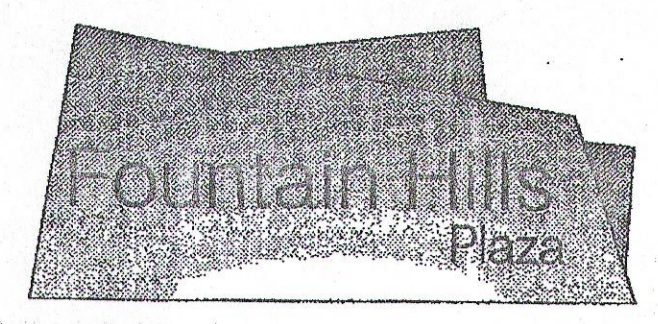


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\*THIS PLAN IS AN AMENDMENT TO THE EPC APPROVED SDPS ORIGINALLY PREPARED BY CANNADY PALACIOS ARCHITECTURE.



**Site Plan for Subdivision**  
 Prepared for: Fountain Hills Plaza, LLC

**Land Use Summary**

Tract	Acres	Max Bldg Height	Max Buildable	Allowable Uses
A-1-A	2.85	52'-0"	30 DU's / Acre	Residential
B-1-A	8.95	32'-0"	.35 FAR	Retail / Restaurant / Office
B-1-B	3.86	32'-0"	.35 FAR	Retail / Restaurant / Office
C-1-A	2.30	52'-0"	.35 FAR	Hotel / Retail
C-1-B	3.01	32'-0"	.35 FAR	Restaurant / Retail
D-1-A	5.20	32'-0"	.35 FAR	Retail / Restaurant / Office
10-A-2	1.27	32'-0"	.25 FAR	Restaurant / Retail
6-A-1	1.44	N/A	N/A	N/A

Note:  
 All buildings are limited to 3.5 stories as per Council Bill # F/S O-186, Enactment No. 33-1985, Exhibit 'A', City of Albuquerque Zoning and Special Use Parameters approved by City Counsel May 20th, 1985.

**Existing Site Data**

Legal Description:  
 Lots 2 & 3 of Block R, Lot 10-A-2 of Block D, Lot B-1, Lot C-1, Lot D-1, Lot 6-A-1, Albuquerque West, Unit 1.  
 Acreage: 31.02  
 Existing Land Use: Undeveloped

**Current Zoning:**

SU-1 PDA to include C-3 Uses (Permissive & Conditional)  
 Council Bill # F/S O-186, Enactment No. 33-1985, Exhibit 'A' sets forth additional parameters.

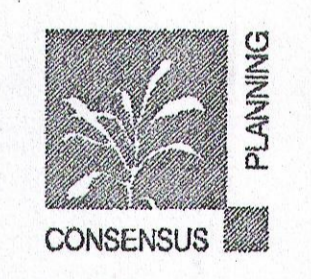
Future Site Development Plans for Building Permit are delegated to the Development Review Board as specified in City Council Bill no. F/SO - 186, Enactment No. 33-1985. All future Site Development Plans for Building Permit shall indicate the Internal Focal Area, where applicable.

Project Number: 1003445  
 Application Number: 07DRB-70053

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 18, 2007, and the Findings and Conditions in the Official Notification of Decision are satisfied.  
 This also incorporates the conditions from EPC's decision dated August 19, 2005, 06EPC-00022. Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division Date 6-26-07  
 Roger A. Green  
 Water Utility Department Date 6-20-07  
 Christina Sandoval  
 Parks and Recreation Department Date 6/20/07  
 N/A  
 City Engineer Date 6/20/07  
 N/A  
 \* Environmental Health Department (conditional) Date  
 N/A  
 Solid Waste Management Date 6-27-07  
 Andrew Sims  
 DRB Chairperson, Planning Department Date



Consultant  
**Consensus Planning**  
 ADDRESS • 302 8th Street NW  
 ALBUQUERQUE, NM 87102  
 TELEPHONE • 505.784.9801  
 FAX • 505.842.5455  
 E-MAIL • cp@consensusplanning.com

Developer Fountain Hills Plaza LLC

ADDRESS • PO Box 56883  
 ALBUQUERQUE, NM 87197  
 TELEPHONE • 505.239.0920  
 FAX • 505.850.7278

DRB SUBMITTAL

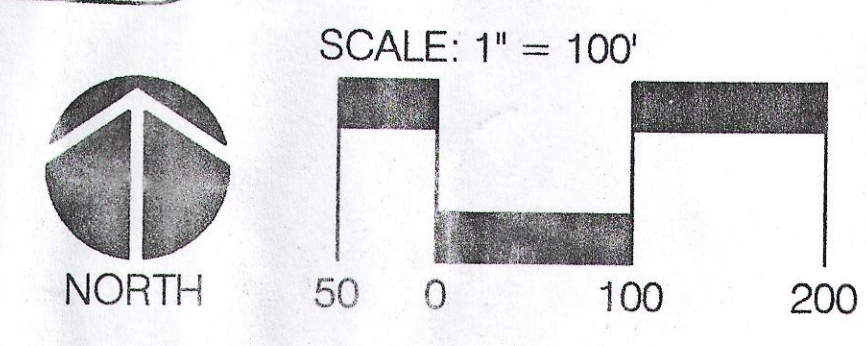
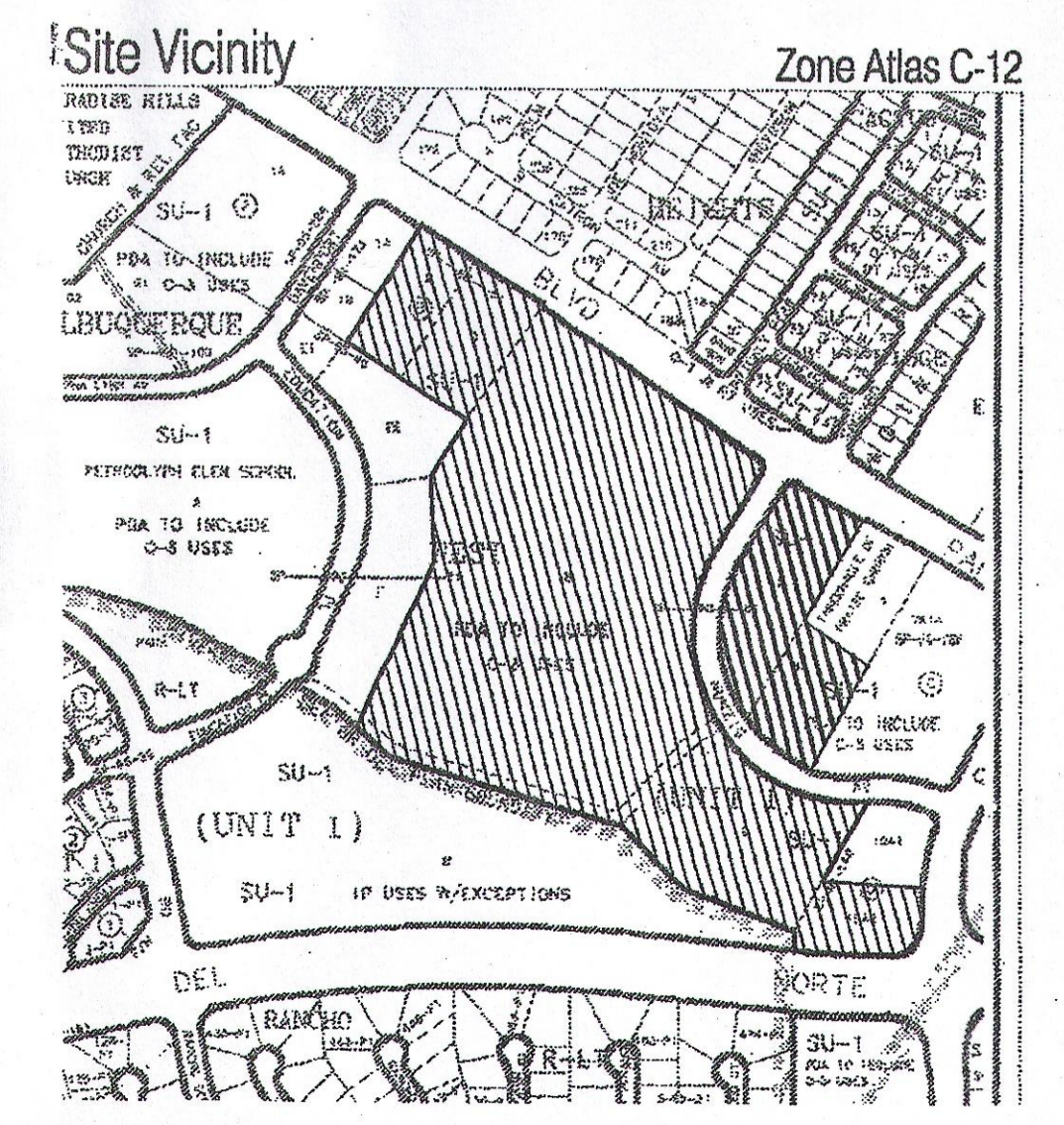
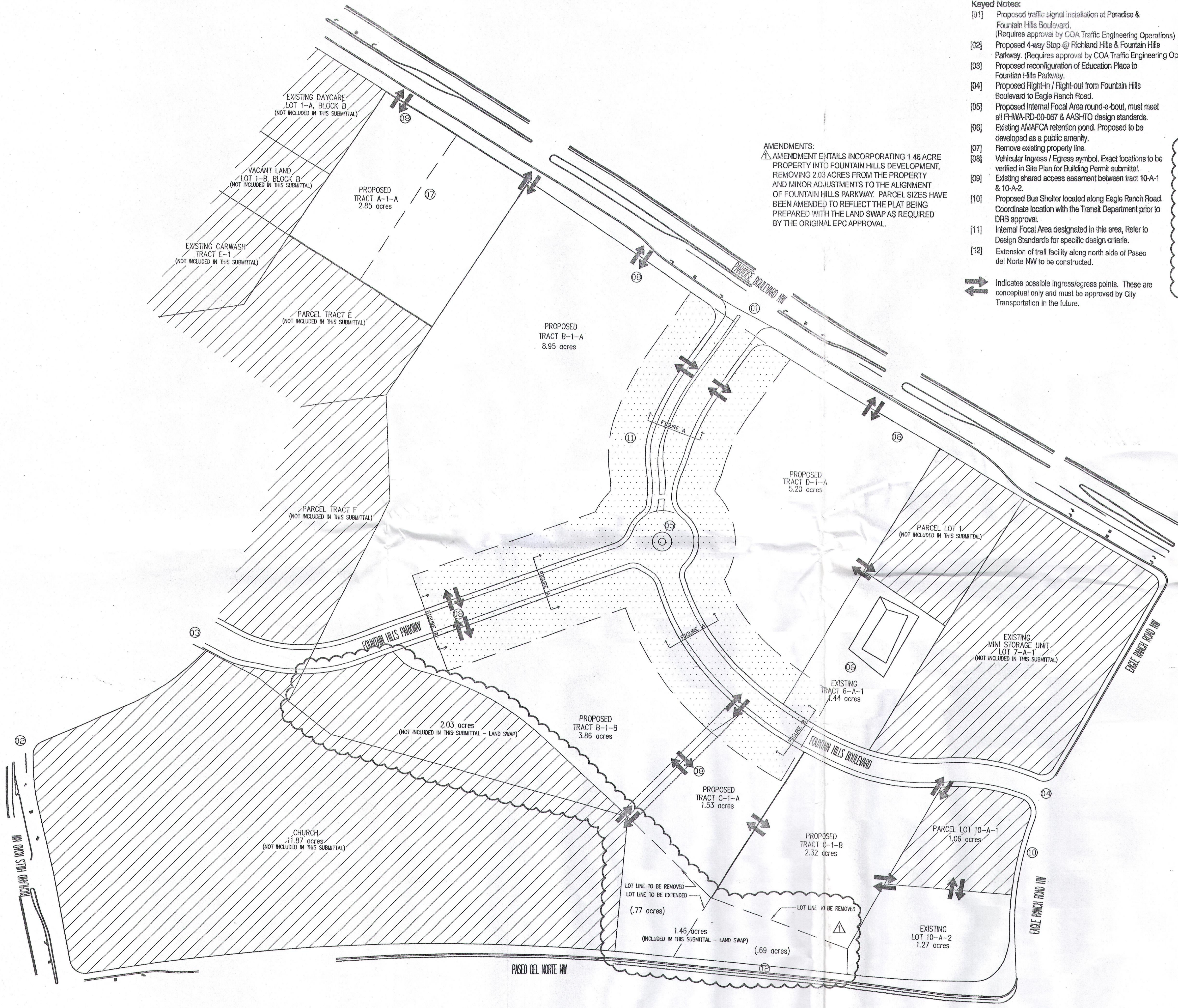
DATE ISSUED • 6-11-07  
 PROJECT ID • Fountain Hills

Site Plan For Subdivision

**A1**

- Keyed Notes:**
- [01] Proposed traffic signal installation at Paradise & Fountain Hills Boulevard. (Requires approval by COA Traffic Engineering Operations)
  - [02] Proposed 4-way Stop @ Richland Hills & Fountain Hills Parkway. (Requires approval by COA Traffic Engineering Operations)
  - [03] Proposed reconfiguration of Education Place to Fountain Hills Parkway.
  - [04] Proposed Right-in / Right-out from Fountain Hills Boulevard to Eagle Ranch Road.
  - [05] Proposed Internal Focal Area round-a-bout, must meet all FHWA-RD-00-067 & AASHTO design standards.
  - [06] Existing AMAFCA retention pond. Proposed to be developed as a public amenity.
  - [07] Remove existing property line.
  - [08] Vehicular Ingress / Egress symbol. Exact locations to be verified in Site Plan for Building Permit submittal.
  - [09] Existing shared access easement between tract 10-A-1 & 10-A-2.
  - [10] Proposed Bus Shelter located along Eagle Ranch Road. Coordinate location with the Transit Department prior to DRB approval.
  - [11] Internal Focal Area designated in this area. Refer to Design Standards for specific design criteria.
  - [12] Extension of trail facility along north side of Paseo del Norte NW to be constructed.
- Indicates possible ingress/egress points. These are conceptual only and must be approved by City Transportation in the future.

**AMENDMENTS:**  
 AMENDMENT ENTAILS INCORPORATING 1.46 ACRE PROPERTY INTO FOUNTAIN HILLS DEVELOPMENT, REMOVING 2.03 ACRES FROM THE PROPERTY AND MINOR ADJUSTMENTS TO THE ALIGNMENT OF FOUNTAIN HILLS PARKWAY. PARCEL SIZES HAVE BEEN AMENDED TO REFLECT THE PLAT BEING PREPARED WITH THE LAND SWAP AS REQUIRED BY THE ORIGINAL EPC APPROVAL.



1000762



**Design Guidelines & Standards**

The purpose of these Design Guidelines is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Fountain Hills mixed-use development. These guidelines address the issues of streetscape, road design, pedestrian circulation, setbacks, parking, lighting, signage, site layout, architecture, landscape and transit opportunities. Each category is organized in terms of Standards (Items that are required), and Guidelines (Items that are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Guidelines & Standards, the more restrictive requirement shall be applicable.

The Design Standards shall be used to facilitate the design of buildings which respect the natural conditions of the site, maintain and highlight the spectacular views of the Sandia and Manzano Mountains and to provide a clustered building design that breaks up large parking areas into an integrated pedestrian center.

**Site Plan Submittals:**

Site Development Plans for Building Permit for all Tracts shall be reviewed and approved by the Development Review Board (DRB) in accordance with the provisions set forth in Council Bill # F/S O-186, Enactment No. 33-1985, Exhibit 'A', City of Albuquerque Zoning and Special Use Parameters approved by City Counsel May 29th, 1985.

**Site:**

The proposed site consists of approximately 31 acres of undeveloped land bounded by Paradise Blvd to the North, Eagle Ranch Rd to the East, Paseo Del Norte to the South & Education Pl to the West.

**Land Use Concept:**

The land use concept is an integrated, Mixed-use Office / Commercial / Retail & Service Center, adjacent to a Designated Community Activity Center per the City of Albuquerque Comprehensive Plan. The character developed within the center is a pedestrian friendly environment consisting of areas for displays & seating. The design criteria encourages the use of small and large scale plazas and patios to create outdoor public / private space. The street layout encourages this type of activity by providing an Internal Focal Area around which buildings are oriented, providing slower moving pedestrian friendly traffic conditions in high congestion areas. On-street parking, pedestrian nodes and an integrated internal street system will work toward creating a community identity.

**Proposed Uses:**

C-3 Permissive & Conditional uses including package liquor for off-site consumption, unless otherwise restricted below.

