINE



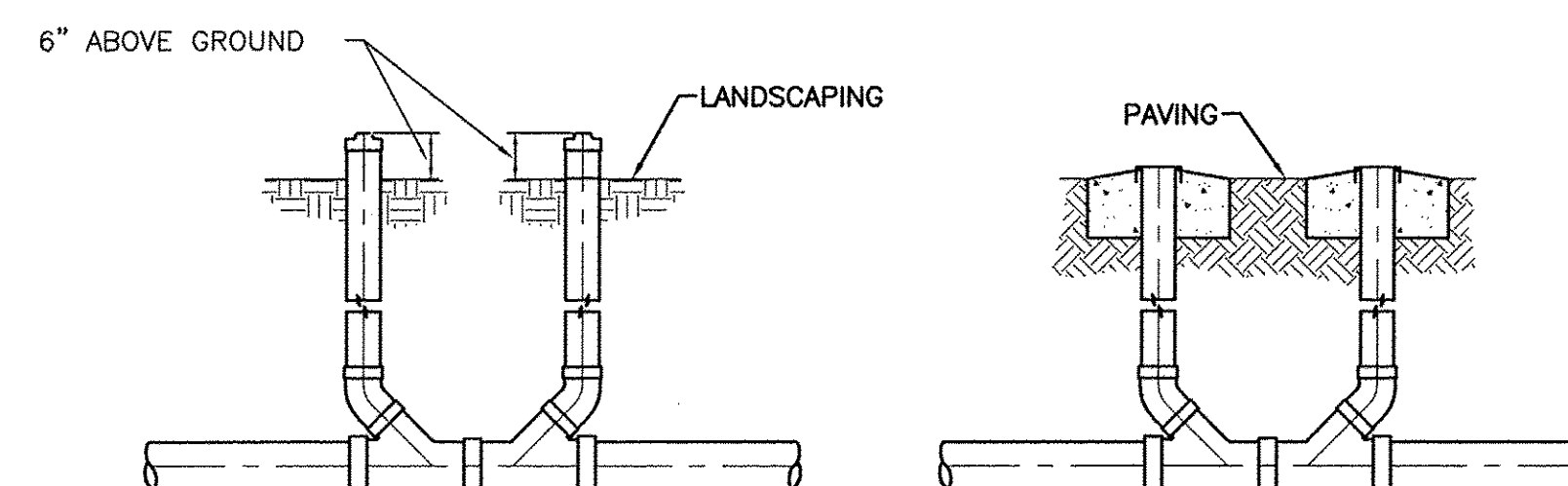
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).



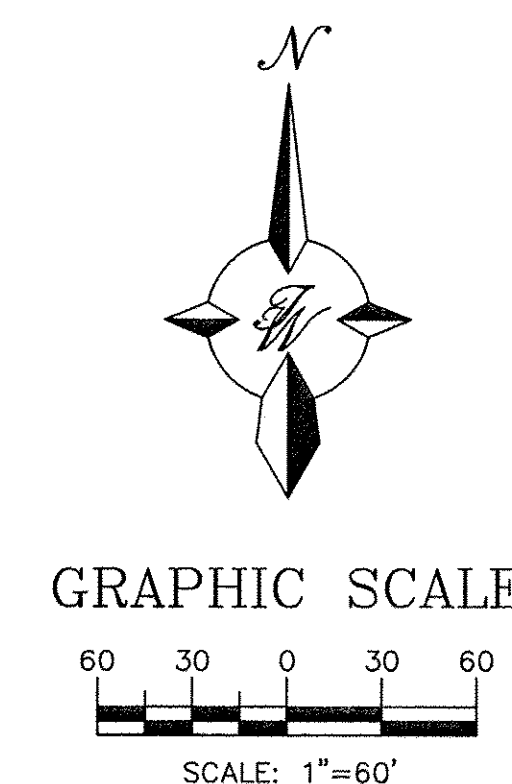
**2 SANITARY SEWER CLEAN-OUT**  
NTS

**EASEMENTS**

- A** EXISTING 7' M.S.T.&T. EASEMENT (11/01/1968, BK. MISC. 119-PG. 938)
- B** EXISTING 10' PUBLIC UTILITY EASEMENT (10/13/2005, 2005C-342)
- C** PROPOSED 5' PUBLIC SIDEWALK EASEMENT
- D** PROPOSED 20' PUBLIC WATER LINE EASEMENT
- E** PROPOSED 20' PUBLIC SAS LINE EASEMENT

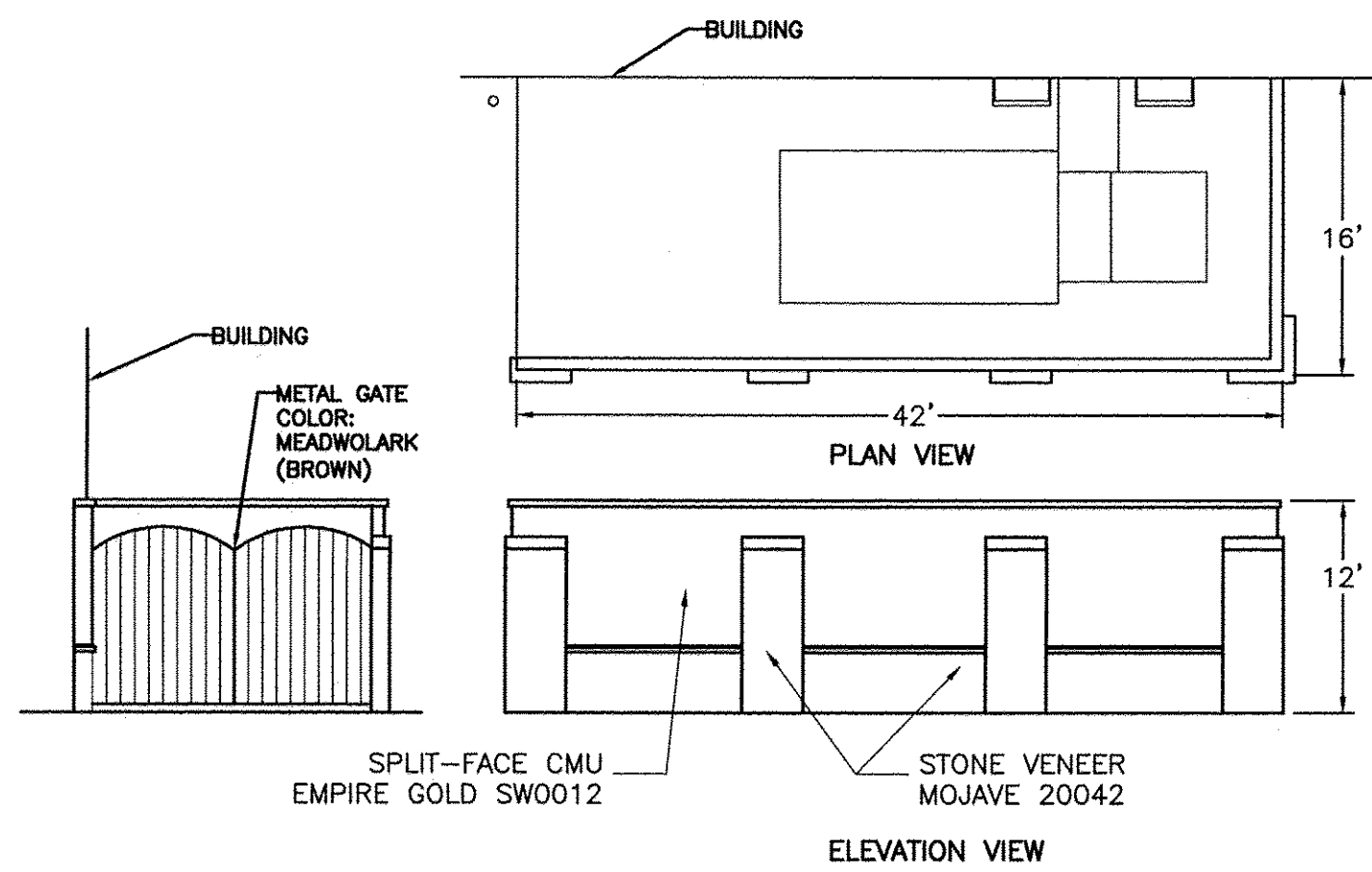


**1 SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS

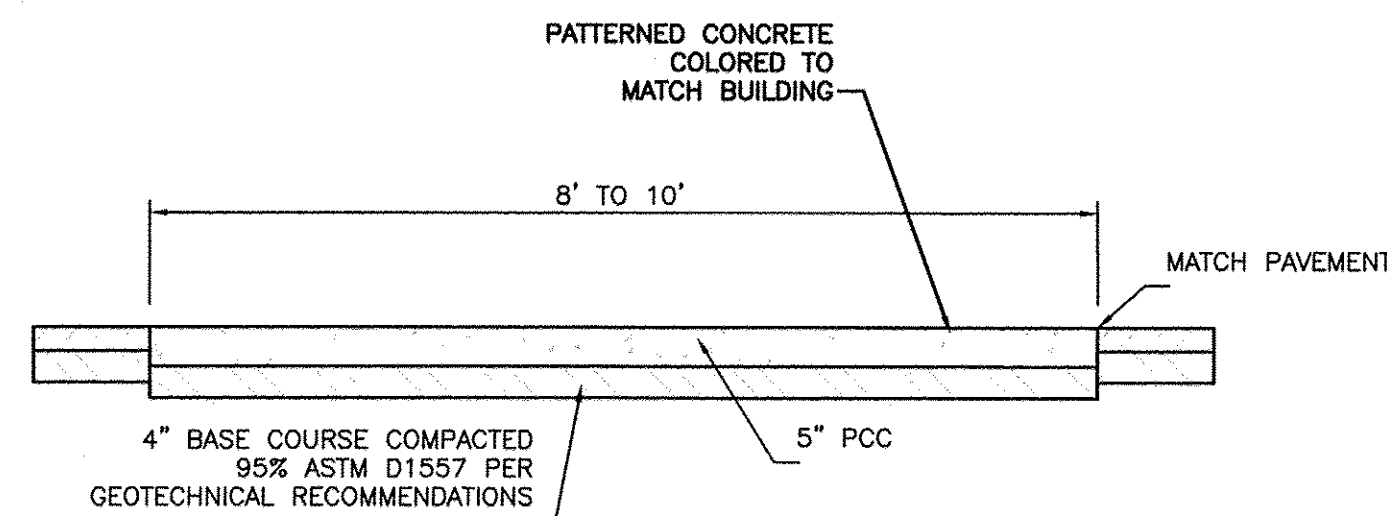


ENGINEER'S SEAL	<b>Walmart</b> #5650 <b>ALBUQUERQUE, NEW MEXICO</b> <b>CONCEPTUAL MASTER UTILITY PLAN</b>	DRAWN BY BJF
		DATE 3/27/12
<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 <a href="http://www.tierrowestllc.com">www.tierrowestllc.com</a>		2011001-MUE
		SHEET # <b>C11</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2011001

