

S. San Pedro and Elderhomestead Neighborhoods - Land Use and Zoning

Community Vision:

A healthy vibrant community where residents and businesses interact in a mutually supportive way.

A sector which is both a shopping/event destination and a walkable, bikeable residential area with single family housing and park spaces.

A safe, friendly walkable community which is recognized locally as a gem in Albuquerque.

Goal: Build relationships with businesses

- Objective: Business involving other people and reaching out the community – local grocery store – hub in community, a resource.

Goal: Create a reason for people to walk

- Time intersections to allow for various mobility needs. (TRAFFIC)
- Provide safe and usable sidewalks. (TRANS)
- Create destination places where people can walk to. – such as entertainment, theater and live performance spaces. (ZONING)(MR)
- Van Buren to Ridgecrest – Kathryn becomes a pedestrian and bike thoroughfare for families – would connect schools. (TRANS)
- Increase neighborhood services. (ZONING/MR)
- Identify potential open space and other resources for walkable, bikeability and creating neighborhood connectivity. (TRANS/PARKS)
- Provide daily services that residents need available in walking distance.
- (Bring back urgent care at San Mateo and Zuni.) (ZONING/MR)
- Create neighborhood Hub. (ZONING/MR)
- Provide a major park – like Bataan or Hyder that people can congregate.(PARKS/CIP)
- Convince city to develop open space, parks.(PARKS/CIP)
- Attract businesses that are associated with a “walking culture,” such as small cafes, shops, retailers as opposed to small retailers. (ZONING/MR)
- Increase Community Center hours. (FAM AND COMM)

Goal: Preserve a mixed residential space.

- Discourage solid blocks of apt./multi-family housing (ZONING)

Goal: Encourage a mixture of zoning.

- Change zoning to eliminate large retailers, new large multifamily development(ZONING)

Goal: Reduce general noise pollution in neighborhoods.