**Prohibited Uses:**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                           |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>Adult Amusement Establishment or Adult Store</li> <li>Bottling</li> <li>Mfg., assembling, treating, repairing, or rebuilding of products</li> <li>Printing, publishing, lithography, or blueprinting</li> <li>Sheet metal working</li> <li>Upholstering</li> <li>Contractor's yard</li> <li>Equipment rental, sales, display and repair</li> <li>Antenna (without height limitation)</li> <li>Operative contractor's equipment and heavy farm equipment sales</li> <li>Railroad right-of-way and incidental facilities</li> <li>Outdoor building material storage or sales unless incidental to retail sales and adequately screened</li> <li>Specific uses restricted by Council Bill # F/S O-186, Enactment No. 33-1985, annexation agreement</li> </ul> | <ul style="list-style-type: none"> <li>Automotive Engine Mfg.</li> <li>Cold Storage Plant</li> <li>Welding</li> <li>Ice Plant</li> <li>Tire recapping or re-treading</li> <li>Warehousing</li> <li>Bulk Fuel Storage &amp; Sales</li> <li>Kennel</li> <li>Auto Dismantling</li> <li>On-Site Dry Cleaning Plant</li> </ul> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**Adjacent Land Uses (Zoning):**

- |       |                                                                                      |
|-------|--------------------------------------------------------------------------------------|
| North | - Single Family Residential (R-1, SU-1 & RT)                                         |
|       | - Multi-Family Residential Apartments (SU-1, C-2 & R-2)                              |
| South | - Undeveloped Land (SU-1 IP w/ Exceptions per the Riverview Sector Development Plan) |
|       | - Single Family Residential (R-LT)                                                   |
| East  | - Commercial (SU-1 PDA to include C-3 Uses)                                          |
|       | - Multi-Family Residential Apartments (SU-1)                                         |
| West  | - Petroglyph Elementary School (SU-1 PDA to include C-3 Uses)                        |
|       | - Commercial (SU-1)                                                                  |

**Site/Edge Design**

**Standards**

- Parking provided adjacent to Paradise Boulevard, Eagle Ranch, and Paseo Del Norte shall be screened by short walls and/or landscaping to a height of 3 feet.
- A 6 foot sidewalk shall be provided within these right-of-ways to provide pedestrian access.
- Landscape buffers shall include trees spaced a minimum of 30 feet on center and include a minimum of 25% coniferous trees.
- The Internal Focal Area (Figure G) shall be defined by a vehicular round-a-bout and parallel parking within the public right-of-way. The area immediately adjacent to the round-a-bout shall be constructed of materials that distinguish it from typical roadway materials, such as integrally colored and/or stamped concrete, brick forms or pavers of various sizes (to be approved through DRC and Street Maintenance).
- A centrally located round-about shall be designed to create an urban space where interaction can occur. (Figure G) Provide amenities to cater to pedestrians, bicyclists, transit users and motorists. (i.e. seating, bicycle parking, outdoor display, newspaper kiosks, etc.
- The Project edge along Paradise Boulevard shall include at least a 10 foot landscape setback from property line to provide a buffer to the adjacent residential neighborhoods.
- Street edges adjacent to Tract A-1-A shall utilize a combination of walls, decorative fencing, and landscaping to provide for a secure residential environment. The material treatments shall be compatible with adjacent buildings and consist of materials specified in the Perimeter Walls & Screening section provided in this document.

**Public Right-of-Way**

All Access Points provided on the site plan are for illustrative purposes only and are subject to change.

**Standards**

- The Site Plan shall comply and be designed per DPM Standards.
- The Internal Focal Area is proposed as a 62 foot public right-of-way as shown in Figure A & Figure D.
- The streets outside of the Internal Focal Area are proposed as a 60 foot public right-of-way as shown in Figure B.

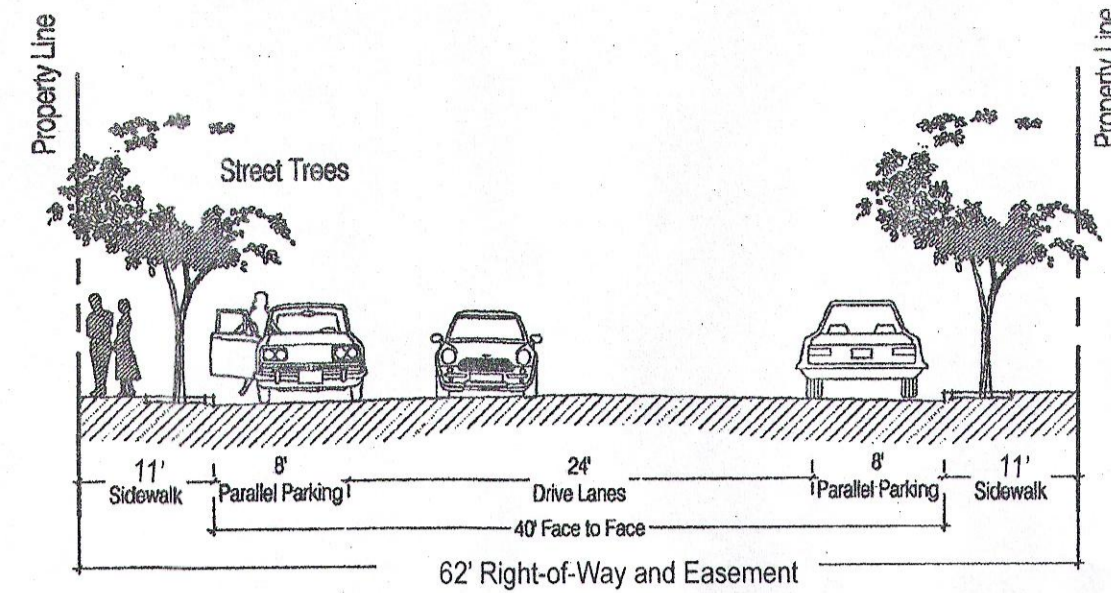


Figure A: Internal Focal Area Minimum Street Section

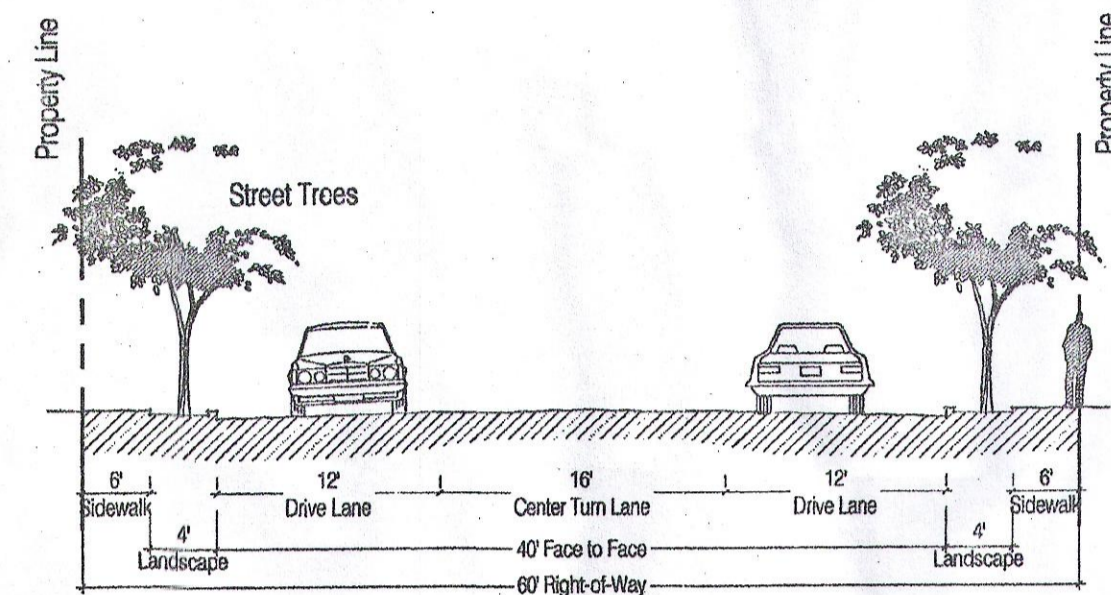


Figure B: Right-of-Way Minimum Street Section

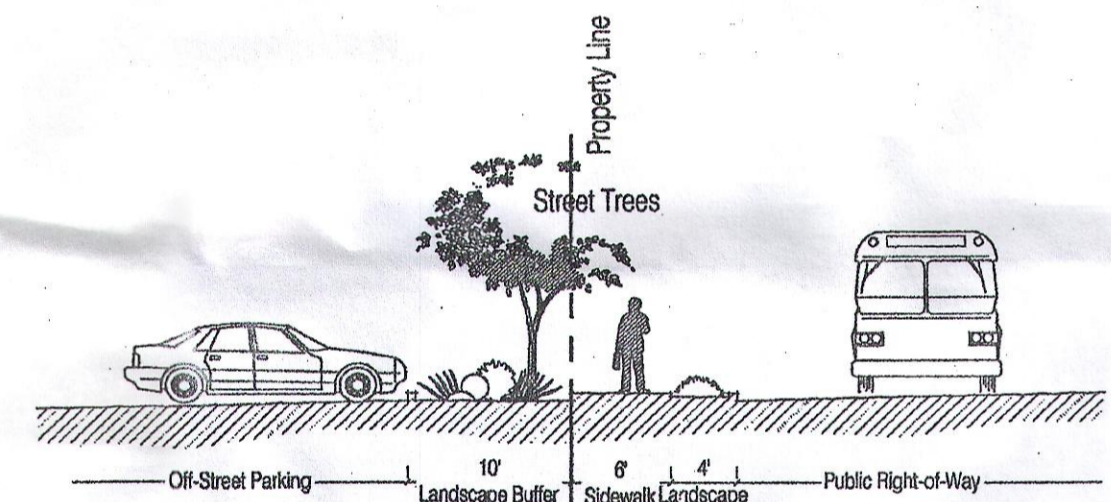


Figure C: Off-Street Parking Minimum Section

- All intersections shall have pedestrian crosswalks that are a minimum of 6 feet wide. These crosswalks shall be constructed of materials that distinguish it from the roadway materials, such as integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Provide cross access to all properties adjacent to the proposed development.
- Fountain Hills Drive shall provide access from Fountain Hills Boulevard (Nunzio Avenue) to Parcel H-4.
- The round-a-bout shall be designed per FHWA & AASHTO Standards, including on-street parking in and around this area.
- Fountain Hills Boulevard (Nunzio Avenue) & Eagle Ranch shall be restricted to a Right-in Right-out intersection.

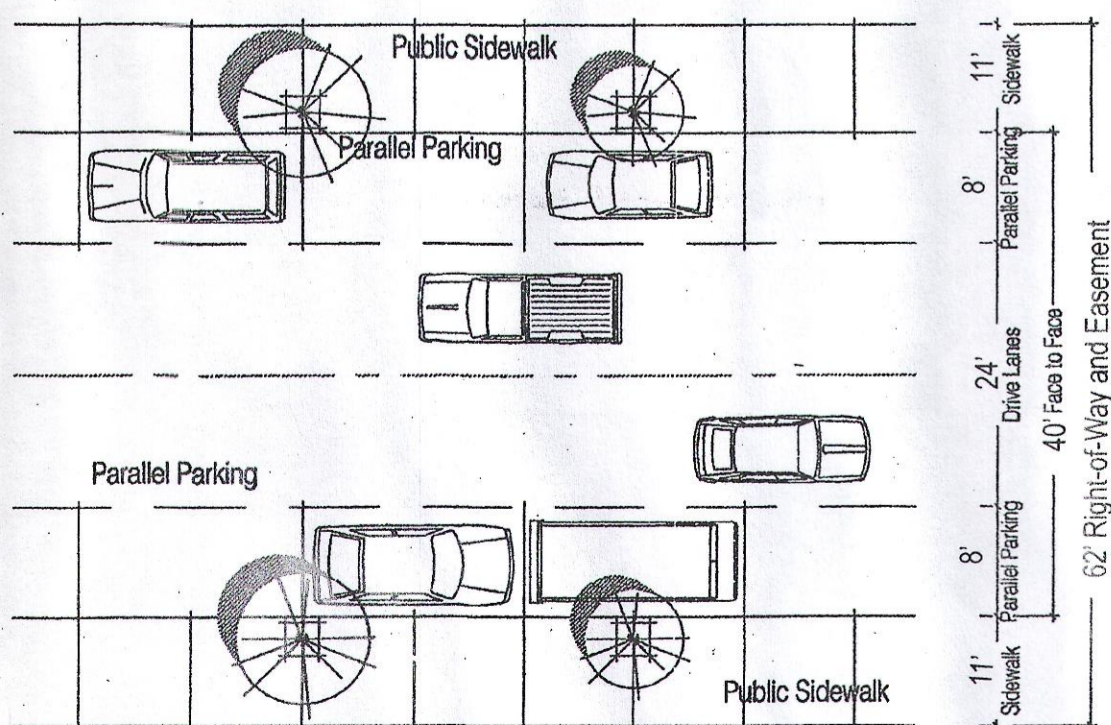


Figure D: Internal Focal Area Street Plan

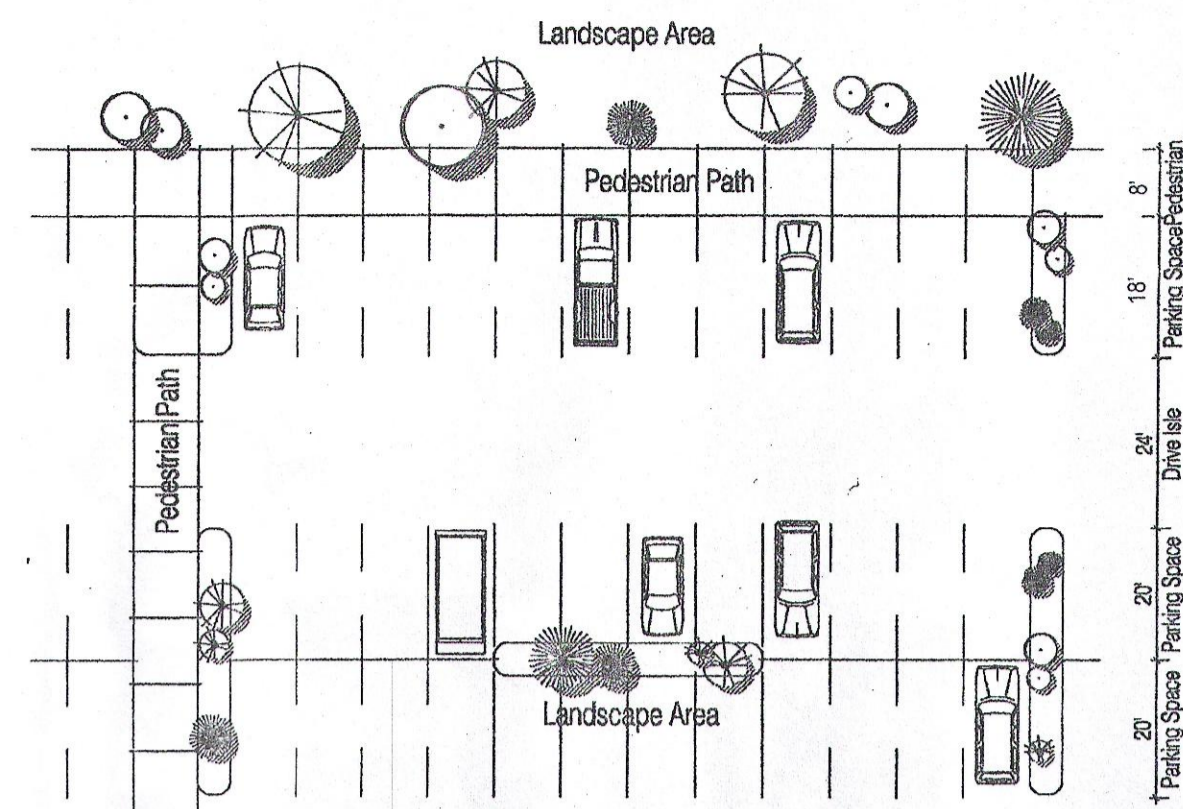


Figure E: Off-Street Parking Plan

**Off-Street Parking**

In order to support the goals for the property regarding pedestrian accessibility, careful attention shall be paid to the parking design. An effort shall be made to lessen the impact of parking facilities on the land through landscaping, site location and arrangement. In order to lessen the visual impact of parking areas, parking facilities shall be broken up into a series of smaller areas.