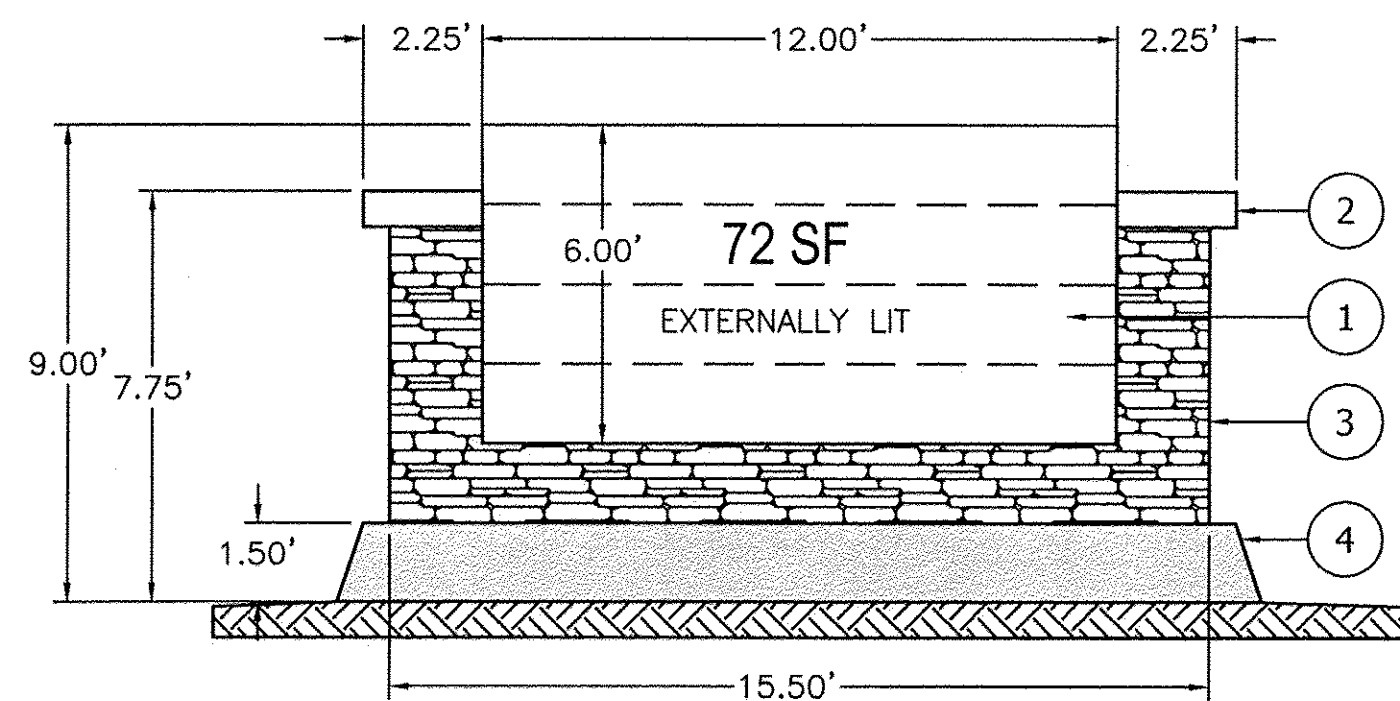




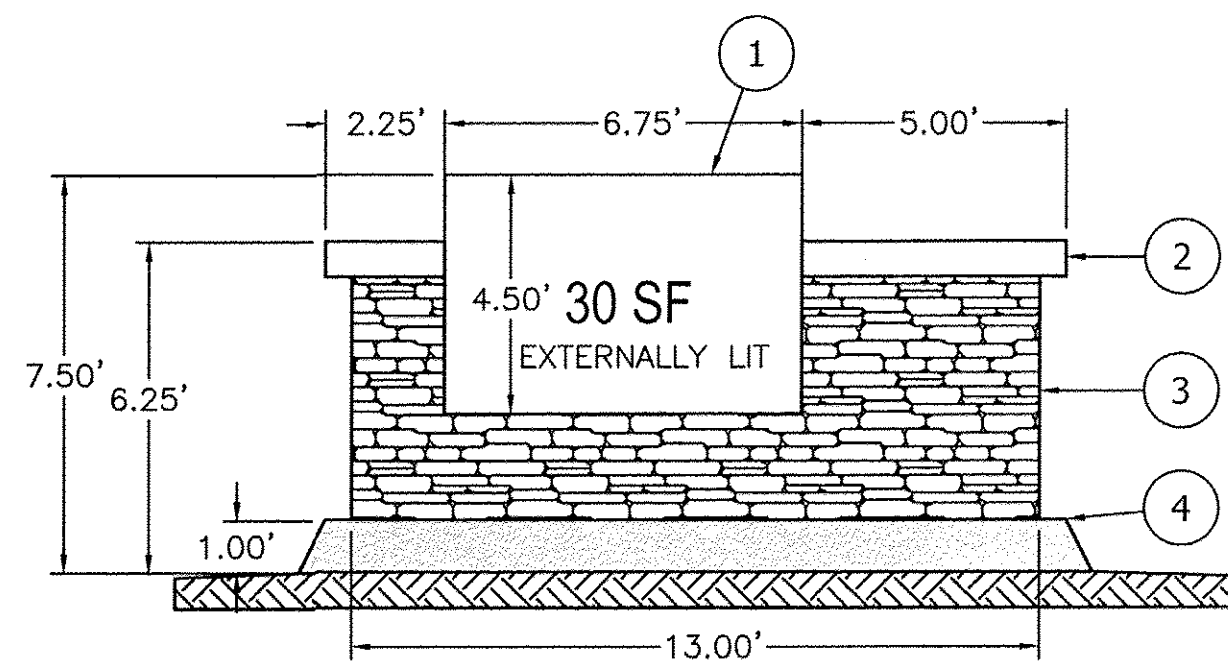
**DUMPSTER ENCLOSURE ELEVATION**  
NTS



**PEDESTRIAN CROSSING**  
SCALE: 1/2"=1'



**PROJECT MONUMENT SIGN**



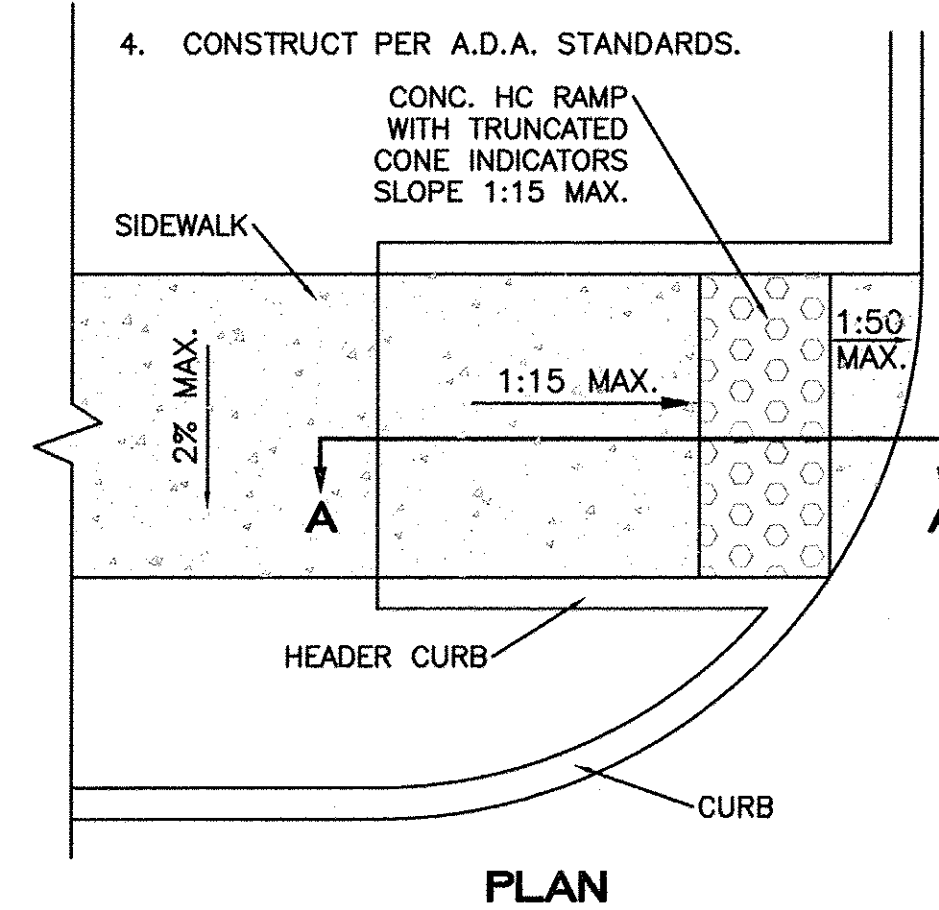
**MINOR MONUMENT SIGN**

**KEYED NOTES**

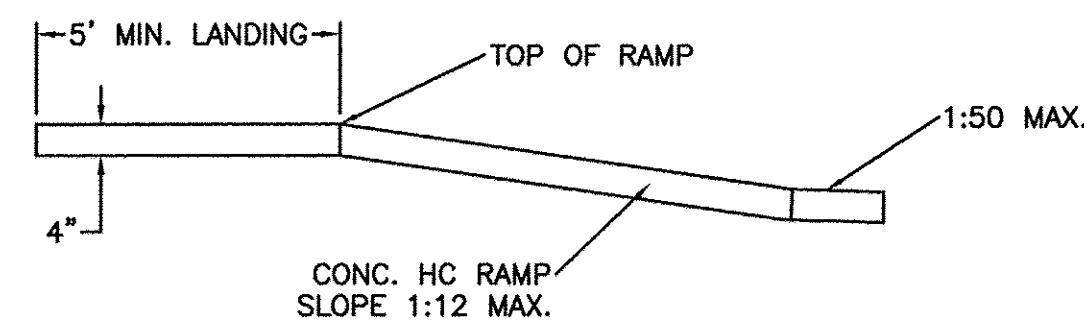
- ① TENANT SIGNAGE AREA
- ② PRECAST COPING (terra cotta)
- ③ STACKED STONE VENEER (mojave)
- ④ PRECAST WINDOW SILL (dark brown)

**NOTES:**

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
3. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 8.33% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
4. CONSTRUCT PER A.D.A. STANDARDS.