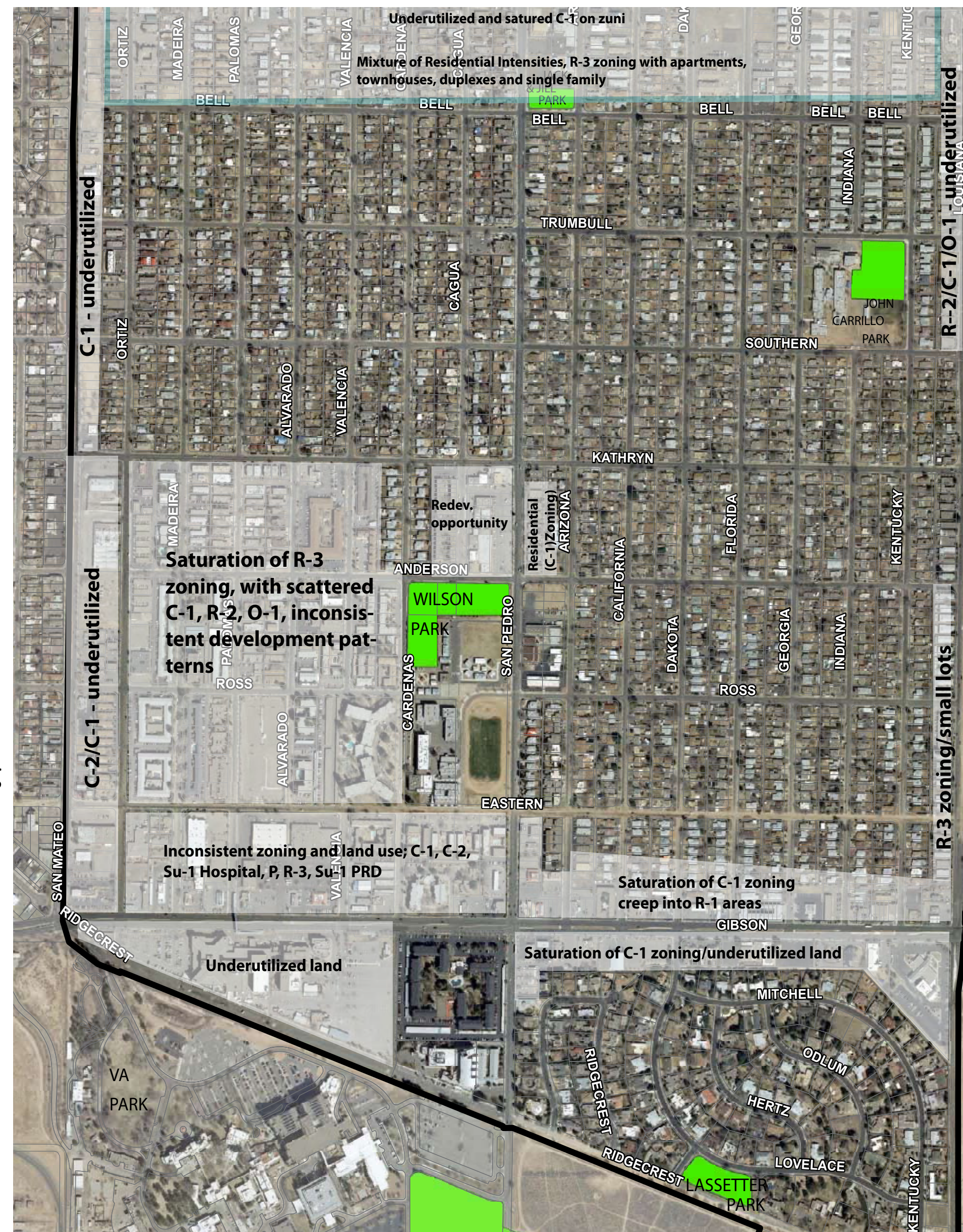
- cars/airplanes –traffic calming

Goal: Increase safety/reduce crime

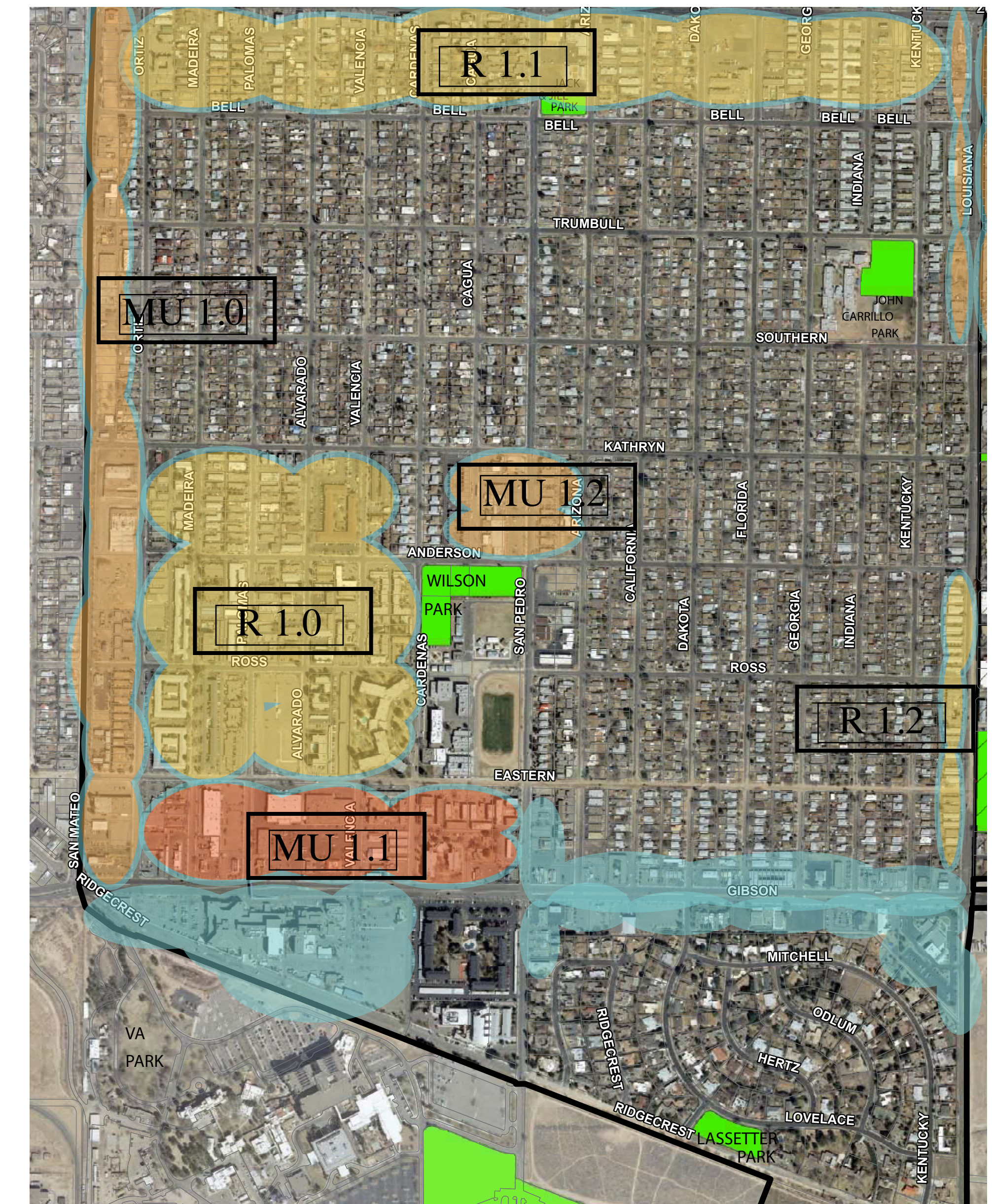
- Enable residents/homeowners to report irresponsible landlords with buildings in disrepair or littered property. (OTHER)
- Provide penalties for landlords not in compliance.(OTHER)
- Increase area lighting (CIP)
- Increase community involvement (OTHER)
- Create more jobs. (OTHER/ZONING)
- Increase safety in alleys. – provide lighting, Keep open – prevent places for crime. (CIP)

Goal: Increase opportunities for local employment

- Take advantage of HUB zone. (OTHER)



Existing Zoning and Land Use Analysis



Proposed zoning and land use strategies for redevelopment

Key - Land Use/Zoning Strategies

R 1.0 Create new tailored zoning for multi-family housing which provides design and landscape guidelines to create neighborhood friendly multi-family housing.

R 1.1 Further analysis needed to determine if single family residential areas would like to down zone to R-1. Create new tailored zoning for R-3 which provides design guidelines and land use regulations in order to integrate duplex, townhouse, apartment and single family land uses.

R 1.2 Create new tailored zoning for multi-family housing which reflects narrow lot conditions.

MU 1.0 Create opportunities through zoning and design guidelines for both commercial and multi-family development.

MU 1.1 Create opportunities through zoning and design guidelines for Mixed Use moderate density development.

MU 1.2 Create opportunities for a Neighborhood Activity Center.
 ***Blue areas require further study for redevelopment strategies