**Standards**

- All Off-Street parking shall comply with Section 14-16-3-1 of the Comprehensive Zoning Code.
- The maximum amount of parking provided shall meet parking requirements in the City Zoning Code, plus 10 percent.
- Parking areas shall be designed to include a 6 foot wide pedestrian link to buildings. This linkage shall be constructed of materials that distinguish it from the roadway materials, such as integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Parking areas shall be setback a minimum of 10 feet from adjacent property lines and/or private drive easements.
- Barrier curbs shall be provided around all parking areas in order to protect landscaping from vehicles. These barriers shall provide water runoff openings to allow surface drainage into the landscaped areas.
- Parking shall be distributed among several parking areas on each site to limit large expanses of parking lots. Parking shall be placed behind buildings or be screened from surrounding neighborhoods by means of walls and/or landscaping. Walls shall be architecturally compatible with the surrounding buildings.
- Bicycle parking shall be provided pursuant to City Zoning Code. To encourage non-vehicular travel, provisions for convenient on-site bicycle lockers and/or secure bicycle storage areas shall be provided adjacent to building entrances.
- Off-street parking areas shall not be permitted adjacent to Fountain Hills Boulevard (Nunzio Avenue) or Fountain Hills Parkway within the Internal Focal Area.
- Motorcycle parking shall be provided at 2 spaces per building. The motorcycle parking is not required to be located next to the building.

The Internal Focal Area shall be designed for the pedestrian. Vehicular circulation shall be slowed for pedestrian safety. This focal area shall be considered an activity core. Its intent is to create an interactive setting within the project site.

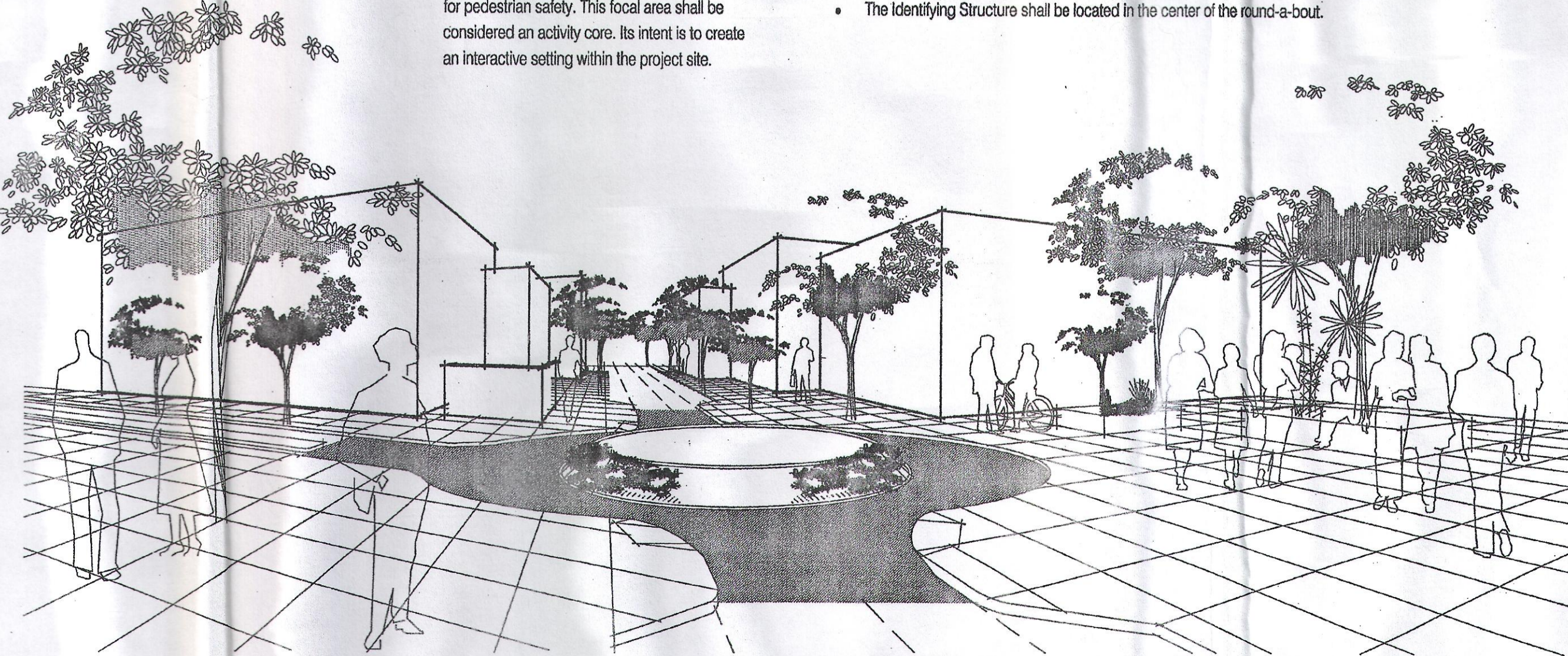
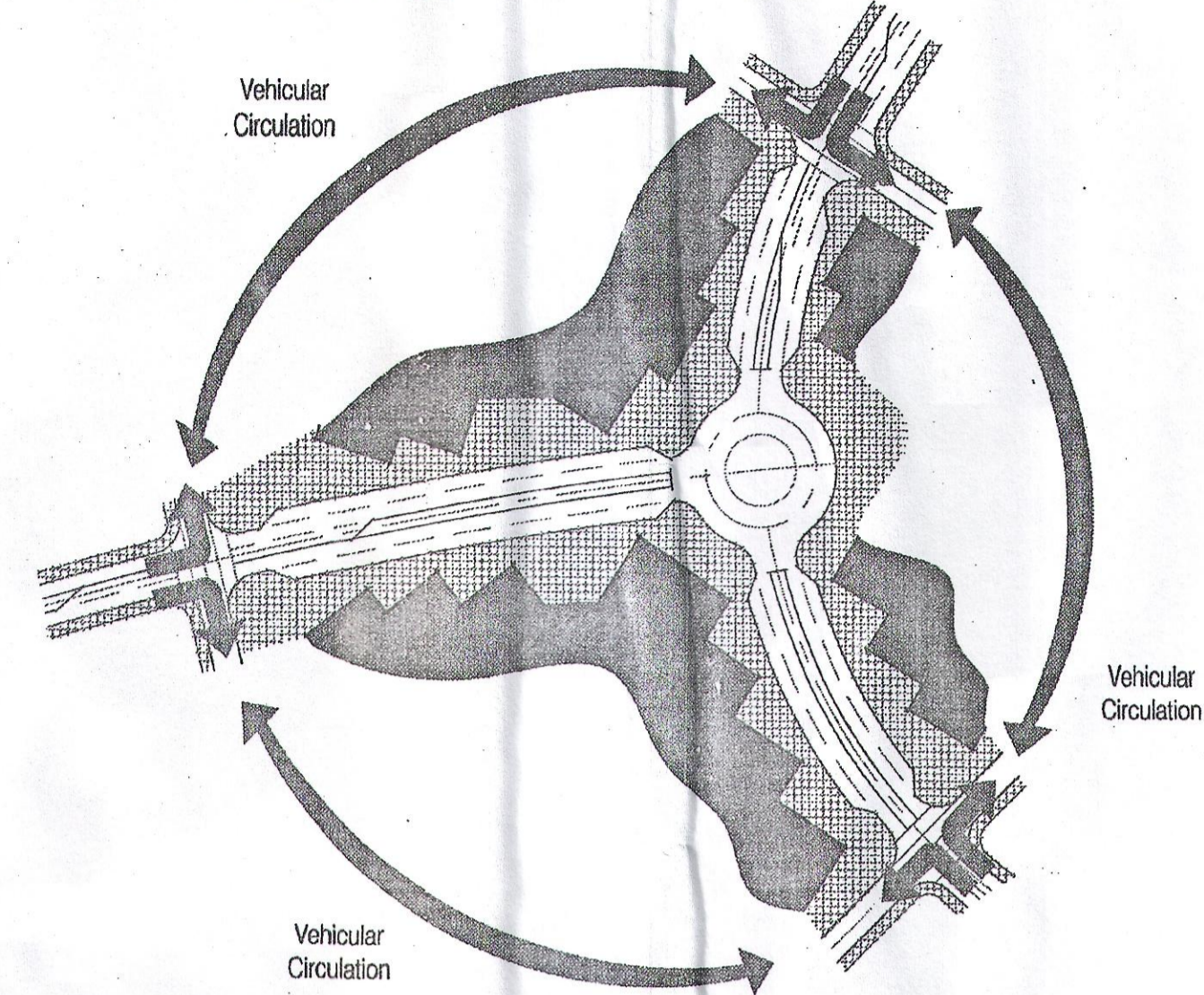


Figure F: Alternative Traffic Circulation

**Note**

The Internal Focal Area is intended to provide a pedestrian friendly environment in which vehicular traffic could be dispersed to alternative routes.



**Building Setbacks**

The following setback requirements serve to create a variety of pedestrian experiences: an urban formal experience throughout the Commercial / Retail tracts; and an informal experience throughout the Office / Multi-family Residential tracts.

**Standards**

**General**

- All building setbacks shall be compliant with the C-3 zoning requirements provided in the City of Albuquerque Comprehensive City Zoning Code and the following:
  - Building setbacks adjacent to Fountain Hills Boulevard (Nunzio Avenue) and Fountain Hills Parkway within the Internal Focal Area shall be a minimum of 15 feet and a maximum of 20 feet from the property line to produce an urban streetscape. Building overhangs, patio walls, and patios / plazas and other private amenities intended for use by patrons shall be permitted within this setback to allow for public and/or private nodes for building tenants.

- Building setbacks adjacent to Paradise Boulevard and Fountain Hills Boulevard outside the Internal Focal Area shall be a maximum of 85 feet. The intent is to provide limited off-street parking within this setback, while avoiding large expanses of off-street parking adjacent of the street. Building overhangs, patio walls, and patios/plaza shall be permitted within this setback to allow for private and/or public areas.

**Public Art**

The center of the Internal Focal Area shall provide an identifying structure that enhances the design of the development. This structure shall be Public Art, or a Fountain Element to provide an ambience within the Internal Focal Area.

**Standards**

- The Identifying Structure shall comply with the City's Zoning Regulations and any applicable City Ordinances.
- The Identifying Structure shall be maintained by the building Owner's (Commercial Owner's Association).
- The Identifying Structure shall be located in the center of the round-a-bout.

**CANNADY PALACIOS ARCHITECTURE**  
 ADDRESS • 201 Serenity Court  
 ALBUQUERQUE, NM 87123  
 TELEPHONE • 505.293.1111  
 FAX • 505.248.4187  
 WEBSITE • www.cpaarchitect.com  
 E-MAIL • dbn@cpaarchitect.com  
 E-MAIL • dbn4@cpaarchitect.com

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**CONSensus PLANNING**  
 CONSULTANT

**Consensus Planning**  
 ADDRESS • 302 8th St NW  
 ALBUQUERQUE, NM 87102  
 TELEPHONE • 505.744.0801  
 FAX • 505.542.5288  
 E-MAIL • cp@consensusplanning.com

DRB SUBMITTAL

DATE ISSUED • 6-11-07  
 PROJECT ID • Fountain Hills

Site Plan For Subdivision

**A2**



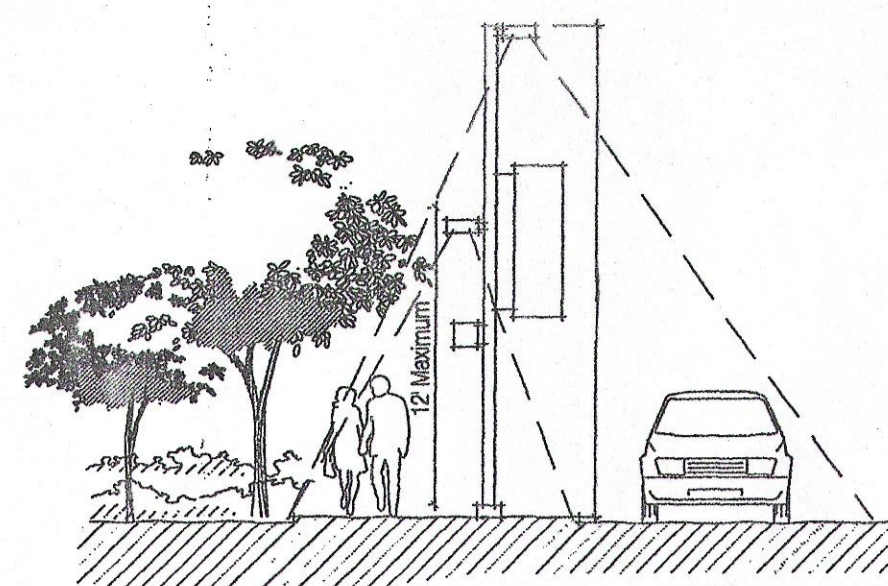


Figure H: Public Right-of-Way Lighting  
(All street lights shall comply with the City of Albuquerque requirements.)

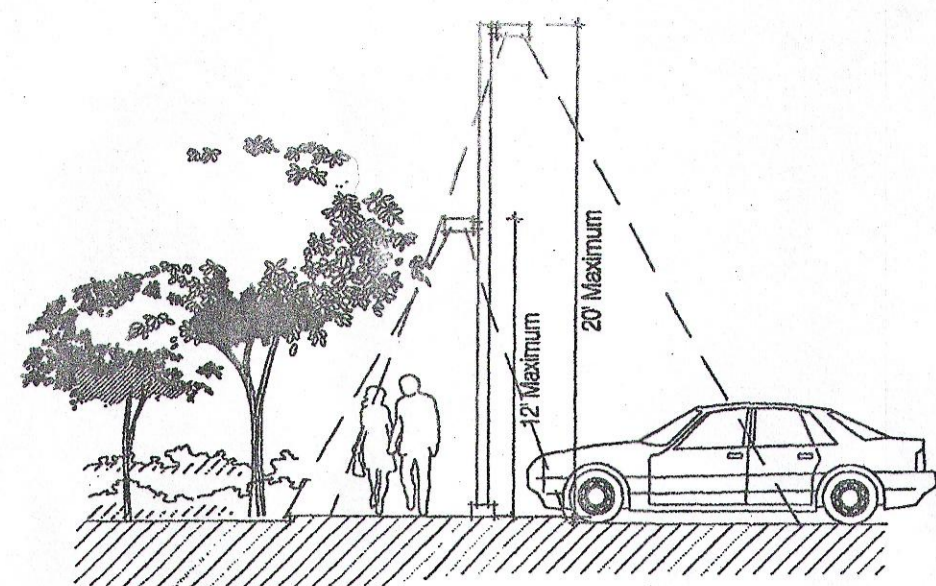


Figure I: Parking / Pedestrian Lighting

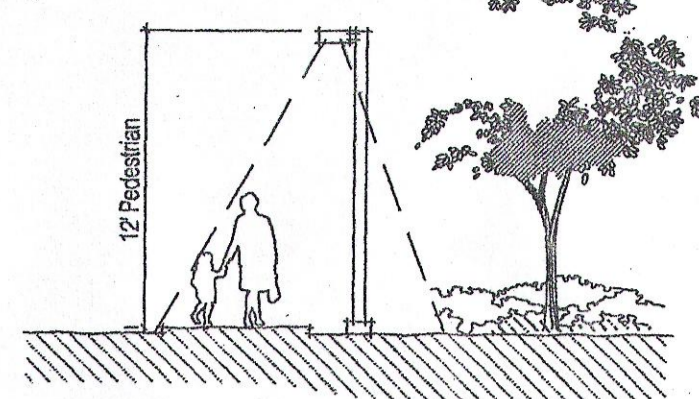


Figure J: Pedestrian Lighting

**Site / Building Lighting**

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. Figures H, I, and J should be reference when applying site/building lighting.

**Standards**

- All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to the State of New Mexico Night Sky Protection Act.
- All free-standing lights shall be of a consistent design throughout the site.
- All free-standing lights shall adhere to the detail drawings submitted by this plan.
- Sodium & Cobra lighting shall not be permitted (except publicly maintained street lights).
- The location of light fixtures shall be identified on subsequent Site Plans for Building Permits.

**Site Lighting**

**Standards**

- All street lights shall comply with the City of Albuquerque requirements.
- The height of off-street parking area lights shall not exceed 20 feet.
- All lights shall be a shielded source to prevent spillage onto adjoining properties or public right-of-way.

**Pedestrian Lighting**

**Standards**

- The height of Pedestrian lighting shall not exceed 12 feet.
- Pedestrian lighting shall conform to all State & Local safety & illumination levels.

**Guidelines**

- Tree Canopy lighting is encouraged to accent & enhance the pedestrian corridor and the streetscape.
- The use of spread lighting fixtures are encouraged to accent landscape and walkways.

**Building Lighting**

**Guidelines**

- Exterior elevations of any building fronting a street are encouraged to be feature lighted to enhance the identity of the building and accentuate pedestrian circulation.