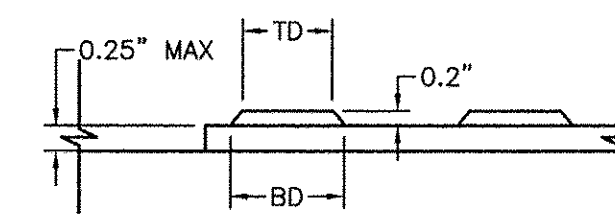


**PLAN**



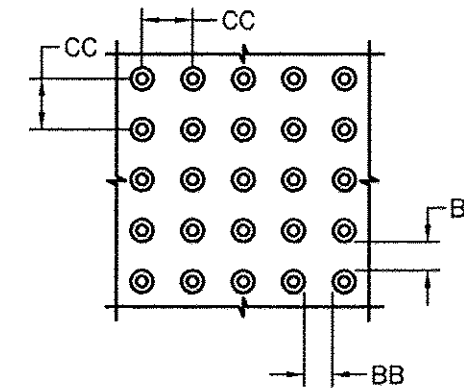
**SECTION A-A**

**UNIDIRECTIONAL HC RAMP**  
N.T.S.



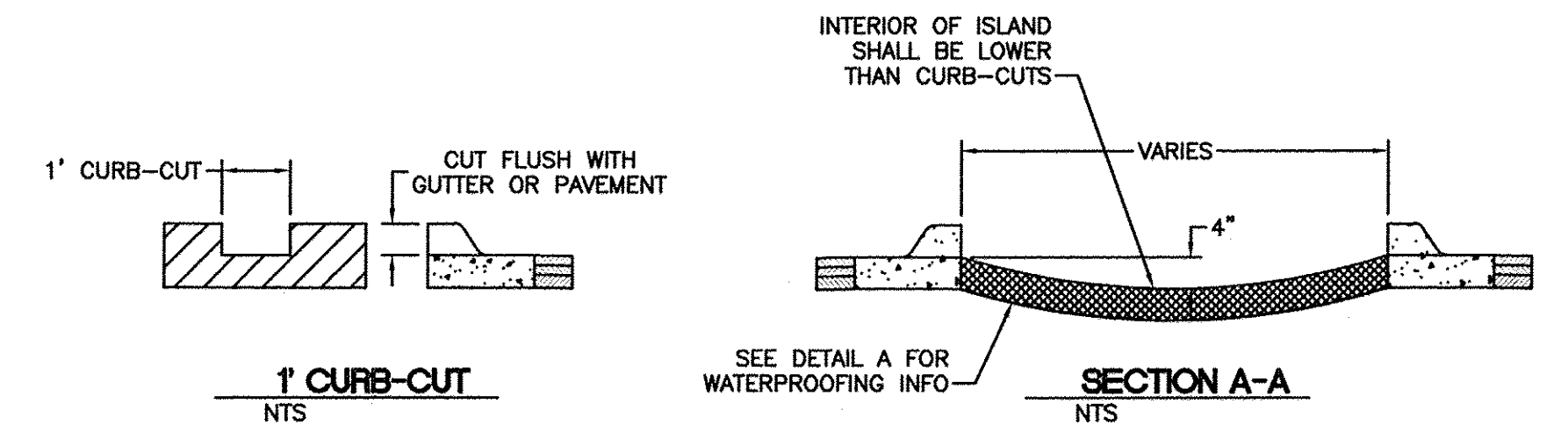
**DOME SECTION**

BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

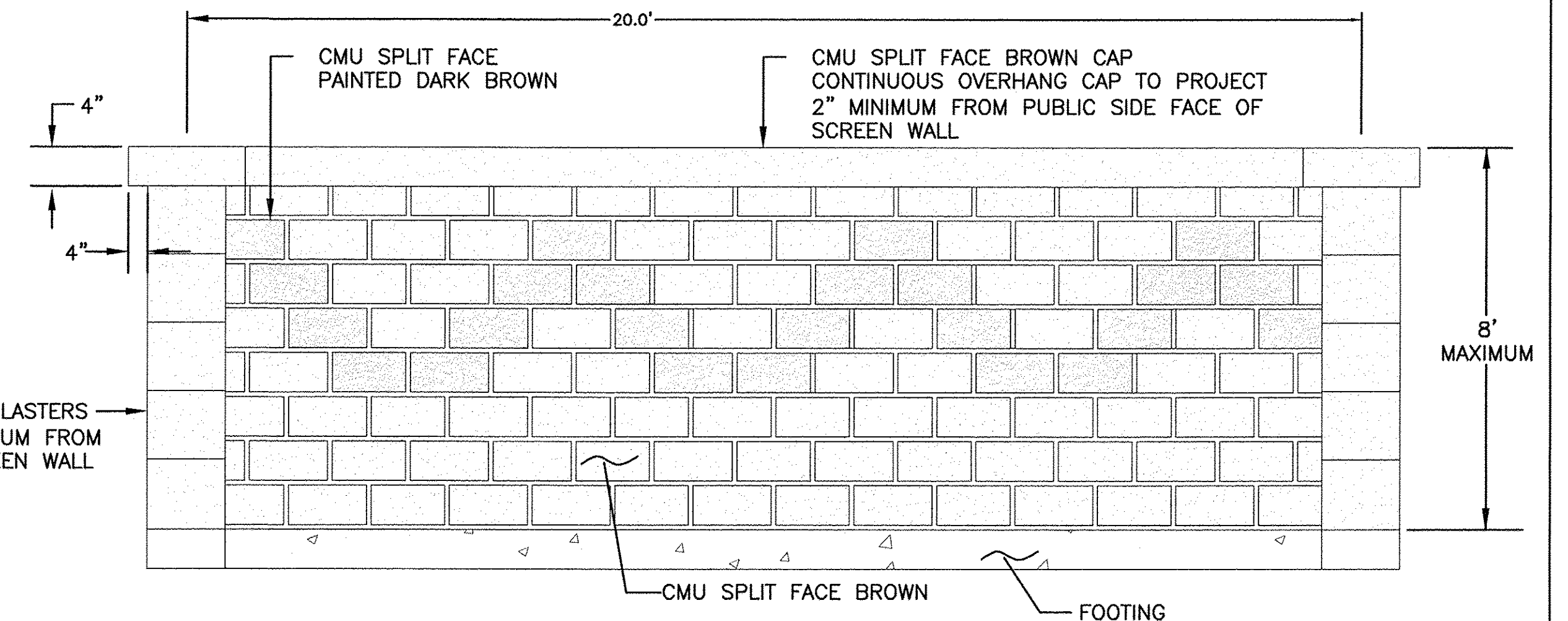


**DOME SPACING**

CC - CENTER TO CENTER SPACING  
2.35"  
BB - BASE TO BASE SPACING  
1.48" MIN

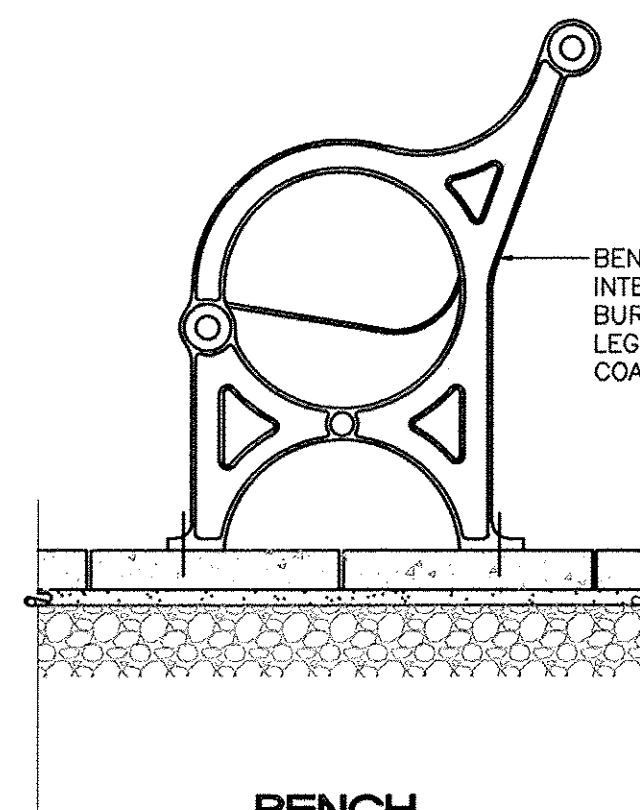


**LANDSCAPE ISLAND WATER HARVESTING DETAIL**  
FOR REFERENCE ONLY - BUILD ISLAND GEOMETRY PER SITE AND GRADING PLAN

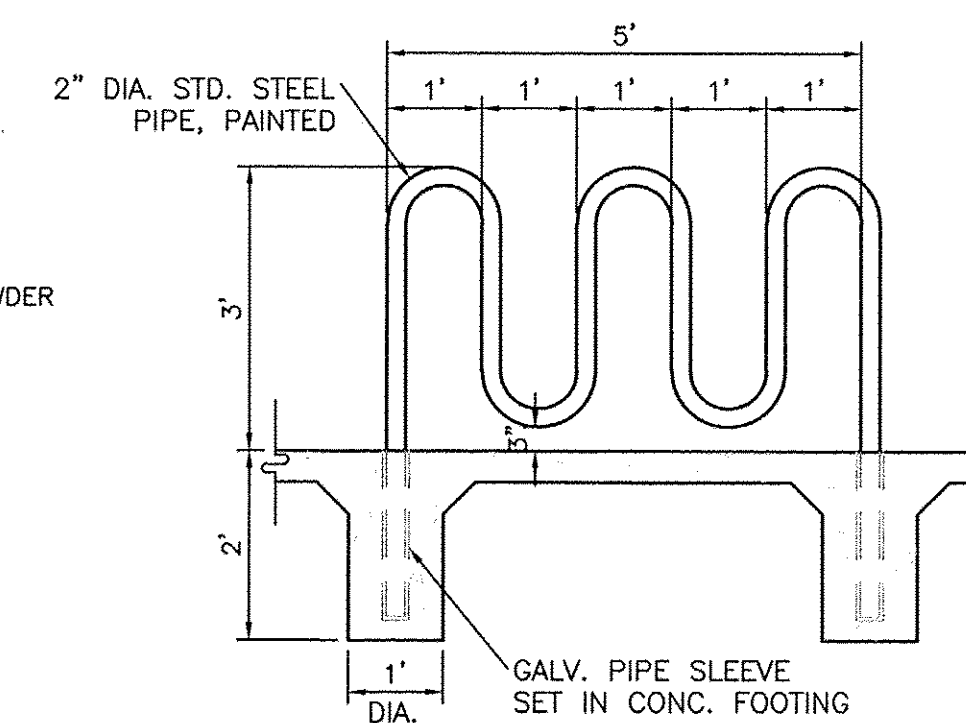


**SCREENWALL/RETAINING WALL- ELEVATION FOR STREET FACING WALL**

NTS



**BENCH**  
NTS



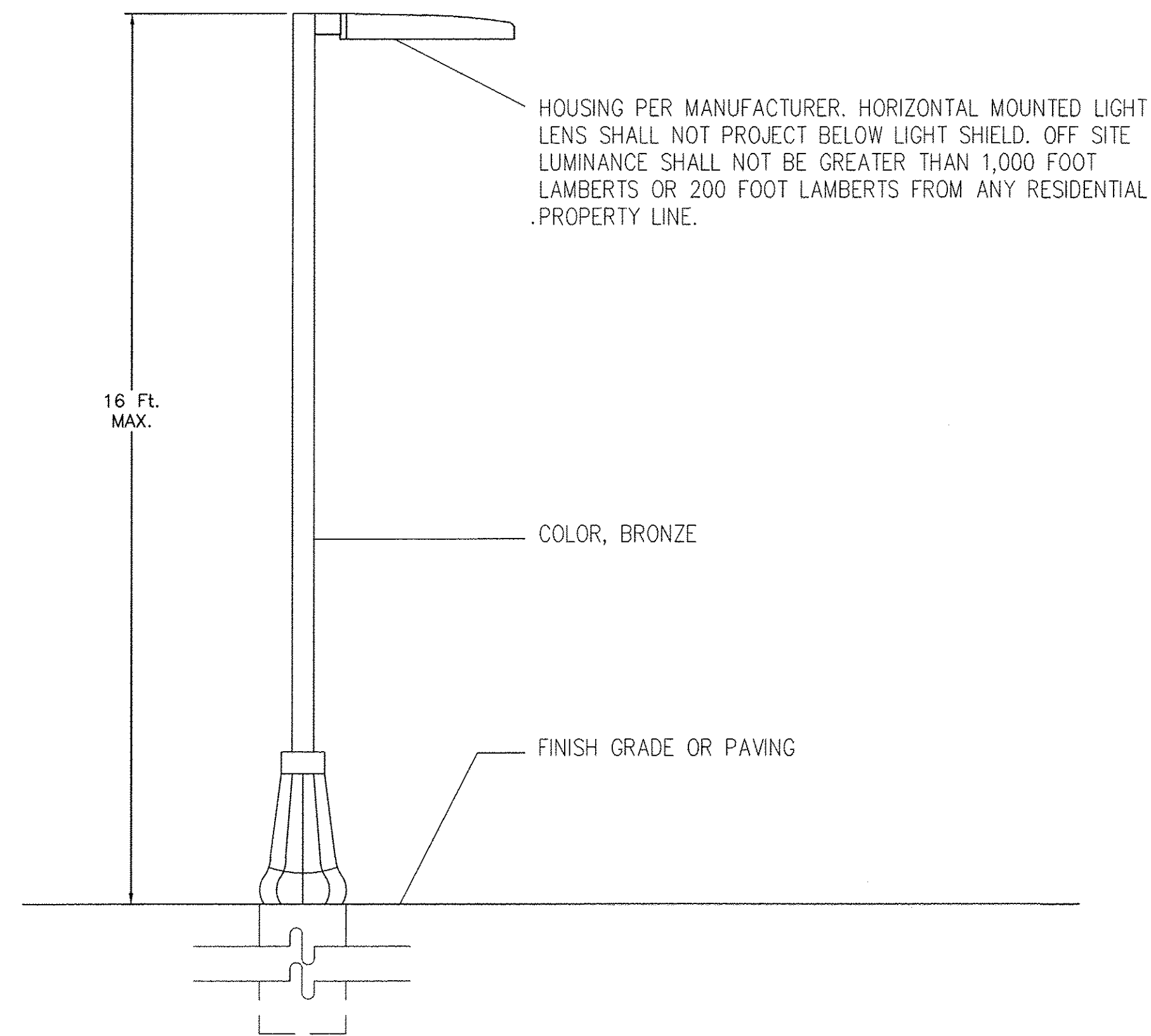
**BIKE RACK DETAIL**

SCALE: 1/2"=1'-0"

ENGINEER'S SEAL	<b>Walmart</b> #5650	DRAWN BY
	ALBUQUERQUE, NEW MEXICO	BJF
	<b>DETAIL SHEET</b>	DATE
		4/5/12
RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2011001-DTE
		SHEET #
		<b>C12</b>
		JOB #