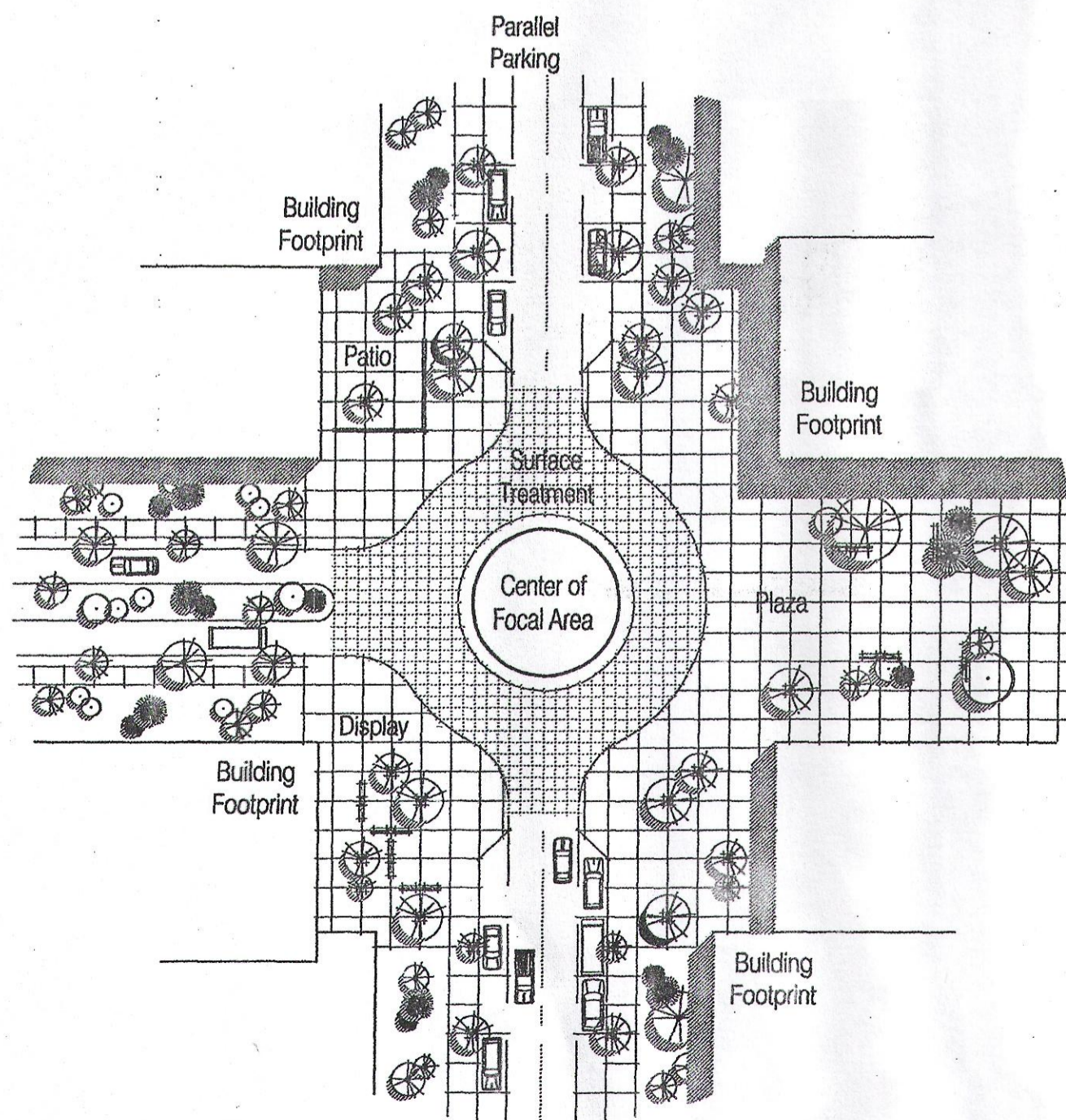


Figure G: Internal Focal Area

**Signage & Graphics**

The following signage and graphic criteria creates a sense of arrival to the development and establishes a quality visual impact. Subdivision signage for this development shall be consistent with Section 14-16-3-5 (C) of the Comprehensive City Zoning Code. Where there is a conflict between these guidelines and the City Regulations, the more restrictive shall apply.

**Site Signage**

**Standards**

- All signage shall comply with Section 14-16-3-5, General Sign Regulations of the Comprehensive City Zoning Code.
- Free standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- Logos shall not constitute more than 50% of the sign face area for any use.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- Franchise logos are allowable but shall not dominate in terms of area of the signage for any use.
- Signs shall not overhang into the public right-of-way or extend above the building roof line.
- Off-premise signs and portable signs are prohibited.
- Building mounted signage shall compliment architectural elements and shall ensure consistency in terms of signage materials, color range and sign type.
- Four Monument Signs shall be provided for the entire development.
- Multi-tenant directory signs shall be provided at access / ingress locations as shown on the site plan. This sign shall be coordinated to have the same appearance (height, size, color, material, text height, style, etc.) at all locations.

**Guidelines**

- Signs which are directly spotlighted may be used provided there is no glare on the street or upon adjacent property or that the light does not distract motorists.

**Building Mounted Signage**

**Standards**

- The colors, materials, size of letters & lighting shall be specified for building mounted signs throughout the project prior to DRB approval.
- Building-mounted signage shall identify the name and business of the occupant or of those offering the premises for sale or lease.
- Building-mounted signs shall have a significant contrast between the background and the text in order to ensure readability.
- No building-mounted sign shall intrude upon any architectural features, including windows, columns, moldings or any decorative features.

**Landmark**

**Standards**

- One 'landmark' shall be permitted identifying the Commercial Center. This landmark may be a sculpture, tower, etc. and shall not exceed a height of 32 feet.

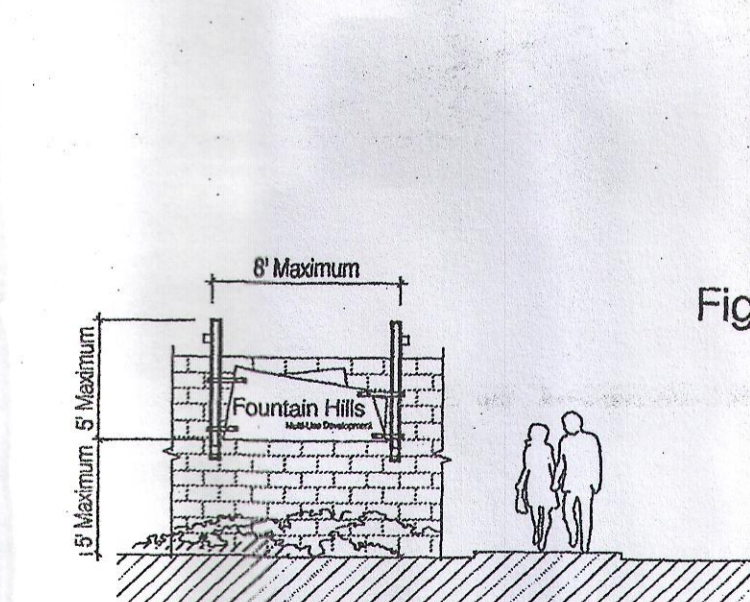


Figure L: Freestanding Monument Sign

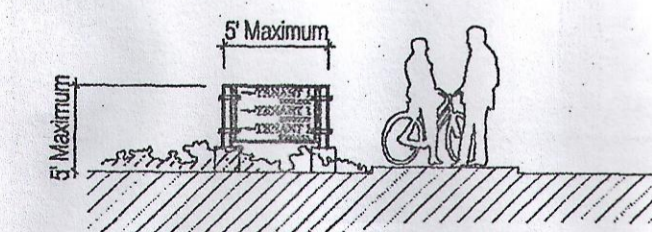


Figure K: Multi-Tenant Directory Sign

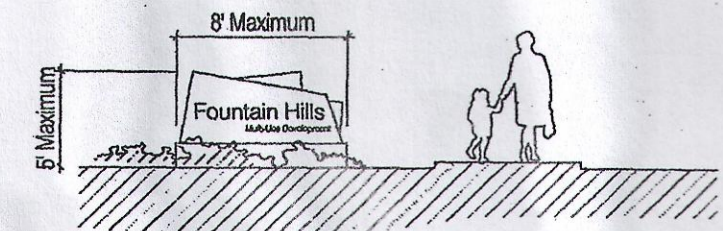


Figure M: Freestanding Monument Sign

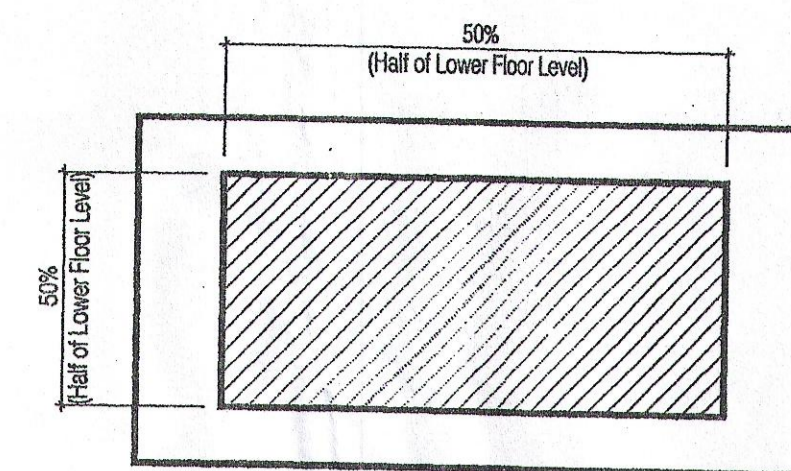
**Pedestrian Connections & Trails**

Pedestrian pathways will depend on creative site design and will be a primary design objective. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities including benches, plazas, walkways, lighting, etc. providing shaded walkways; and creating separate vehicular and pedestrian circulation systems throughout the project.

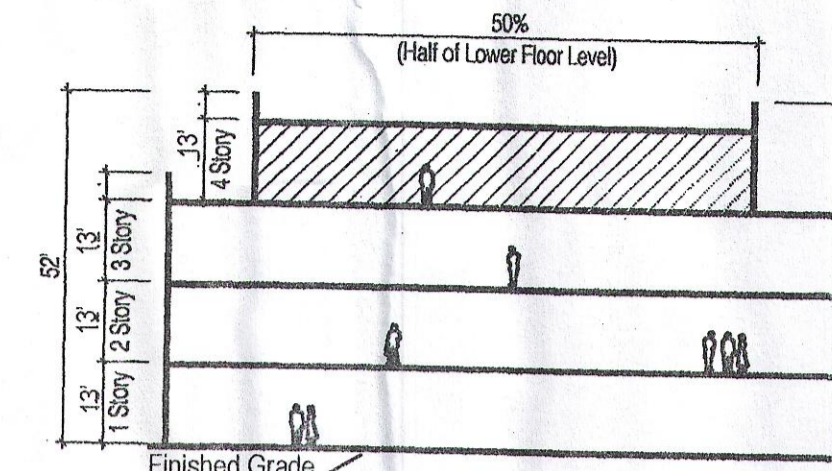
Pedestrian Connections provide direct access between land uses within the development and to the surrounding neighborhoods. The following criteria serves to create a pedestrian friendly environment and promote alternative modes of travel.

**Standards**

- All pedestrian paths shall be built to City Standards, per the City's Trail & Bikeways facility plan, as well as in accordance with Section 14-16-3-1(G) of the Zoning Code.
- Pedestrian linkages shall be provided between all tracts affected by this development pursuant to Section 14-16-3-1(G)(3) of the City Zoning Code.
- All soft-surface paths shall be of a consistent design throughout the entire site, color shall be compatible with the building materials. Material shall be of crusher fines or similar.
- All hard-surface pedestrian sidewalks shall be of a consistent design throughout the entire site, color shall be compatible with the building materials.
- All pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-free Design), except where topography makes this unfeasible.
- The use of asphalt paving for pedestrian trails is prohibited. Concrete or compacted decomposed granite with stabilizer are acceptable materials.
- Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles and where City trails cross streets. Such materials shall consist of integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Pedestrian connections shall be provided to the required bus shelter at Eagle Ranch Road.
- Minimum 6 foot sidewalks shall be provided along public right-of-ways around the perimeter of the development.



50% Floor Area Below



50% Half-Story

Note:  
The diagrams are for illustrative purposes only. The upper floor mass shall be located anywhere within the lower floor footprint.

**Height Summary:**  
Maximum building height is 3.5 stories per Council Bill F/S 0-186, Enactment 33-1985. Allowable building height shall equate to 52 feet (13' + 13' + 13' + 13' of which the top floor is 50% floor area of the floor below).

**Proposed Vertical Building Height Restrictions:**

The City of Albuquerque Comprehensive Zoning Code states that SU-1 height requirements shall be regulated by the R-2 zone unless modified by the Planning Commission (14-16-2-22 (D)). The R-2 zone states "the height and width of the structure over 26 feet shall fall within 45° angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises..."

In defining a Half-Story, the definition from the Dictionary of Architecture & Construction is used, which describes a half-story as "A story within a sloping roof; usually having dormer windows and occupying about half the area of the floor or floors below". Through this definition, the top floor area is limited to this ratio of 50% of the floor area below. This massing enhances the Architectural Expression and minimizes the massing of the highest floor.

The City Zoning Code does not establish a physical height for a "story" within a building. The City's Zoning Code does establish a 26 foot height limitation in various zones. Common architectural practice can design 2 stories within this 26 foot height. Therefore, 1 story is interpreted as being 13 feet in height. 4 stories is interpreted as 52 feet measured from Finished Floor elevation to the Highest point of the building.

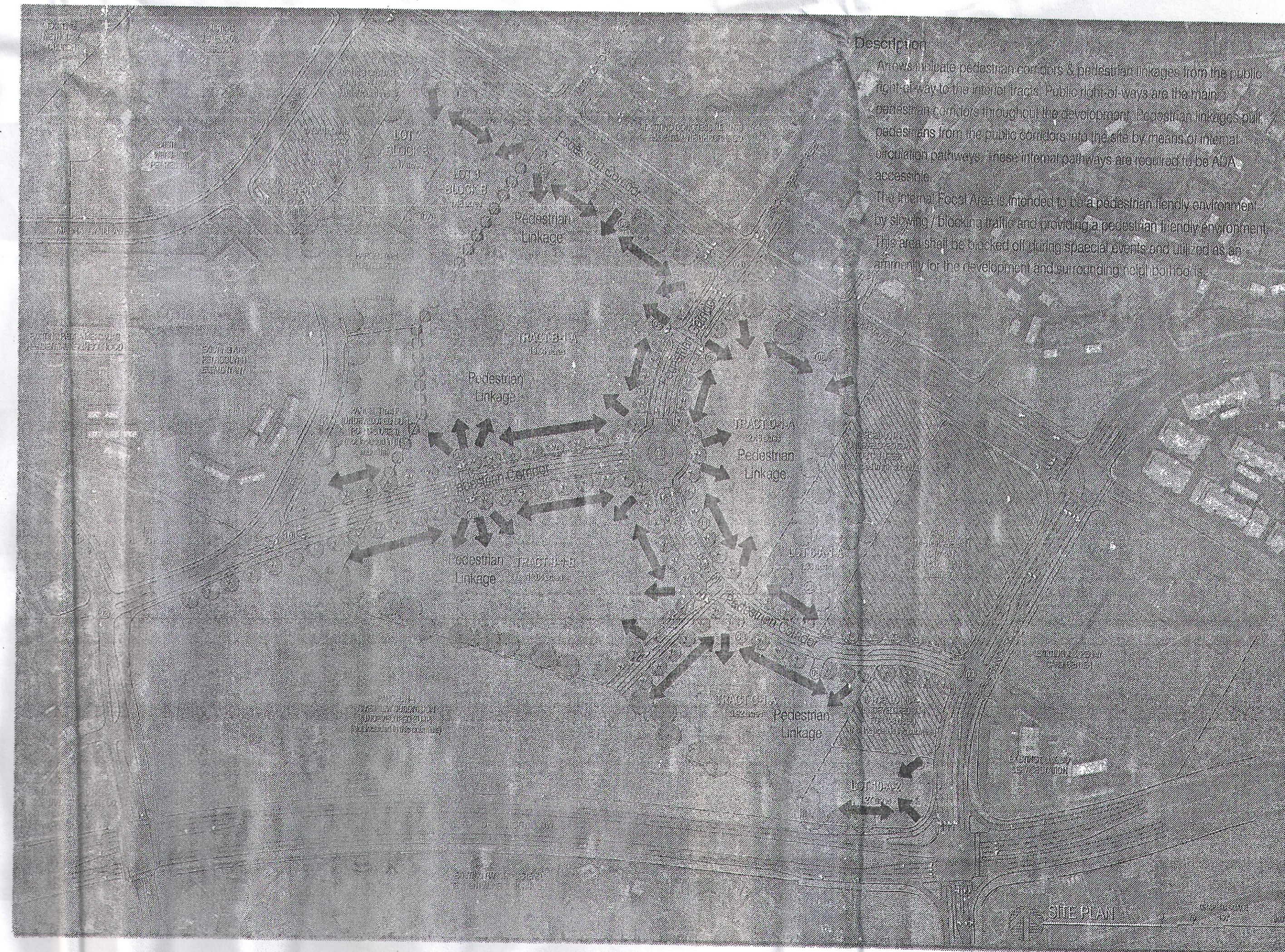


Figure H: Pedestrian Corridor Plan

**CANNADY PALACIOS ARCHITECTURE**  
 ADDRESS • 201 Serenity Court  
 • Albuquerque, NM 87123  
 TELEPHONE • 505.299.1111  
 FAX • 505.349.4167  
 WEBSITE • www.cpaarchitecture.com  
 E-MAIL • devin@cpaarchitecture.com  
 • daniel@cpaarchitecture.com  
 THIS DRAWING IS THE PROPERTY OF CP ARCHITECTURE AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT

**CONSensus PLANNING**  
 Consultant  
**Consensus Planning**  
 ADDRESS • 202 S.W. 4th NW  
 • Albuquerque, NM 87102  
 TELEPHONE • 505.764.9901  
 FAX • 505.842.5465  
 E-MAIL • cp@consensusplanning.com

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DATE ISSUED • 6-11-07  
PROJECT ID • Fountain Hills

Site Plan  
For Subdivision

**A3**



### Standards

- All development shall comply with General Building & Site Regulations of the City Zoning Code (14-16-3-18).

### Architectural Style

The Architectural Expression is to incorporate traditional Southwestern Characteristics with a Contemporary Southwestern Expression. In order to achieve this effect, the following concepts shall be expressed:

- Massing of building facades shall be varied in height, width & depth.
- All buildings shall consist primarily of flat roofs with perimeter parapets.
- Main Entrances & Glass Display Areas adjacent to the public right-of-way shall be recessed a minimum of 12' to create a sense of depth and mass.
- Soft rounded corners and tapered parapets shall be prohibited.

### Building Form

#### Standards

- Building elements within the commercial tracts such as glazing, displays and entries shall be oriented both externally to the streetscape and internally towards public parking in order to promote an urban pedestrian experience.

- Buildings shall employ a variety of structural forms to create visual character and interest. Long, unarticulated facades shall be avoided. Facades shall have varied front setbacks, with wall planes not running in one continuous direction without a change in architectural treatment (i.e. offset, fenestration, material change, etc.).

- Restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with the buildings theme. These spaces shall be a minimum of 100 square feet.

### Guidelines

- It is encouraged to produce sloped/pitched roofs that overhang entry points, fenestration, and patios/plazas in order to provide shelter for the users.

- Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways and soffits should be carefully dimensioned and detailed to provide a human scale and visual interest.

- It is encouraged to include trellis, awnings, etc. over pedestrian circulation areas to enhance the urban environment.

- Balconies and patios should be oriented and relate to pedestrian streets and pathways.

- It is encouraged to articulate Residential entryways with low walls, gateways and garden courts.
- Outdoor cafes or restaurant seasonal seating that fronts the Internal Focal Area is encouraged.

### Building Materials

#### Standards

- The predominant Building Material shall be stucco. Reveals shall be incorporated to be functional as well as aesthetic enhancements.

- Materials used to enhance the predominant building materials shall be: Integrally Colored Concrete, Stacked Stone, Architectural Finished CMU, or similar. These materials will enhance entry points and add character to the building facades.

- Materials prohibited as the main architectural feature include the following: Exposed Grey Concrete, Smooth-face Cmu Block, Traditional Red Brick, Corrugated Metal Siding.

- All Glazing shall be of the same material & color on all buildings to create a cohesive theme. Reflective & Patterned glazing shall be prohibited.

- The predominant Portal Material shall be clay tile and/or Metal Roofing. Awnings & Portals shall utilize Metal Roofing, Fabric, etc.

- Trellis shall consist of Painted Metal, Sealed / Stained Wood, etc. and shall be consistent with the character of the building facades.
- All portals and awnings shall compliment the predominant building materials.

### Building Colors

#### Standards

- Predominant building field colors shall be of Natural Earthtones unique to the desert landscape, and shall include light to medium tones.
- The use of high reflecting, metallic or fluorescent colors is prohibited.

- Accent colors shall enhance building functions and articulate entry points and/or points of interest. These colors shall be deeper shades of color. No more than 3 accent colors shall be used on any building.
- Metal roofing shall be restricted to galvanized or cortan (matte, non-reflective finishes only).

### Guidelines

- The use of contrasting colors between roofs and walls is encouraged to further differentiate the planes of building masses.

- It is encouraged to differentiate building masses by color variations or texture changes. Recesses and punch-outs may be differentiated by tone, as well as change in material.

- Accented colors should bring out detailing to better articulate or give scale to a building mass. Accent colors at stairs, balconies and perimeter walls should be compatible with building materials.

### Accessory Materials

#### Standards

- Railings defining Patio / Plaza space shall be of Lightweight Railing Systems. These are intended to define the semi-public space from the public space.

- Walls defining Patio / Plaza space shall be consistent with building materials.

### Perimeter Walls / Fencing

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery / storage areas is essential to limit their adverse visual impact on the property. The site orientation of these elements shall be away from any street or pedestrian area. The standards established in the landscape and setback sections will provide the main objective to screening unattractive elements and activities.

### Standards

- All walls including screen walls, perimeter walls and retaining walls shall be similar in materials and color of building elements, to create a cohesive theme.
- Materials acceptable for screen walls, perimeter walls and retaining walls are integrally colored concrete or concrete masonry and shall be finished to match adjacent exterior buildings.
- The maximum height of perimeter walls and retaining walls is 6 feet. Areas requiring greater retainage are required to be terraced and landscaped.
- Unfinished block walls and barbed wire, chain link, concertina wire, and plastic / vinyl fencing are prohibited.

### Screening

#### Standards

- Parking areas shall be screened with landscaping and/or walls. The screen walls for parking areas shall be of the same material & color as the perimeter & retaining walls for the entire site. Such screening shall have a minimum height of 3 feet.

- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.

- All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(5) of the Comprehensive City Zoning Code. All mechanical equipment shall be screened from public view by materials of the same nature as the adjacent buildings.

- All roof-mounted mechanical equipment shall be screened on all sides by a screen wall. The screen wall shall be placed immediately adjacent to the mechanical equipment.

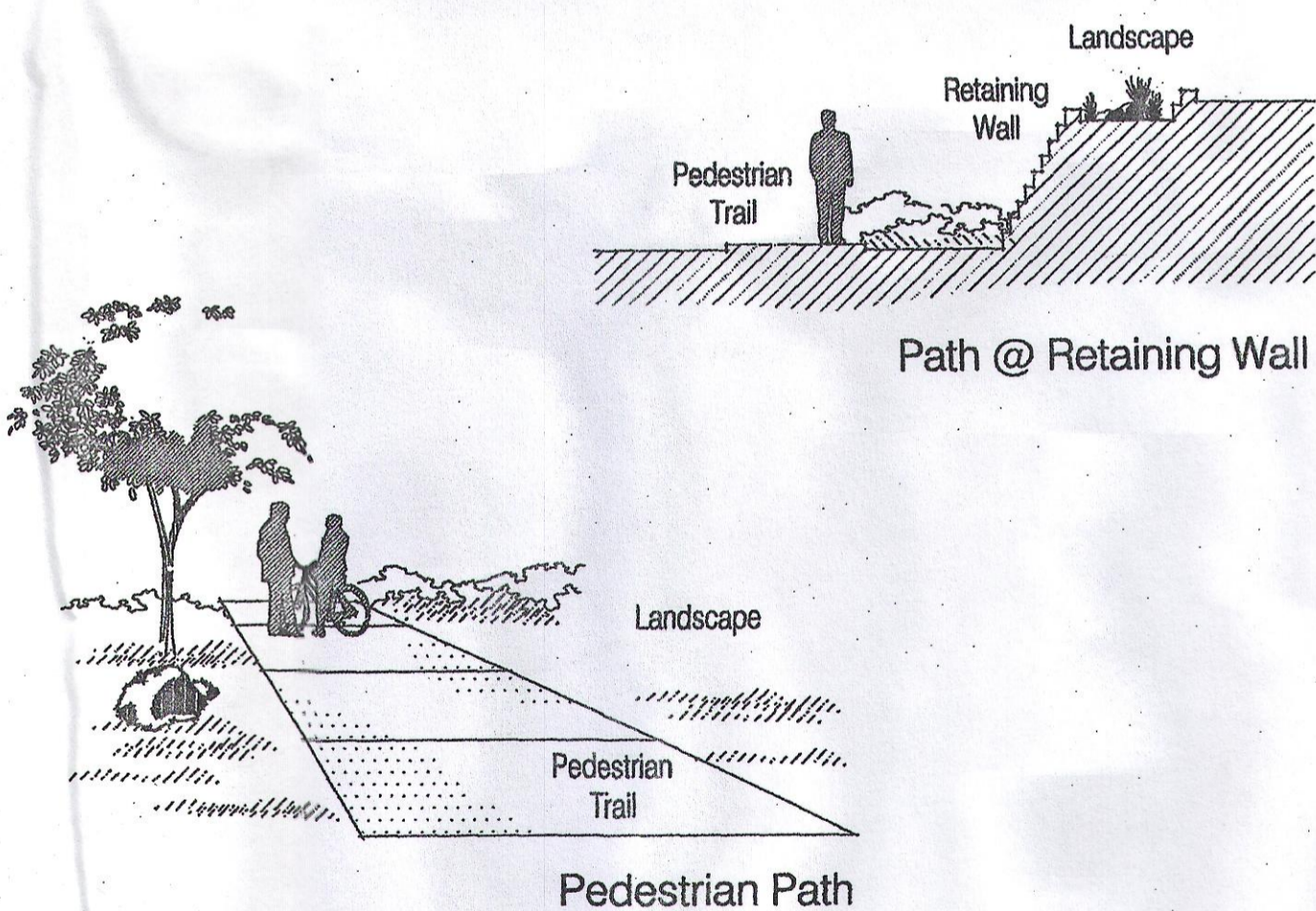
### Walls / Fencing

#### Standards

- Walls and fences shall comply with Section 14-16-3-19, General Height & Design Regulations for Walls, Fences, and Retaining Walls.

- Perimeter walls shall include pedestrian openings at key locations within the development to ensure convenient access to other tracts within the development.

- Private Secure areas shall have a fence not less than 6 feet high for privacy and security. The material and finish shall be similar in materials and color to create a cohesive theme. Wrought Iron and/or Steel Framed elements are acceptable provided they are similar in materials and color of building elements, to create a cohesive theme.



### Landscaping

The landscape environment serves to enhance the visual dynamic of the development and aid in reinforcing the street edge and the pedestrian environment. The intent is to provide for year-round color and interest, and reflect the natural beauty of New Mexico. Landscape elements, such as street furniture, lighting, bollards, and graphic pylons shall be used to reinforce the street edge. The intent is to provide a clear theme and image for the development, by suggesting consistent paving materials, plantings, signage, etc.

### Standards

- Landscape plans must comply with the City's Water Conservation Ordinance and Pollen Ordinance.

- A minimum of 20% of the site area (minus building square footage) shall be devoted to landscape materials.

- A mixture of drought tolerant species and lawn areas shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of all landscaped areas.

- Landscape headers shall be used to separate turf and planting beds. Headers may be concrete, brick, or other similar material.

- Street trees shall be required along the entire length of Fountain Hills Boulevard and Fountain Hills Parkway in accordance with the provisions of the City Street Tree Ordinance.

- Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for landscape areas, however, they are not to be considered a focal landscape element. Gravel shall be 1-1/2" maximum, the color is to be compatible with the Soft-Surface paths selection.

- An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto walks, buildings, fences, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.

- All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds.

- Minimum plant material sizes at the time of installation shall be as follows:

Canopy Trees	-	2' Caliper balled & burlapped
Evergreen Trees	-	10' Minimum Height
Accent Trees	-	1-1/2' Caliper balled & burlapped
Shrubs & Groundcovers	-	1 Gallon Minimum

- Low water use turf shall be provided at a maximum of 40% of the landscape area. High water use turf, if used, shall be limited to no greater than 20% of the provided landscape area.

- Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Trees)

- Fountain Hills Boulevard (Nunzio Avenue) & Fountain Hills Parkway are proposed pedestrian corridors, providing circulation throughout the various tracts. These street trees shall be regularly placed to enhance the streetscape and provide a sense of the urban environment and shall include the following or similar trees:

- Chilopsis linearis 'Lucretia Hamilton' / Desert Willow
- Chitalpa tashkentensis 'Pink Dawn' / Chitalpa
- Fraxinus oxycarpa 'Raywood' / Raywood Ash

- The perimeter of the site shall consist of randomly placed street trees providing a buffer to surrounding neighborhoods. These street trees shall consist of the following or similar trees:

- Pyrus calleryana 'Cleveland' / Flowering Pear
- Robinia ambigua / Purple Robe Locust
- Crataegus crus-galli / Cockspur Hawthorn
- Fraxinus velutina 'Modesto' / Modesto Ash

- 75% of the required parking areas trees shall be deciduous and have a mature height and canopy of at least 25 feet.

### Internal Focal Area

- Landscaping shall not be provided as a continuous buffer strip for the sides of lots immediately adjacent to Fountain Hills Boulevard & Fountain Hills Parkway within the Internal Focal Area. This standard does not preclude the provision of landscaping within the Internal Focal Area.

- Landscaping shall be provided randomly to accent the pedestrian corridor and provide a buffer between public / private areas.

- Street trees shall be provided within tree wells at regularly spaced intervals to reinforce the street edge and the pedestrian corridor. The tree well shall be a minimum of 36 square feet. Trees shall be spaced 20-25 feet on center.

- In addition to Paradise Boulevard, Eagle Ranch Road & Paseo Del Norte, street trees shall also be required along the entire length of the proposed local public streets (Fountain Hills Boulevard & Fountain Hills Parkway) in accordance with the provisions of the City of Albuquerque Street Tree Ordinance (6-6-2-1).

- Accent plants shall be provided to enhance the environment within this node. The palette in the Internal Focal Area shall consist of the following or similar plants:

- Shrubs / Groundcovers
- Artemisia 'Powis Castle' / Powis Castle Sage
- Caryopteris clandonensis / Blue Mist
- Cytisus x 'Lena' / Lena's Broom
- Lagerstroemia indica / Crape Myrtle
- Liatris punctata / Gayfeather
- Potentilla fruticosa / Shrubby Cinquefoil
- Salvia greggii / Cherry Sage
- Zauschneria arizonica / Hummingbird Trumpet

- Ornamental Grasses
- Nassella tenuissima / Threadgrass
- Nolina microcarpa / Bear Grass
- Agave havardiana / Harvard's Century Plant
- Dasylirion wheeleri / Sotol
- Hesperaloe parviflora / Red/Yellow Flowering Yucca

### Irrigation System

The irrigation system serving the streetscape and other common areas shall be a fully automated systems with a centralized computer controls. Irrigation components shall be selected for use with non-potable water sources to allow for future connection to potential treated water systems. Backflow prevention shall be provided per local codes to protect the potable water system from the irrigation system.

Turf areas shall be irrigated with pop-up rotary sprinklers with high efficiency nozzles. Trees, shrubs and groundcovers shall be irrigated with a combination of hard pipe and poly pipe feeding single and multi-outlet drip emitters. The entire irrigation system shall be designed to maximize water efficiency.

### Landscape Maintenance

The landscape for the streetscape and common areas shall be designed to require minimal levels of maintenance. Plant materials shall be native or adapted to the region, requiring minimal water and maintenance. All plantings and landscape elements Maintenance, such as benches, litter receptacles, signs, etc., within these areas shall be responsibility of the building Owners.

### Site Topography

The existing topography consists of approximately 80 feet of vertical drop from West to East. Retaining walls shall be required in several locations to provide acceptable pad sites & parking. The intent for clustering of buildings as well as parking nodes will help mediate the retainage required and allow for a stepping of the overall site.

### Standards

- Avoid long unarticulated expanses of retaining wall. Walls shall have varied setbacks with planes not running in one continuous direction without a change in height and setback.

- Retaining walls that are not screened by buildings or landscaping shall employ a variety of patterns and colors to create visual character and interest.

- Trails and paths shall be integrated into retaining wall locations where applicable to allow for pedestrians access to both elevations adjacent to the retaining wall.