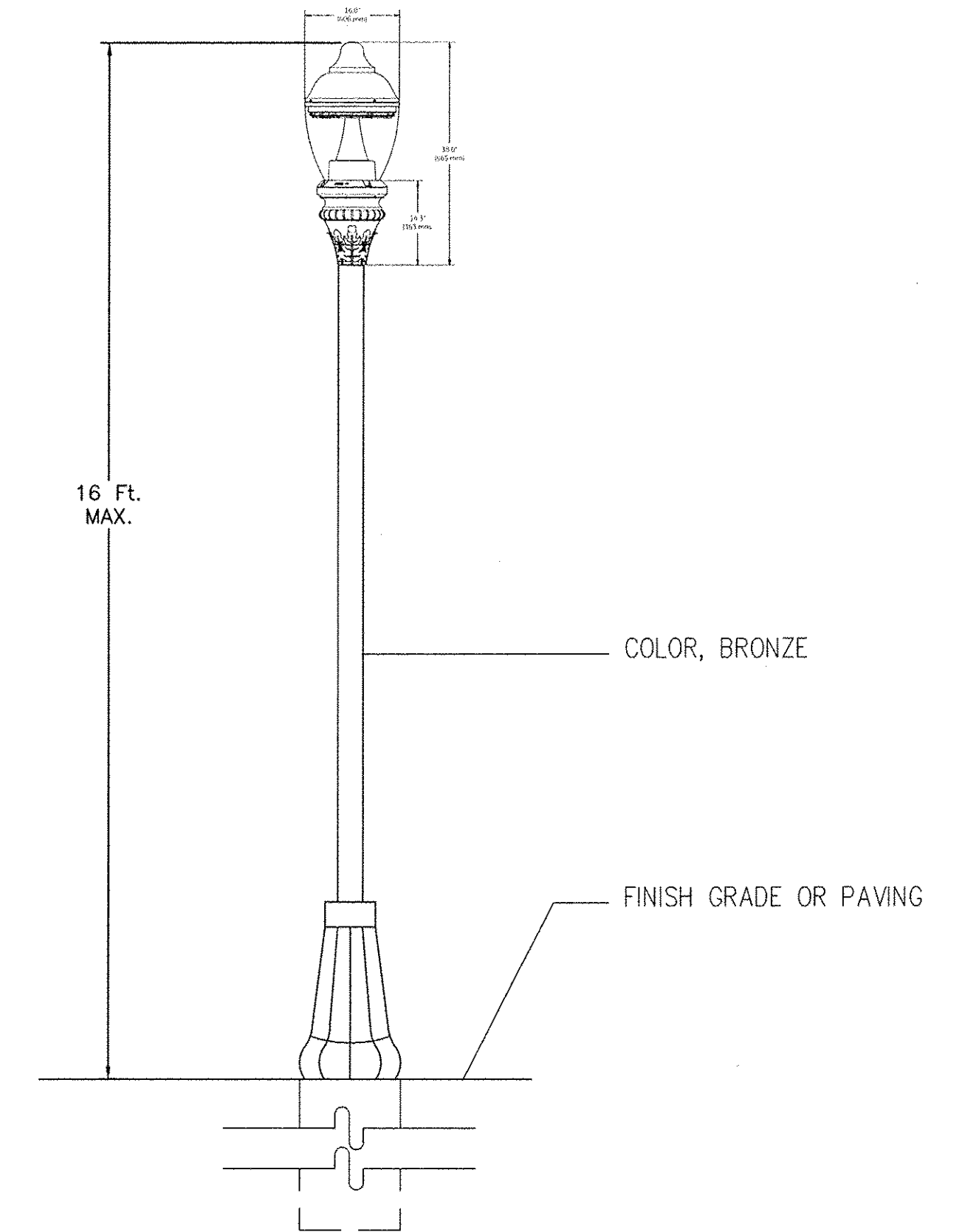
2011001





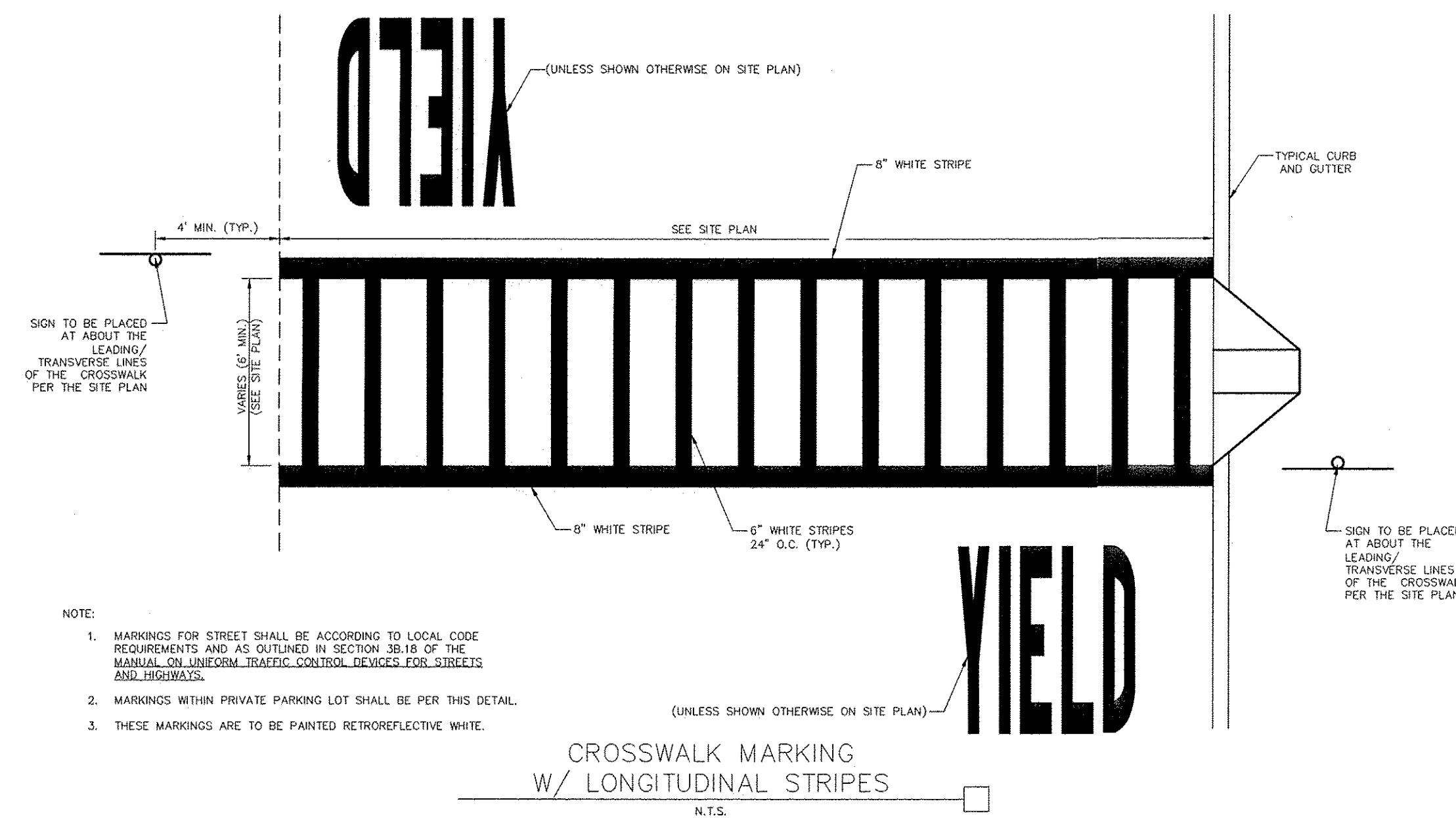
**PARKING LOT LIGHT POLE**

SCALE : NTS



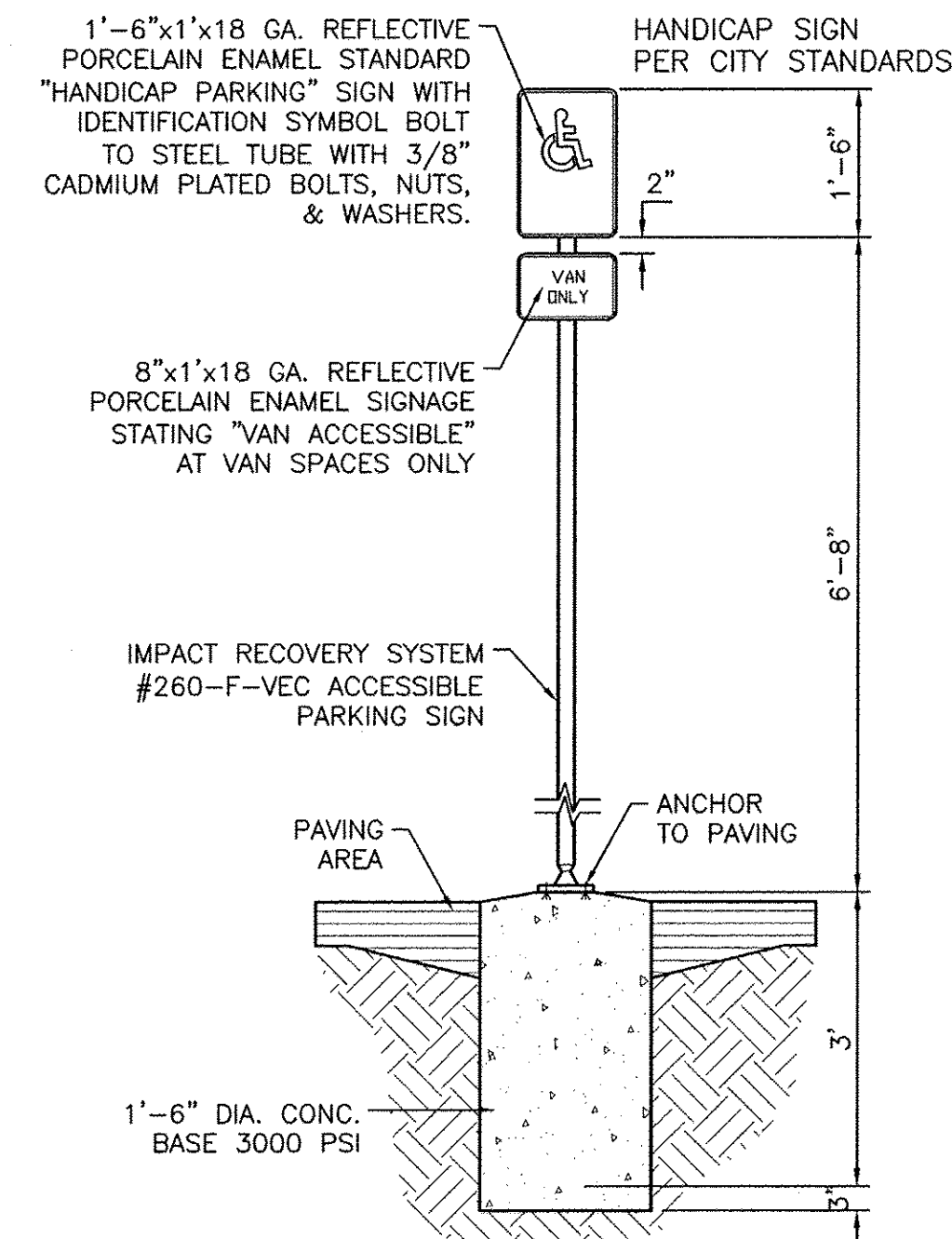
**PEDESTRIAN LIGHT POLE**

SCALE : NTS



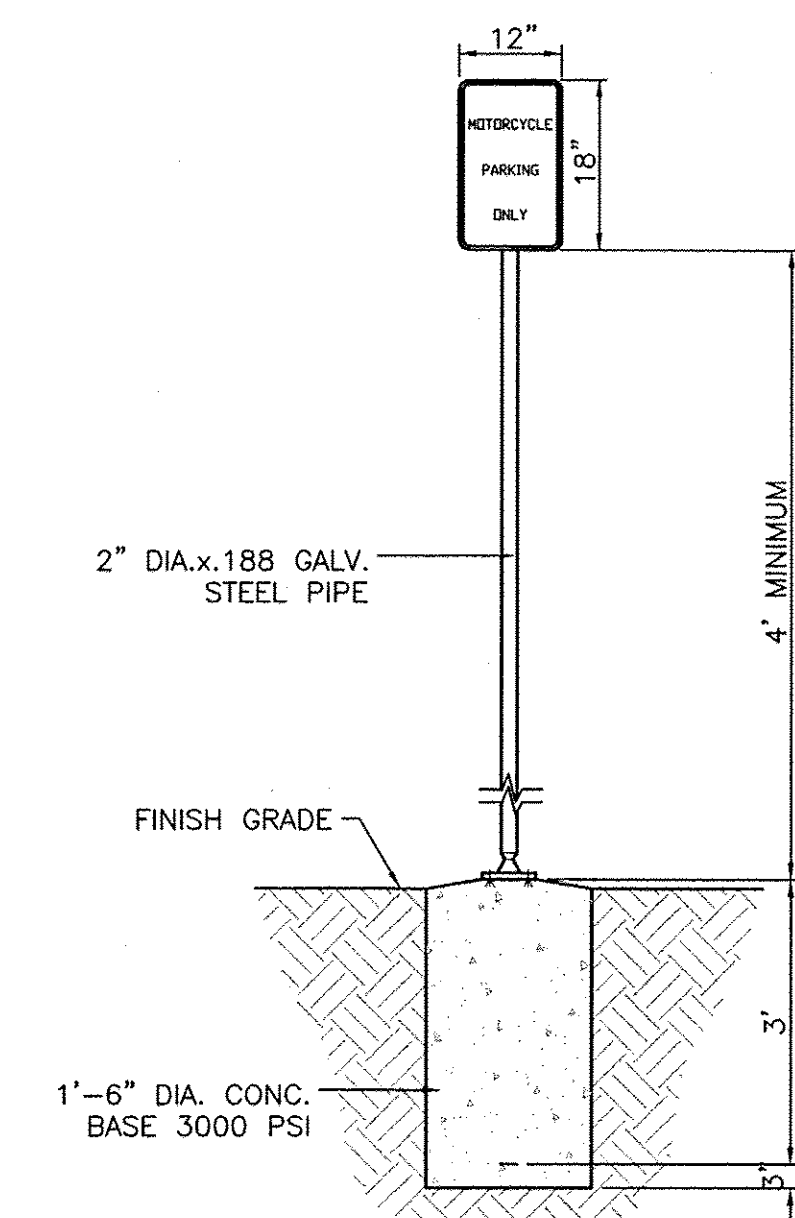
**CROSSWALK MARKING  
W/ LONGITUDINAL STRIPES**

N.T.S.



**HANDICAP SIGN**

SCALE : NTS



**MOTORCYCLE PARKING SIGN**

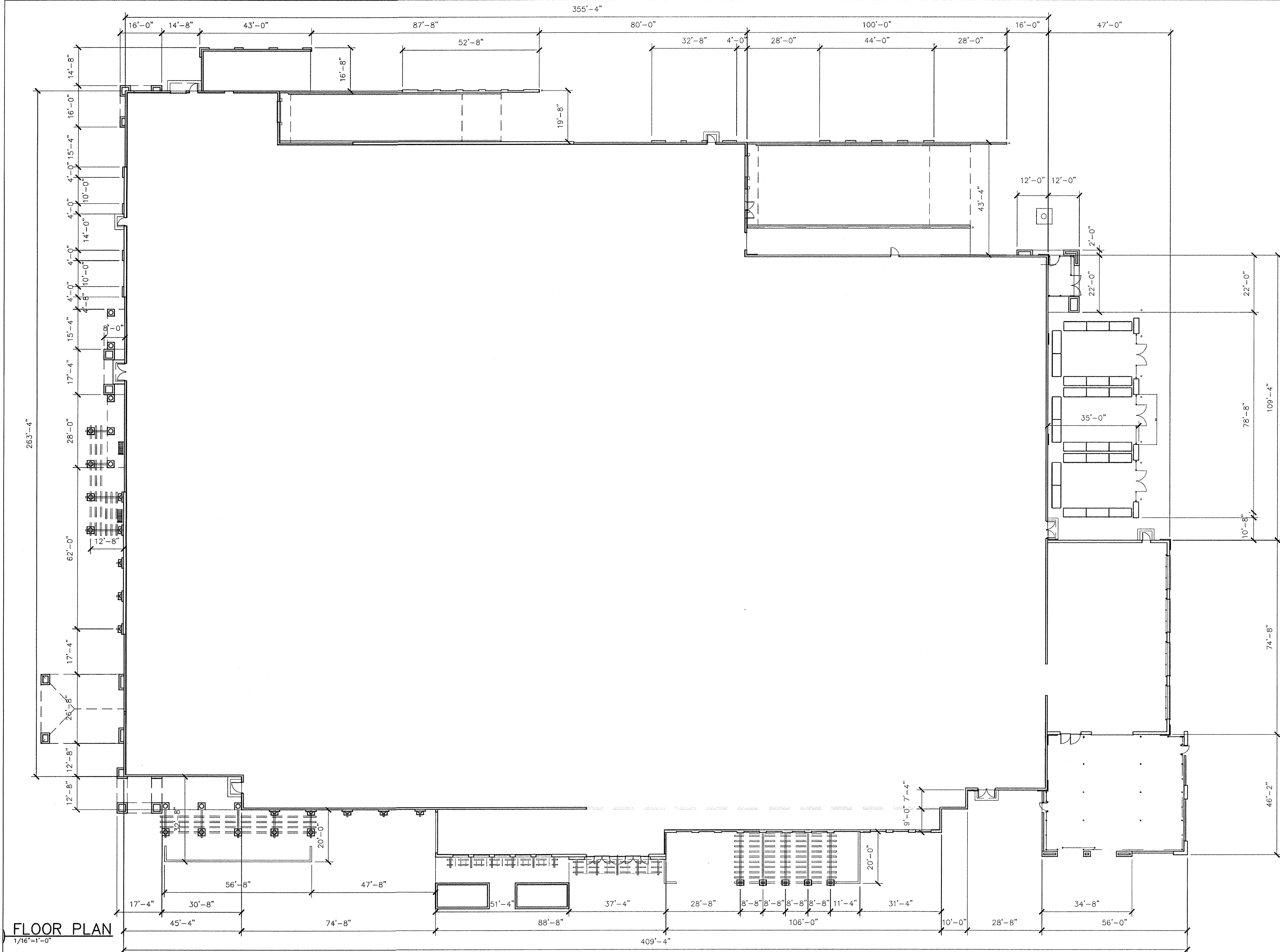
SCALE : NTS

ENGINEER'S SEAL	<b>Walmart #5650</b>	DRAWN BY
	<b>ALBUQUERQUE, NEW MEXICO</b>	BJF
		DATE
		4/5/12
	<b>DETAIL SHEET</b>	2011001-DTE
		SHEET #