### Grading & Drainage

The existing site topography slopes from the West to the East at approx. 3% - 5% slope. There is a steep embankment from Education's Place as well as a steep drop to Eagle Ranch Road. The site takes on 2 off-site drainage flows from natural swales. Drainage from Paradise Boulevard is transported to an existing AMAFCA retention pond located within the site boundaries. Off-site drainage from Education Boulevard is transported through a drainage channel that runs along the southern property line of the project site and outfalls into the same AMAFCA pond.

The AMAFCA pond site currently houses a standpipe that allows for discharge of drainage into the existing storm drainage system located in Paradise Boulevard / Eagle Ranch. This discharge is controlled at a rate of 56 cubic feet per second. Discharge shall be restricted to the existing 30" storm drain system and the existing standpipe located in the pond.

### Standards

- Site ponding shall be integral with the landscape plan.

- All measures shall be taken to provide public safety at the pond location.

- Grading & Drainage plans must comply with the City of Albuquerque regulations and ordinances.

- The AMAFCA pond shall be considered an opportunity to provide a public amenity when not in use for drainage concerns.

### Site Utilities

To ensure the overall aesthetic quality of the property and the natural environment the visual impact of utilities and equipment shall be minimized by the following:

- All new electric distribution lines shall be placed underground.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from public right-of-way.

- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main element of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

- Alleys shall be used for dry utilities and sewer, whenever possible.

- Utility easements shall be a minimum of 7.5 feet in width and may be spot easements instead of continuous easements for above ground structures.

### Existing Conditions:

- There are no utilities currently located in Fountain Hills Boulevard (Nunzio Avenue) due to street being unbuilt.

- There is a regional electrical service easement down the center of Tract B-1-A that will need to be addressed. Developers shall be required to work with PNM on this issue.

- Fire flows and hydrant locations shall be reviewed and approved at the site plan for building permit stage.

CANNADY PALACIOS ARCHITECTURE	
ADDRESS	201 Serrano Court Albuquerque, NM 87123.
TELEPHONE	505.299.1111
FAX	505.249.4167
WEBSITE	www.cpaarchitecture.com
E-MAIL	devin@cpaarchitecture.com
E-MAIL	devin@cpaarchitecture.com

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Consultant	
Consensus Planning	
ADDRESS	302 8th St. NW Albuquerque, NM 87102
TELEPHONE	505.764.9901
FAX	505.842.5485
E-MAIL	cp@consensusplanning.com

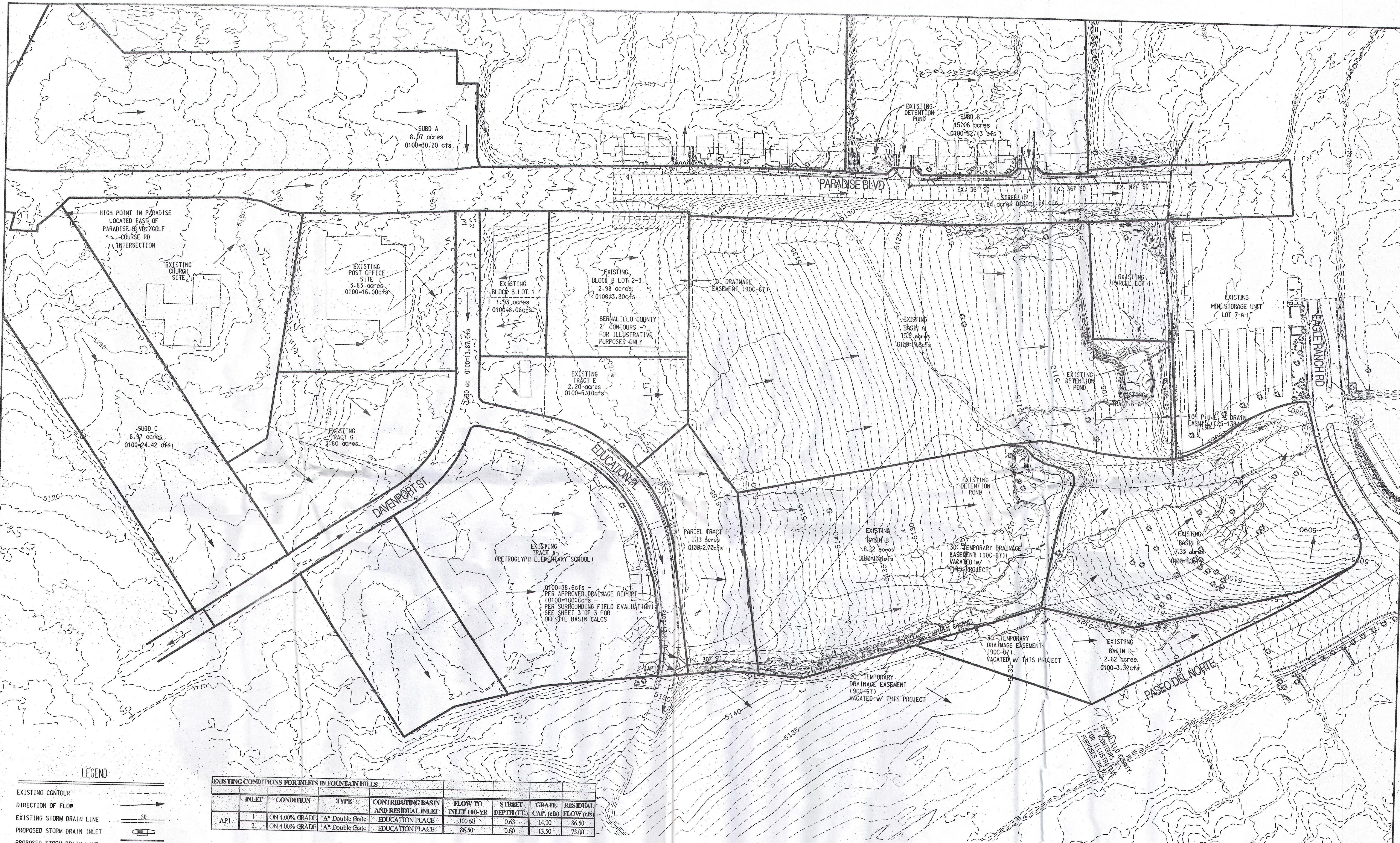
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DATE ISSUED	6-11-07
PROJECT ID	Fountain Hills

Site Plan  
For Subdivision

A4



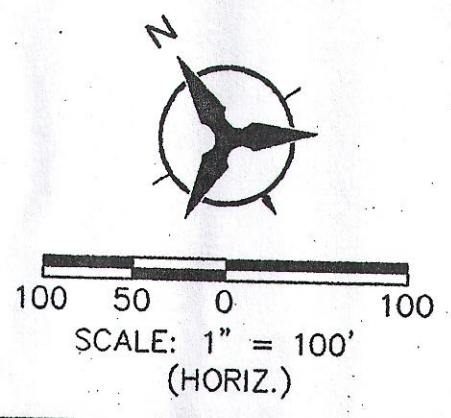
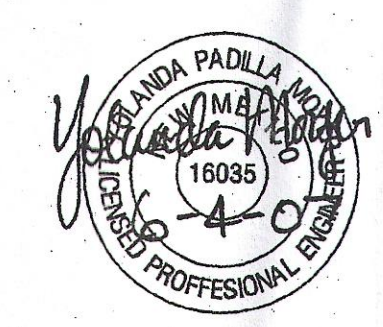


**LEGEND**

- EXISTING CONTOUR
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- POND CONTOUR

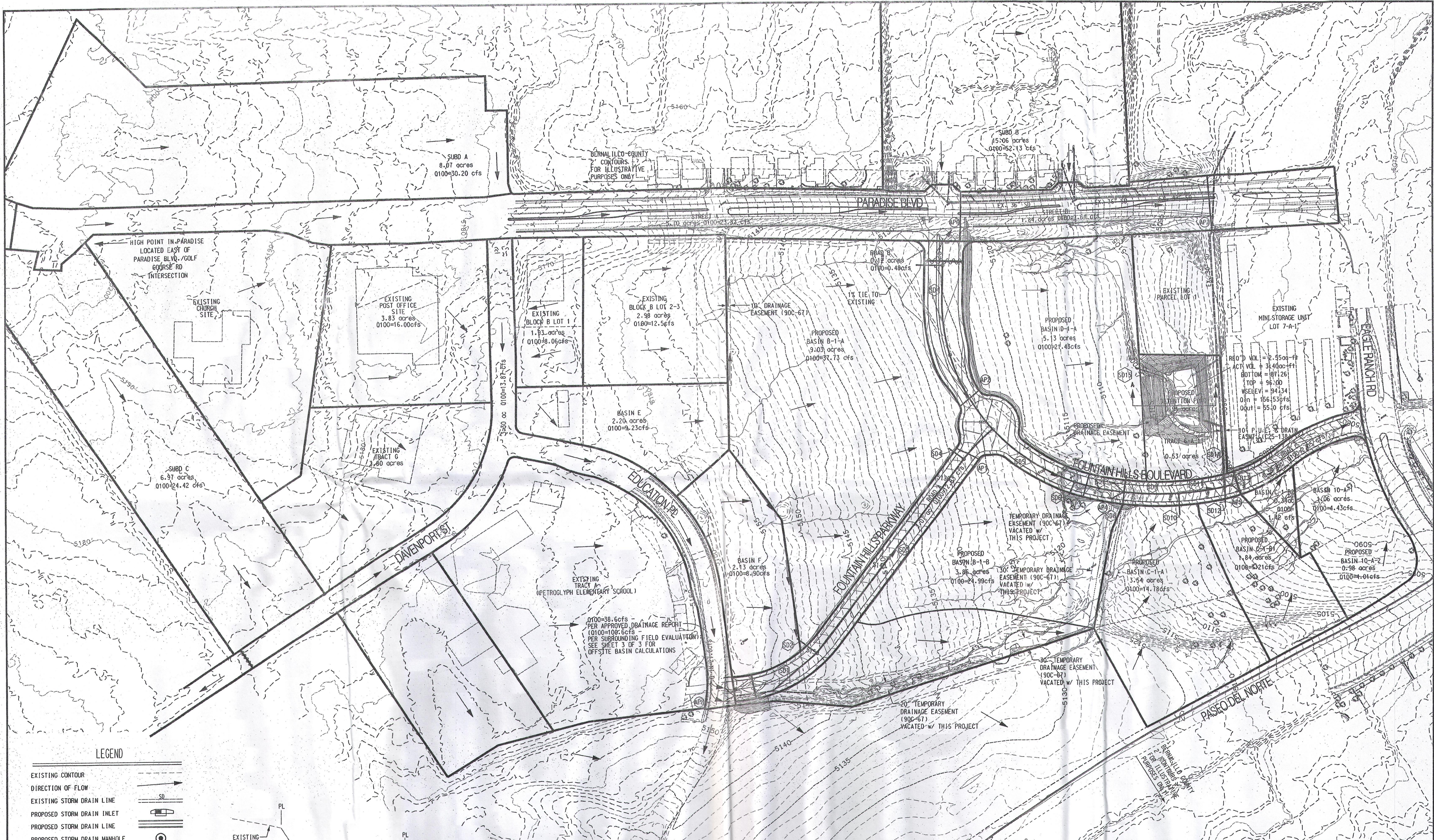
EXISTING CONDITIONS FOR INLETS IN FOUNTAIN HILLS								
	INLET	CONDITION	TYPE	CONTRIBUTING BASIN AND RESIDUAL INLET	FLOW TO INLET 100-YR	STREET DEPTH (FT.)	GRATE CAP. (cfs)	RESIDUAL FLOW (cfs)
API	1	ON 4.00% GRADE	"A" Double Grate	EDUCATION PLACE	100.60	0.63	14.10	86.50
	2	ON 4.00% GRADE	"A" Double Grate	EDUCATION PLACE	86.50	0.60	13.50	73.00

**FOUNTAIN HILLS**  
**GRADING & DRAINAGE MANAGEMENT PLAN**  
**EXISTING BASINS MAP**  
 ALBUQUERQUE, NEW MEXICO  
 JUNE, 2007



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 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
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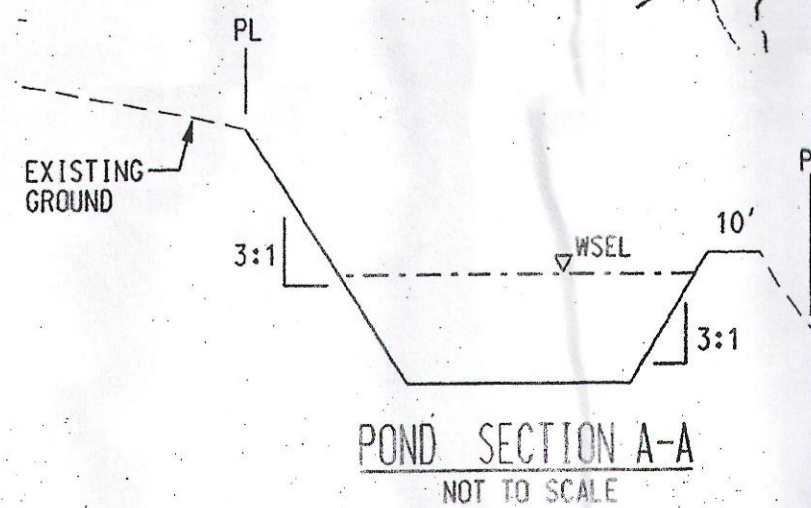




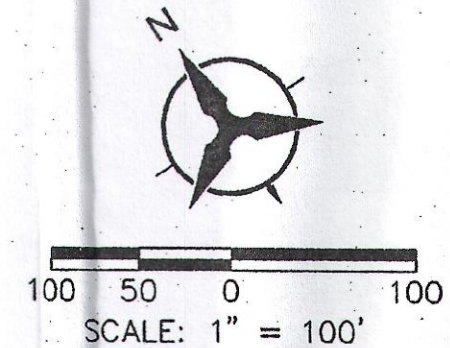
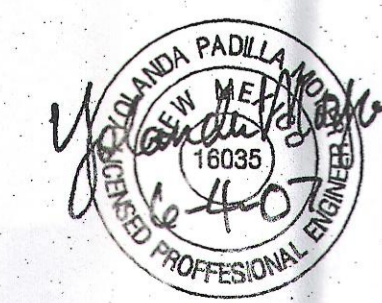
**LEGEND**

- EXISTING CONTOUR
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- POND CONTOUR

NOTE:  
PROPOSED ROADWAY GRADES ARE APPROXIMATE  
AND ARE INTENDED TO ILLUSTRATE GRADING  
AND DRAINAGE CONCEPTS ONLY



**FOUNTAIN HILLS**  
**GRADING & DRAINAGE MANAGEMENT PLAN**  
**PROPOSED BASIN MAP**  
 ALBUQUERQUE, NEW MEXICO  
 JUNE, 2007



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**SHEET 6 OF 7**



SUMMARY OF ROADWAY CAPACITY ANALYSIS FOR FOUNTAIN HILLS										
Fountain Hills Parkway										
Location	Roadway Grade (%)	Roadway Cross-slope (%)	Q (100 YR) in roadway (cfs)	Curb Type	Depth of water in roadway (ft.)	Velocity of storm water in roadway (ft/s)	V <sup>2</sup> /2*g	EGL	ROW Elevation (ft.)	Comments
AP1	3.74	2.00	6.38	STD	0.27	3.59	0.20	0.47	0.85	OK
Fountain Hills Blvd.										
Location	Roadway Grade (%)	Roadway Cross-slope (%)	Q (100 YR) in roadway (cfs)	Curb Type	Depth of water in roadway (ft.)	Velocity of storm water in roadway (ft/s)	V <sup>2</sup> /2*g	EGL	ROW Elevation (ft.)	Comments
AP2	0.60	2.00	6.74	STD	0.35	1.78	0.05	0.4	0.85	OK
AP3	2.63	2.00	19.99	STD	0.40	4.15	0.27	0.65	0.85	OK
AP4	5.35	2.00	25.53	STD	0.38	5.67	0.50	0.85	0.85	OK
AP5	5.35	2.00	15.39	STD	0.33	5.06	0.40	0.73	0.85	OK
Paradise Blvd.										
Location	Roadway Grade (%)	Roadway Cross-slope (%)	Q (100 YR) in roadway (cfs)	Curb Type	Depth of water in roadway (ft.)	Velocity of storm water in roadway (ft/s)	V <sup>2</sup> /2*g	EGL	ROW Elevation (ft.)	Comments
AP6	*north half of road - Q100=7.8cfs provides a depth=0.31' < 0.45 for one free lane of traffic									
AP6**	5.00	2.00	11.99	STD	0.35	4.93	0.38	0.73	0.85	OK
**south half of road - Q100=10.23cfs provides a depth=0.32' < 0.45 for one free lane of traffic										
AP7	*north half of road - Q100=19.0cfs provides a depth=0.38' < 0.45 for one free lane of traffic									
AP7**	6.66	2.00	15.79	STD	0.36	5.80	0.52	0.88	0.85	OK
**south half of road - Q100=10.23cfs provides a depth=0.32' < 0.45 for one free lane of traffic										
Note: By observation, the product of the depth times the velocity is below 6.5 for the 100-year design storm, therefore for the 10-year design storm the product of the depth times the velocity will be well below the recommended value of 6.5										