		<b>C13</b>
		JOB #
		2011001

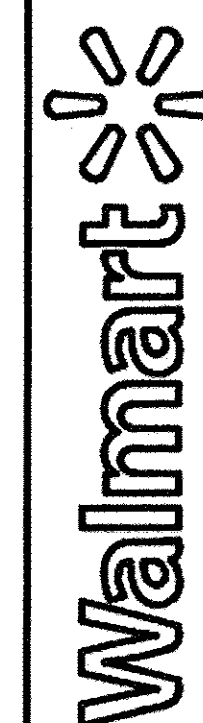
RONALD R. BOHANNAN  
P.E. #7868

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
www.tierrawestllc.com




$$1/16'' = 1' - 0''$$

**Scott & Goble Architects, P.C.**  
1437 South Boulder Avenue  
Suite 800  
Tulsa, Oklahoma 74119-3609  
p: 918-587-8600  
f: 918-587-8601



Albuquerque, NM.

STORE NO. 5660

190

1120012 PROTO:

1120012

MEMBER:

[illegible]

CHECKED BY:	
DRAWN BY:	RVR
DOCUMENT DATE:	12/7/1

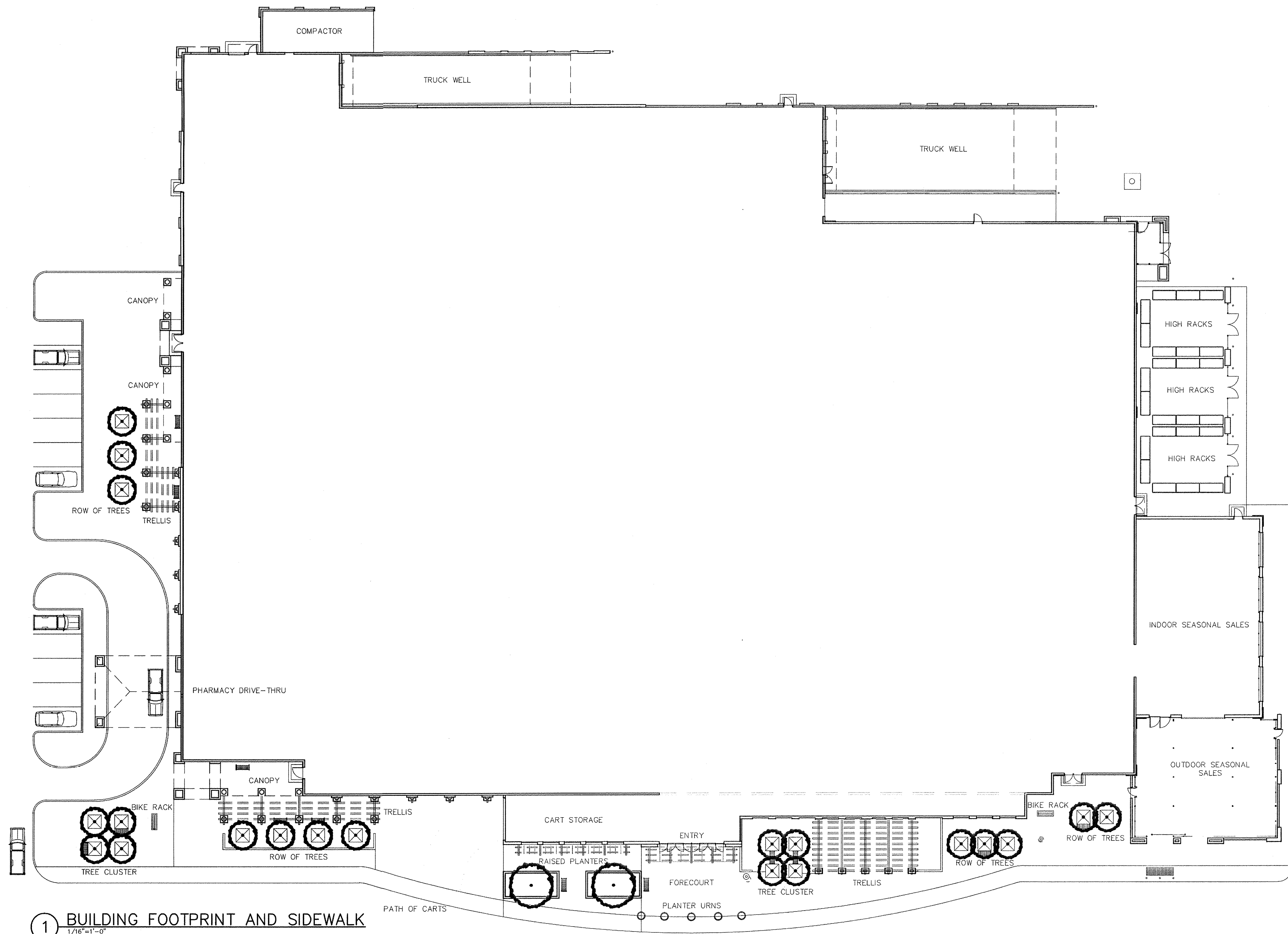
ENTITLEMENT  
CONCEPT.  
NOT FOR  
CONSTRUCTION

## BUILDING DIMENSIONS

SHEET #

C14





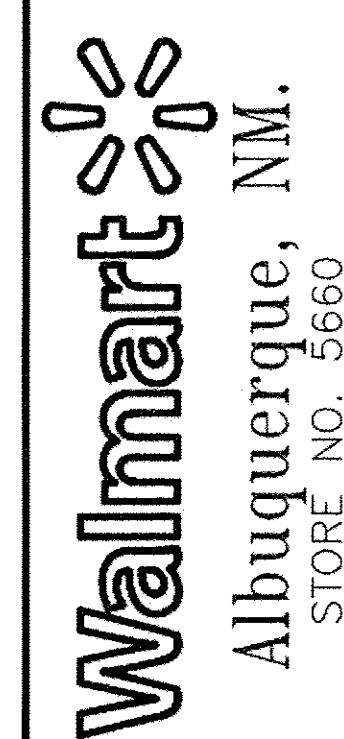




GENERAL NOTES:

1. ALL EGRESS DOORS TO BE PAINTED TO MATCH ADJACENT BUILDING WALL PAINT COLOR.
2. PARAPET WALLS TO SCREEN ROOFTOP EQUIPMENT FROM PROPERTY LINES/ADJACENT PROPERTIES
3. ALL BUILDING MOUNTED LIGHTING TO NOT BE HIGHER THAN 20'-0" FROM THE FINISH FLOOR.
4. COLOR PALETTE FOR TOWER ELEMENTS ARE CONSISTENT IN ALL INSTANCES.





Albuquerque, NM.  
STORE NO. 5660

JOB NUMBER: 1120012    PHOTO: 90

ISSUE BLOCK		
1	12/7/11	ENTITLEMENT
2	12/23/11	ENTITLEMENT

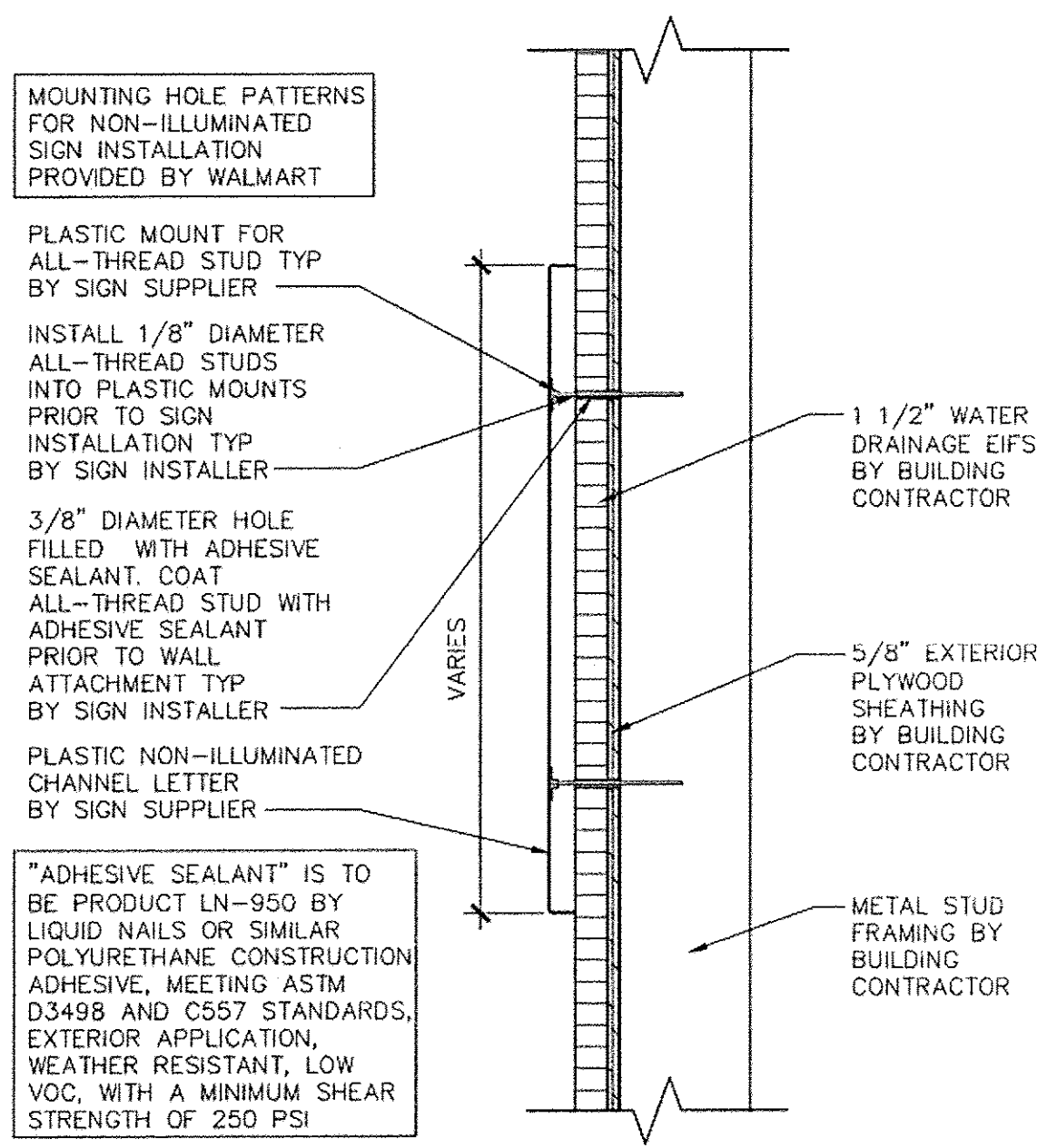
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DRAWN BY: RVK  
DOCUMENT DATE: 12/7/11

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CONCEPT.  
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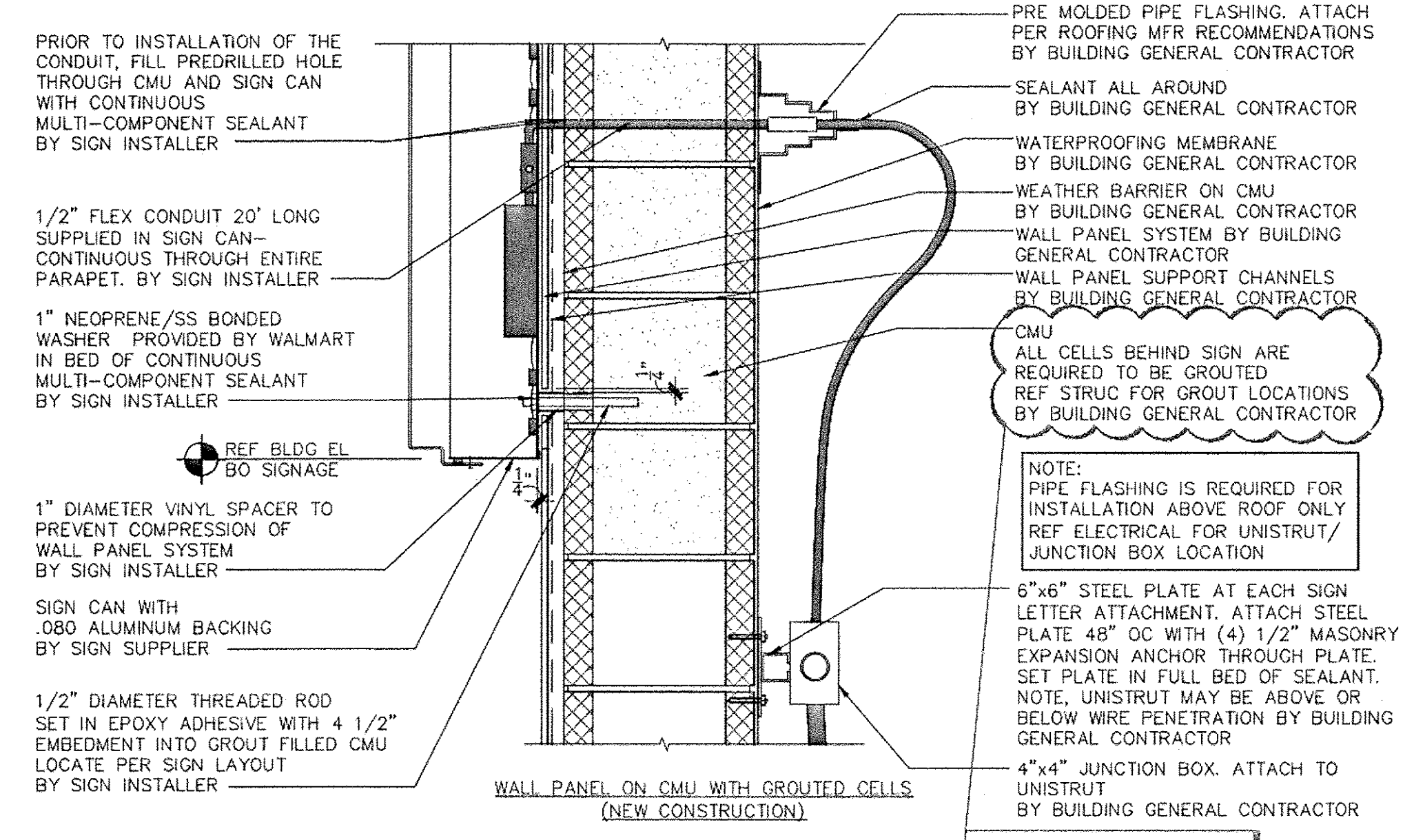
SIGNAGE