DEVELOPED CONDITIONS FOR INLETS IN FOUNTAIN HILLS								
	INLET	CONDITION	TYPE	CONTRIBUTING BASIN AND RESIDUAL INLET	FLOW TO INLET 100-YR	STREET DEPTH (FT.)	GRATE CAP. (cfs)	RESIDUAL FLOW (cfs)
AP4	1	ON 5.35% GRADE	"A" Double Gate	FOUNTAIN HILLS BLVD	12.76	0.38	7.90	4.86
	2	ON 5.35% GRADE	"A" Double Gate	FOUNTAIN HILLS BLVD	12.76	0.38	7.90	4.86
AP5	3	ON 5.35% GRADE	"A" Double Gate	FOUNTAIN HILLS BLVD	7.70	0.33	5.90	1.80
	4	ON 5.35% GRADE	"A" Double Gate	FOUNTAIN HILLS BLVD	7.70	0.33	5.90	1.80

STORM DRAIN ANALYSIS FOR FOUNTAIN HILLS						
PIPE NO.	PIPE LOCATION	SIZE/TYPE	LENGTH (ft.)	SLOPE (%)	PROPOSED Q (100-YR, cfs)	PIPE CAPACITY (100-YR, CFS)
SD1	EXISTING	30" RCP	228.00	1.10	27.60	43.02
SD2	TRACT F	18" RCP	58.00	1.00	7.12	10.50
SD3	TRUNKLINE 1	30" RCP	688.00	3.74	34.72	79.32
SD4	TRACT B-1-A	30" RCP	478.00	1.00	29.91	41.02
SD5	TRUNKLINE 2	30" RCP	386.00	2.63	64.63	66.51
SD6	TRACT B-1-B	30" RCP	57.00	1.00	19.99	41.02
SD7	TRUNKLINE 3	30" RCP	128.00	5.35	84.62	94.87
SD8	INLETS	18" RCP	32.00	1.00	7.90	10.50
SD9	TRUNKLINE 4	36" RCP	134.00	5.35	100.42	154.27
SD10	TRACT C-1-A	18" RCP	59.00	1.00	11.82	10.50
SD11	TRUNKLINE 5	36" RCP	101.00	5.35	112.25	154.27
SD12	TRACT C-1-B1	18" RCP	55.00	1.00	5.77	10.50
SD13	INLETS	18" RCP	84.00	1.00	5.90	10.50
SD14	TRUNKLINE 6	42" RCP	294.00	2.20	129.82	149.23
SD15	TRACT D-1-A	24" RCP	27.74	1.50	21.73	27.72

DRAINAGE BASIN CALCULATIONS FOR FOUNTAIN HILLS										
BASIN I.D.	AREA (AC)	UNITS #	% LAND TREATMENT				DISCHARGE (CFS)			
			A	B	C	D	10 YR*	100YR*		
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (EXISTING CALCULATED)										
BASIN A	15.60		100.0%	0.0%	0.0%	0.0%	3.9	19.79		
BASIN B	8.22		100.0%	0.0%	0.0%	0.0%	2.1	10.43		
BASIN C	7.35		100.0%	0.0%	0.0%	0.0%	1.8	9.32		
BASIN D	2.62		100.0%	0.0%	0.0%	0.0%	0.7	3.32		
BLOCK B LOT 2-3	2.98		100.0%	0.0%	0.0%	0.0%	0.7	3.78		
TRACT E	2.20		60.0%	5.0%	5.0%	30.0%	2.5	5.10		
TRACT F	2.13		100.0%	0.0%	0.0%	0.0%	0.5	2.70		
TOTAL	41.10						12.3	64.46		
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (DEVELOPED)										
ONSITE										
B-1-A	9.03		0.0%	5.0%	5.0%	90.0%	24.5	37.73		
B-1-B	5.98		0.0%	5.0%	5.0%	90.0%	16.2	24.99		
C-1-A	3.54		0.0%	5.0%	5.0%	90.0%	9.6	14.78		
C-1-B1	1.73		0.0%	5.0%	5.0%	90.0%	4.7	7.21		
C-1-B2	0.34		0.0%	5.0%	5.0%	90.0%	0.9	1.42		
D-1-A	5.13		0.0%	5.0%	5.0%	90.0%	13.9	21.43		
6-A-1	1.44		0.0%	5.0%	5.0%	90.0%	3.9	6.02		
E	2.20		0.0%	5.0%	5.0%	90.0%	6.0	9.19		
F	2.13		0.0%	5.0%	5.0%	90.0%	5.8	8.90		
10-A-1	1.06		0.0%	5.0%	5.0%	90.0%	2.9	4.43		
10-A-2	0.98		0.0%	5.0%	5.0%	90.0%	2.6	4.08		
ROAD A	3.07		0.0%	5.0%	5.0%	90.0%	8.3	12.83		
ROAD B	0.12		0.0%	5.0%	5.0%	90.0%	0.3	0.48		
ROAD C	0.49		0.0%	5.0%	5.0%	90.0%	1.3	2.05		
SUBTOTAL	37.23	0.00					100.94	155.5		
OFFSITE										
TRACT A	6.91	0	0.0%	25.0%	25.0%	50.0%	13.8	23.55		
BLOCK B LOT 1	1.93	0	0.0%	5.0%	5.0%	90.0%	5.2	8.06		
TRACT G	3.80	11	0.0%	12.5%	12.5%	75.0%	9.3	14.78		
POST OFFICE	3.83	0	0.0%	5.0%	5.0%	90.0%	10.4	16.00		
SUBD C	6.97	40	0.0%	22.5%	22.5%	55.0%	14.6	24.42		
EDUCATION PL	3.30	0	0.0%	5.0%	5.0%	90.0%	9.0	13.81		
SUBTOTAL	26.74	51					62.3	100.6		
PARADISE BLVD.										
STREET A	5.70	0	0.0%	5.0%	5.0%	90.0%	15.5	23.82		
STREET B	1.84	0	0.0%	5.0%	5.0%	90.0%	5.0	7.69		
SUBD A	8.70	48	0.0%	23.4%	23.4%	53.3%	17.9	30.20		
SUBD B	15.06	82	0.0%	23.6%	23.6%	52.8%	30.9	52.13		
SUBTOTAL	31.30	130					69.3	113.8		

\*10 AND 0100 CALCULATED BY RATIONAL METHOD, SECTION 22.2 OF THE DPM

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) - VERSION: 1997.02c - RUN DATE (MONDAY/YR) = 03/30/2007										
INPUT FILE = FHILL.HYM USER NO. = AHYMO-S-9702c1BohannanHu-AH										
PROJECT NAME:	FOUNTAIN HILLS									
DATE:	MARCH 30, 2007									
INPUT FILE NAME:	FHILL.HYM									
OUTPUT FILE NAME:	FHILL.OUT									
PROJECT NUMBER:	070312									
COMMENTS:	100 YEAR-6 HOUR STORM									
COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ.M)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
START RAINFALL TYPE=1	TIME= .00 RAING= 2.200									
COMPUTE NM HYD	BASIN A	10		.05950	156.53	5.878	1.85238	1.500	4.111	PER IMP= 90.00
ROUTE RESERVOIR	POND	10	20	.05950	51.77	5.878	1.85238	1.850	1.360	AC-FT= 2.552

## DRAINAGE MANAGEMENT PLAN

### I. PURPOSE

The purpose of this submittal is to present the grading and drainage management plan for Fountain Hills Development. The project consists of approximately 38 acres of land to be developed for commercial use.

### II. SITE LOCATION AND CHARACTERISTICS

The project is south of Paradise Blvd and north of Paseo Del Norte and bordered to the west by Education Place and to the east by Eagle Ranch Road. The site is currently undeveloped tracts, with native shrubs and grasses.

### III. EXISTING HYDRAULIC AND HYDROLOGIC CONDITIONS

In the existing conditions, the site drains across relatively steep terrain towards the east. Currently offsite flow from the west flows through Education Pl and is captured by an existing storm drain system (Q100=27.6cfs) and conveyed to the drainage easement bordering the southern edge of the property, which directs the flow to a detention pond through an earthen channel with a series of check dams. Existing Tracts E and F drain to the east, into ponds on the west side of Tract B-1-A, contrary to the Drainage Report for Albuquerque West Unit 1 Improvements, Oct. 1990; however these tracts are not part of this submittal. The existing northern basin (Basin A - 15.6 ac, Q100=19.8cfs), along with offsite basin flow (Block B Lot 2-3 - 2.98 acres, Q100=3.80cfs), currently drains across the site to a detention pond in existing Tract 6-A-1. The southwestern basin (Basin B - 8.22 ac, Q100=10.4cfs) presently drains to a detention pond at the northeastern corner of the basin. The remaining portion of the site (Basin C - 7.35ac, Q100=9.3cfs and Basin D - 2.62 ac, Q100=3.32cfs), located in the southeast corner of the site, drains to the east and directly into Eagle Ranch Road.

### IV. PROPOSED HYDRAULIC AND HYDROLOGIC CONDITIONS

In the proposed improvements, the west portion of the site (Basins B-1-A, B-1-B, C-1-A, C-1-B1, D-1-A, E and F) will drain through the proposed roadways or storm drains and ultimately to a permanent detention pond located in existing Tract 6-A-1. The existing earthen channel with check dams and the detention pond in Tract B-1-B will be removed and replaced with a storm drain in Fountain Hills Parkway and Fountain Hills Blvd. The developed tracts west of the proposed detention pond (Basins B-1-A, B-1-B, C-1-A, C-1-B1, D-1-A, E and F) will be assumed to discharge 20% of developed flows directly into the adjacent roadways, where it will be collected by proposed inlets in Fountain Hills Boulevard. The remaining 80% will be captured by proposed storm drain stubs. Runoff from Fountain Hills Boulevard and Fountain Hills Parkway will flow through the streets to inlets, which will tie to the proposed storm drain; see Summary of Roadway Capacities for Fountain Hills and Developed Conditions for Inlets in Fountain Hills. The proposed storm drain will outlet to the proposed detention pond in existing Tract 6-A-1; see Storm Drain Analysis for Fountain Hills. The proposed detention pond will be sized to accept a developed flow of 156.53cfs, based on AHYMO methodology, with a controlled outlet of 55cfs, in accordance with the approved grading and drainage plan, COA Hydrology File C12-D3B mentioned above. The minimum required volume is 2.50 ac-ft with the actual volume being 3.14 ac-ft; see AHYMO Program Summary Table. The east side of the site (Basins 10-A-1 and 10-A-2 and C-1-B2), along with the remaining portion of Fountain Hills Boulevard (0.49ac, Q100=2.05cfs) and the residual from the inlets (Q=3.59cfs), will flow through the street and directly into Eagle Ranch Rd (Q100=15.57cfs).

The south half of Paradise Blvd., fronting the Fountain Hills site, has been analyzed for the 100-yr and 10-yr storm capacities, assuming proposed street width of 30' F-F minimum (south side of road will be widened to include new curb and gutter, as well as new median curb and gutter, as part of this development); see Summary of Roadway Capacities for Fountain Hills. The north half of the street has been analyzed for the 10-yr storm capacities, one lane free. The proposed roadway is adequate to handle these conditions.

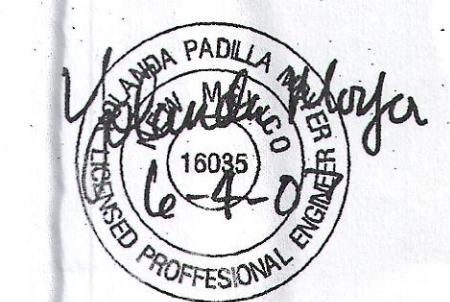
### V. CONCLUSION

This plan provides hydrologic and hydraulic considerations of Fountain Hills Development. These flows can be safely conveyed by the improvements proposed in this plan to the existing storm systems, which have adequate capacity to accept such runoff. With the exception of existing Tracts E and F which drain to the east, to ponds on the west side of Tract B-1-A, contrary to the approved Drainage Report for Albuquerque West Unit 1 Improvements, Oct. 1990; this submittal is in compliance with existing approved grading and drainage plans. Tracts E and F are not part of this submittal. This information provides adequate supporting documentation and guidance for approval of this plan.

# FOUNTAIN HILLS

## GRADING & DRAINAGE MANAGEMENT PLAN

ALBUQUERQUE, NEW MEXICO  
JUNE, 2007



**Bohannan & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



RODEY, DICKASON, SLOAN, AKIN & ROBB, P. A.

ATTORNEYS AT LAW

201 THIRD STREET NW, SUITE 2200  
ALBUQUERQUE, NEW MEXICO 87102

P.O. BOX 1888

ALBUQUERQUE, NEW MEXICO 87103

WWW.RODEY.COM

TELEPHONE (505) 765-5900

FACSIMILE (505) 768-7395

OF COUNSEL  
JACKSON G. AKIN  
JOHN D. ROBB  
JAMES C. RITCHIE  
JO SAXTON BRAYER  
ROBERT G. McCORKLE  
DAVID H. JOHNSON

BERNARD S. RODEY (1856-1927)  
PEARCE C. RODEY (1889-1958)  
DON L. DICKASON (1906-1999)  
WILLIAM A. SLOAN (1910-1993)

SANTA FE OFFICE  
315 PASEO DE PERALTA  
SANTA FE, NEW MEXICO 87501-2034  
P.O. BOX 1357  
SANTA FE, NEW MEXICO 87504-1357  
TELEPHONE (505) 954-3900  
FACSIMILE (505) 954-3942

WRITER'S DIRECT NUMBER  
(505) 768-7220

J.SALAZAR@RODEY.COM

ROBERT M. ST. JOHN  
JOSEPH J. MULLINS  
MARK K. ADAMS  
BRUCE HALL  
JOHN P. SALAZAR  
JOHN P. BURTON  
REX D. THROCKMORTON  
JONATHAN W. HEWES  
RICHARD C. MINZNER  
W. ROBERT LASATER, JR.  
MARK C. MEIERING  
CATHERINE T. GOLDBERG  
TRAVIS R. COLLIER  
EDWARD RICCO  
W. MARK MOWERY  
PATRICK M. SHAY  
ELLEN T. SKRAK  
TRACY M. JENKS  
HENRY M. BOHNHOFF  
CHARLES K. PURCELL  
ANDREW G. SCHULTZ  
JOHN M. BRANT  
SCOTT D. GORDON  
DEWITT M. MORGAN  
MARK A. SMITH  
NELSON FRANSE  
THERESA W. PARRISH  
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CHARLES J. VIGIL  
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DAVID W. BUNTING  
LESLIE McCARTHY APODACA

SUSAN BARGER FOX  
MacDONNELL GORDON  
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JEFFREY M. CROASDELL  
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DEBORAH E. MANN  
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LISA A. CHAVEZ  
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MICHAEL J. BRESCIA  
MICHELLE HENRIE  
AARON C. VIETS  
KURT B. GILBERT  
BRENDA M. MALONEY  
JESSICA M. HERNANDEZ  
WILLIAM F. STEADMAN  
WILLIAM G. GILCHRIST  
CHRISTOPHER M. WOLPERT  
MEGHAN D. STANFORD  
BRYAN J. DAVIS  
CHRISTOPHER D. LEE  
VINCENT J. WARD  
JUSTIN A. HORWITZ

May 16, 2005

**VIA HAND DELIVERY**

Kevin J. Curran, Esq.  
City of Albuquerque Legal Department  
600 Second Street NW, Suite 410  
Albuquerque, New Mexico 87102

**Re: Proposed Site Development -- Albuquerque West Subdivision**

Dear Mr. Curran:

This is to confirm our understanding, based on your discussions with City Planning Department staff as conveyed to me during our telephone conversation yesterday, that an application for approval of site development plan for building permit for Tract E-2 and Tract F (including Tracts F-1, F-2, and F-3), outlined in green on the enclosed plat, may be submitted to the Development Review Board.

It is our further understanding that an application for approval of site development plan for building permit for Tract D-1, outlined in green on the enclosed plat, must be submitted to the Environmental Planning Commission. Of course, an application for approval of site development plan for building permit for Lots 2 and 3 in Block B, Tract B-1, Tract C, and Lot 10-A-2, outlined in yellow on the enclosed plat, would also be submitted to the Environmental Planning Commission.