SHEET #  
C17

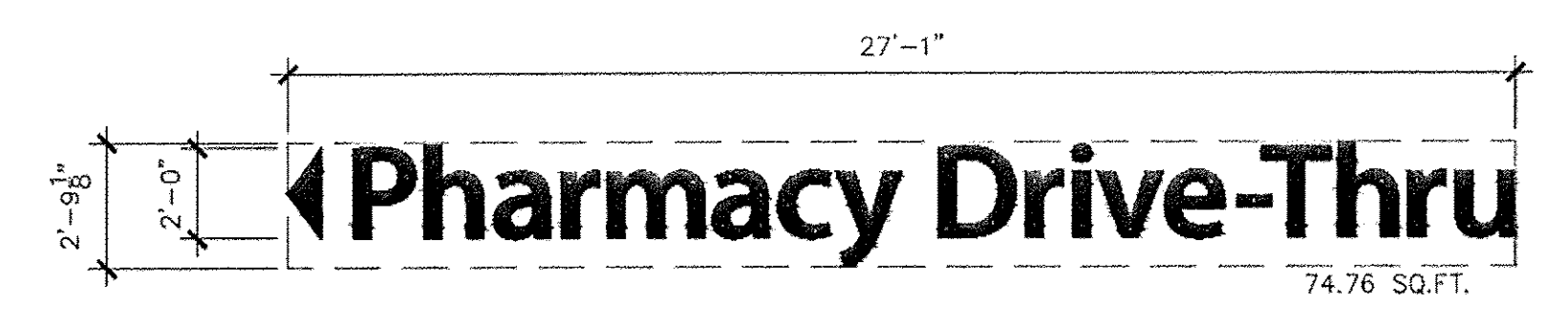
SIGNAGE SCHEDULE				
FRONT SIGNAGE	QTY	COLOR	INDIVIDUAL AREA	TOTAL AREA
Walmart * (spark)	1	WHITE	208.00 SF	208.00 SF
Market & Pharmacy	1	WHITE	102.74 SF	102.74 SF
Outdoor Living	1	WHITE	77.17 SF	77.17 SF
TOTAL FRONT SIGNAGE				387.91 SF
PHARMACY DRIVE-THRU SIGNAGE				
Pharmacy Drive-Thru (directional)	1	WHITE	74.76 SF	74.76 SF
Pharmacy Drive-Thru	1	WHITE	39.90 SF	39.90 SF
TOTAL PHARMACY DRIVE-THRU SIGNAGE				114.56 SF
TOTAL BUILDING SIGNAGE				502.47 SF



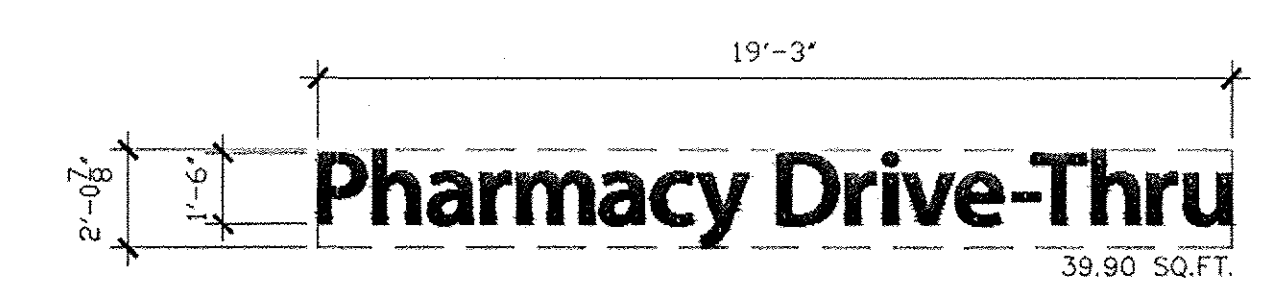
7 SIGN ATTACHMENT  
1 1/2"=1'-0"



6 SIGN ATTACHMENT  
1 1/2"=1'-0"



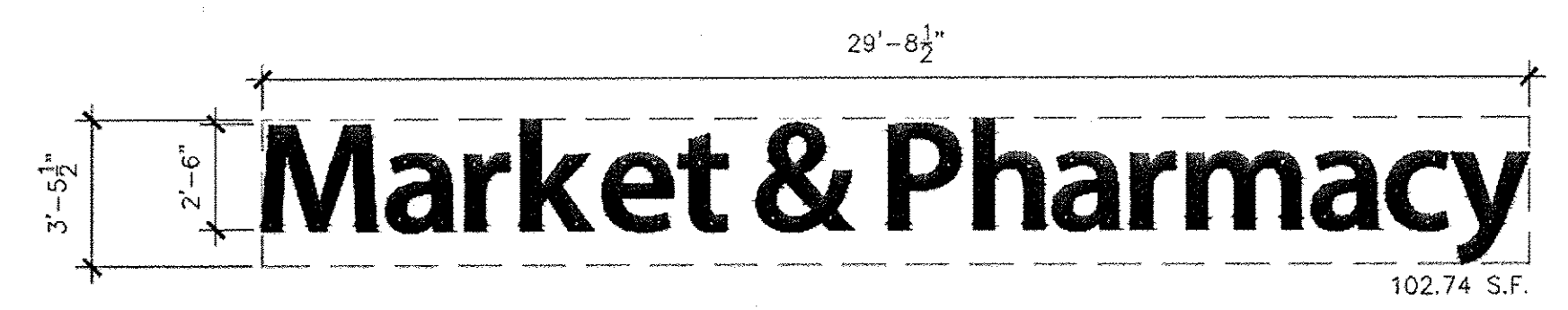
5 SIGNAGE  
1/4"=1'-0"



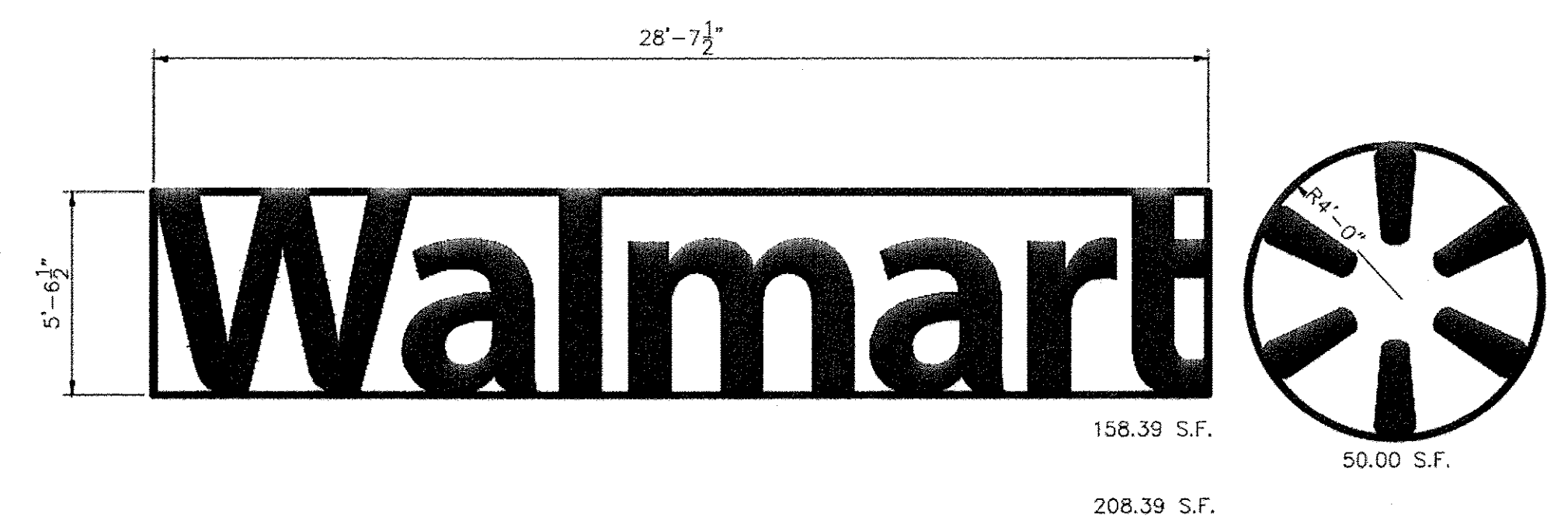
4 SIGNAGE  
1/4"=1'-0"



3 SIGNAGE  
1/4"=1'-0"



2 SIGNAGE  
1/4"=1'-0"



1 SIGNAGE  
1/4"=1'-0"