Kevin J. Curran, Esq.  
City of Albuquerque Legal Department  
May 16, 2005  
Page 2

We appreciate your effort in visiting with City Planning Department staff on these items and for conveying to us the position of the City Planning Department on how we may proceed in obtaining necessary and appropriate development approvals for these properties.

Sincerely,

RODEY, DICKASON, SLOAN, AKIN & ROBB, P.A.

By:

  
John P. Salazar

JPS:dv

Enclosure (1)

cc (w/ enc. – *via mail on May 13, 2005*):

R.J. Schaefer

E. William Nelson



ROBERT M. ST. JOHN  
JOSEPH J. MULLINS  
MARK K. ADAMS  
BRUCE HALL  
JOHN P. SALAZAR  
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RODEY, DICKASON, SLOAN, AKIN & ROBB, P. A.

ATTORNEYS AT LAW  
201 THIRD STREET NW, SUITE 2200  
ALBUQUERQUE, NEW MEXICO 87102

P.O. BOX 1888  
ALBUQUERQUE, NEW MEXICO 87103  
WWW.RODEY.COM

TELEPHONE (505) 765-5900  
FACSIMILE (505) 768-7395

April 29, 2005

VIA HAND DELIVERY

OF COUNSEL  
JACKSON G. AKIN  
JOHN D. ROBB  
JAMES C. RITCHIE  
JO SAXTON BRAYER  
ROBERT G. MCCORKLE  
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WRITER'S DIRECT NUMBER  
(505) 768-7220

JLSALAZAR@RODEY.COM

Kevin J. Curran, Esq.  
City of Albuquerque Legal Department  
600 Second Street NW, Suite 410  
Albuquerque, New Mexico 87102

**Re: Proposed Site Development -- Albuquerque West Subdivision**

Dear Mr. Curran:

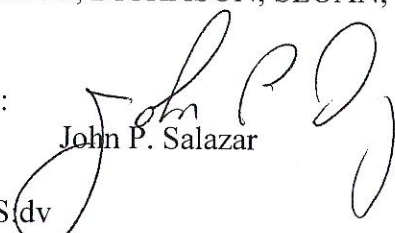
Per our discussion yesterday, I am enclosing for your information and reference a color coded portion of a plat indicating those parcels for which we are proposing a Development Review Board ("DRB") submittal and those parcels for which we are proposing an Environment Planning Commission ("EPC") submittal.

Tracts proposed for DRB submittal, outlined in green on the enclosed plat, are the following: Tracts D-1, E-2, and F (including F-1, F-2, and F-3). The parcels, outlined in yellow on the enclosed plat, consisting of Tracts B-1 and C and Lots 2 and 3 of Block B and 10-A-2, are proposed for EPC submittal.

Sincerely,

RODEY, DICKASON, SLOAN, AKIN & ROBB, P.A.

By:

  
John P. Salazar

JPS/dv

Enclosure (1)

cc (w/ enc. - *via mail*):

R.J. Schaefer  
E. William Nelson



PORTION LT 1 & A-2-2 NRW-1	QUAN PHILLIPS 66	2.1908
TRACT 1-A-1-A	KICKS & J.T LUBE	1.3762
TRACT 2-A-1-A	KINDEF CARE	0.3444
TRACT 2-A-1-B-1	DILLON INS.	0.4212
TRACT 2-A-1-B-2(N)	TACHA EYE	0.306
TRACT 2-A-1-B-2(W)	HIGH SSESTS	1.036
TRACT 2-A-1-B-2	HIGH SSESTS	2.603
TRACT 3-A(N)	HIGH SSESTS	1.171
TRACT 3-A(S)	HIGH SSESTS	1.699
TRACT 4-A-1(N)	HIGH SSESTS	1.632
TRACT 4-A-1(S)	HIGH SSESTS	0.490
TRACT 4-A-2	DEVON HIRE	0.9230
TRACT 17-A-3	ADOE INN EL PUBLO/ TRIAC	1.2486

EXISTING DISTAL SERVICE

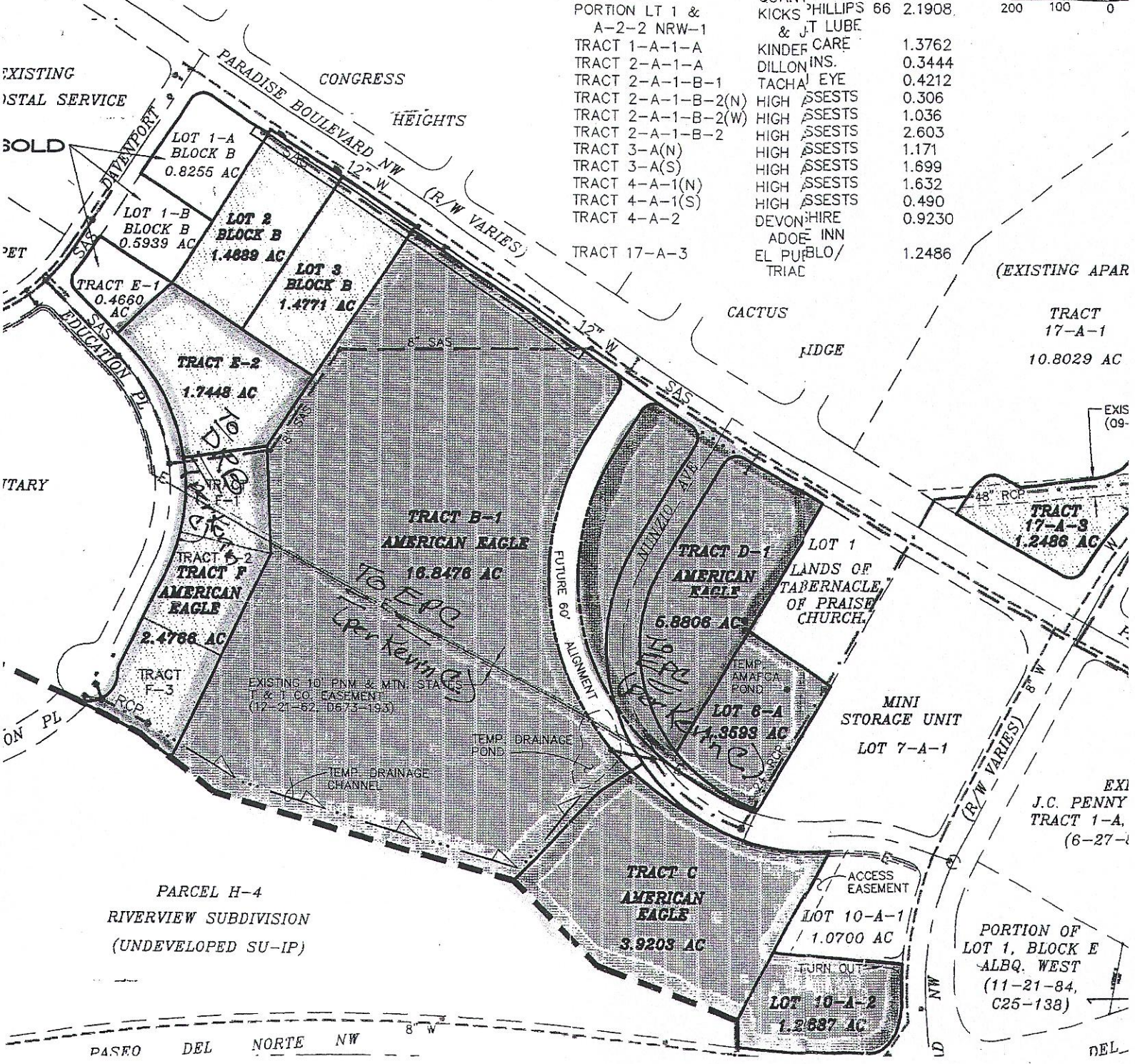
SOLD

PET

UTARY

ON PL

PASEO DEL NORTE NW 8' W



PARCEL H-4  
RIVERVIEW SUBDIVISION  
(UNDEVELOPED SU-IP)

EXISTING 10' PNM & MTN. STAIR  
& 1' CO. EASEMENT  
(17-21-82, D673-133)

TEMP DRAINAGE CHANNEL

TEMP DRAINAGE POND

TEMP AMALCA POND

MINI STORAGE UNIT  
LOT 7-A-1

TRACT C  
AMERICAN EAGLE  
3.9203 AC

ACCESS EASEMENT  
LOT 10-A-1  
1.0700 AC

TURN OUT  
LOT 10-A-2  
1.2687 AC

PORTION OF  
LOT 1, BLOCK E  
ALBQ. WEST  
(11-21-84,  
C25-138)

EXI  
J.C. PENNY  
TRACT 1-A,  
(6-27-)

TRACT  
17-A-1  
10.8029 AC

TRACT  
17-A-3  
1.2486 AC

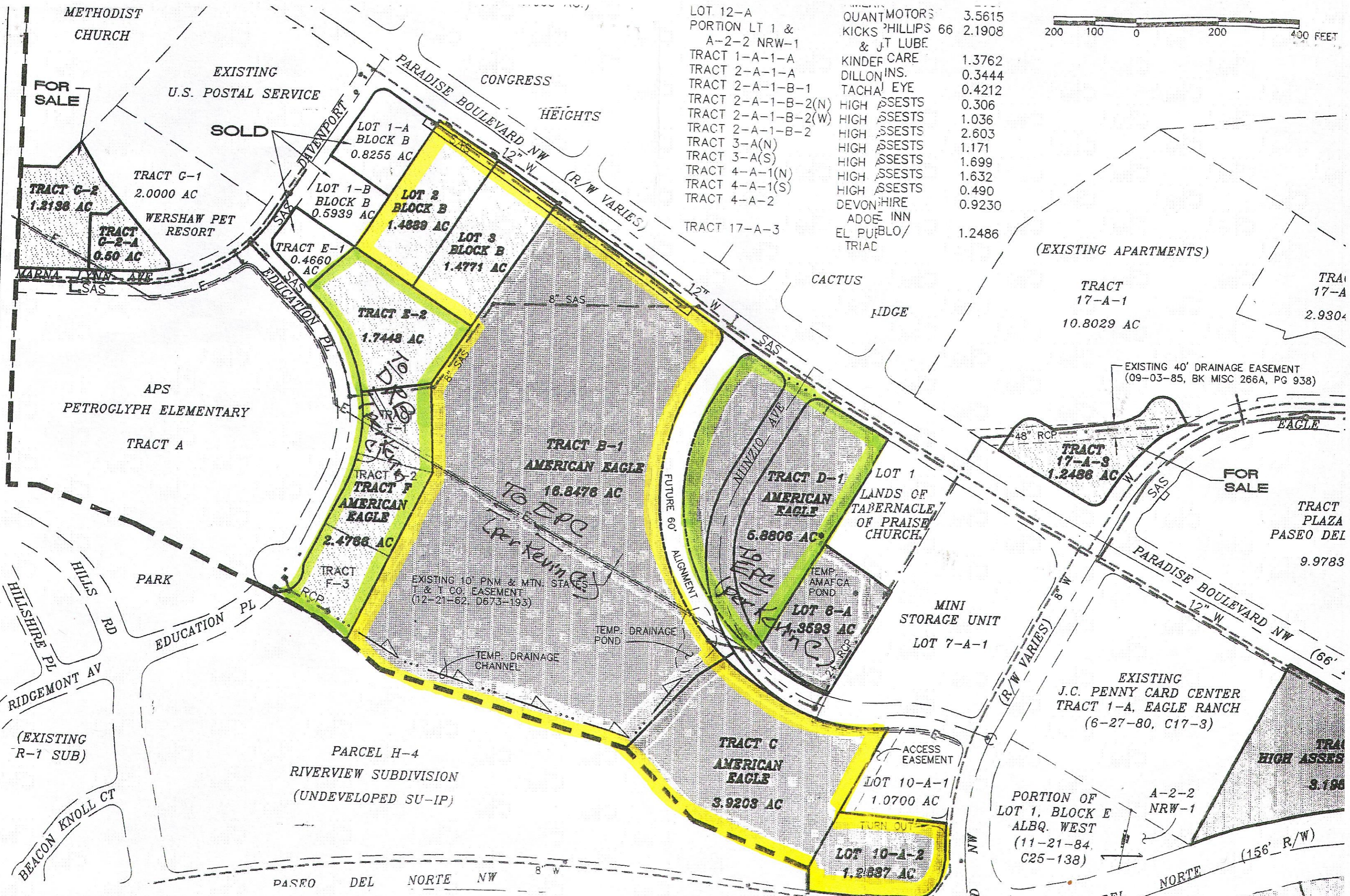
EXIS  
(09-

DEL





LOT 12-A	QUANTMOTOR'S	3.5615
PORTION LT 1 & A-2-2 NRW-1	KICKS HILLIPS & JT LUBE	66 2.1908
TRACT 1-A-1-A	KINDER CARE	1.3762
TRACT 2-A-1-A	DILLON INS.	0.3444
TRACT 2-A-1-B-1	TACHA EYE	0.4212
TRACT 2-A-1-B-2(N)	HIGH ASSESTS	0.306
TRACT 2-A-1-B-2(W)	HIGH ASSESTS	1.036
TRACT 2-A-1-B-2	HIGH ASSESTS	2.603
TRACT 3-A(N)	HIGH ASSESTS	1.171
TRACT 3-A(S)	HIGH ASSESTS	1.699
TRACT 4-A-1(N)	HIGH ASSESTS	1.632
TRACT 4-A-1(S)	HIGH ASSESTS	0.490
TRACT 4-A-2	DEVON HIRE ADOE INN	0.9230
TRACT 17-A-3	EL PUEBLO/ TRIAD	1.2486



(EXISTING APARTMENTS)  
TRACT 17-A-1  
10.8029 AC

EXISTING 40' DRAINAGE EASEMENT  
(09-03-85, BK MISC 266A, PG 938)

TRACT 17-A-3  
1.2486 AC

FOR SALE

TRACT PLAZA  
PASEO DEL  
9.9783

EXISTING  
J.C. PENNY CARD CENTER  
TRACT 1-A, EAGLE RANCH  
(6-27-80, C17-3)

PORTION OF  
LOT 1, BLOCK E  
ALBQ. WEST  
(11-21-84,  
C25-138)

A-2-2  
NRW-1

TRACT  
HIGH ASSES  
3.190

(EXISTING  
R-1 SUB)

METHODIST  
CHURCH

EXISTING  
U.S. POSTAL SERVICE

FOR SALE

SOLD

TRACT G-1  
2.0000 AC

TRACT G-2  
1.2136 AC

TRACT G-2-1  
0.50 AC

WERSHAW PET  
RESORT

APS  
PETROGLYPH ELEMENTARY

TRACT A

HILLS  
RD

EDUCATION PL

PARK

RIDGEMONT AV

BEACON KNOLL CT

PARCEL H-4  
RIVERVIEW SUBDIVISION  
(UNDEVELOPED SU-IP)

PASO DEL NORTE NW

MINI  
STORAGE UNIT  
LOT 7-A-1

EXISTING  
J.C. PENNY CARD CENTER  
TRACT 1-A, EAGLE RANCH  
(6-27-80, C17-3)

PORTION OF  
LOT 1, BLOCK E  
ALBQ. WEST  
(11-21-84,  
C25-138)

A-2-2  
NRW-1

(156' R/W)

HILLS  
RD

RIDGEMONT AV

BEACON KNOLL CT

PARCEL H-4  
RIVERVIEW SUBDIVISION  
(UNDEVELOPED SU-IP)

PASO DEL NORTE NW

MINI  
STORAGE UNIT  
LOT 7-A-1

EXISTING  
J.C. PENNY CARD CENTER  
TRACT 1-A, EAGLE RANCH  
(6-27-80, C17-3)

PORTION OF  
LOT 1, BLOCK E  
ALBQ. WEST  
(11-21-84,  
C25-138)

A-2-2  
NRW-1

(156' R/W)



*Planning Department*

Richard Dineen, Director  
Development Review Division  
600 2<sup>nd</sup> Street NW, 3<sup>rd</sup> Floor  
Albuquerque, NM 87102

April 7, 2005

Devin Cannady  
Agent for Interstate Development Company LLC  
201 Serenity Court SE  
Albuq. NM 87123

Dear Mr. Cannady

This letter is to inform you of the Planning Department's interpretation of Exhibit A as it pertains to your submittal for EPC review (Project 1003445/05EPC-00022).

The subject site is an approximately 38-acre parcel located at the southwest corner of Paradise Blvd. NW and Eagle Ranch Road, north of Paseo del Norte. The subject site is undeveloped and is zoned *SU-1 for PDA to include C-3 Uses*.

Exhibit A was approved as part of the zoning when the subject site was annexed in 1985 (Council Bill No. F/S O-186, Enactment No. 33-1985). Exhibit A contains development parameters and procedural processes for the subject site in addition to the existing zoning, *SU-1 for PDA to include C-3 Uses*.

Exhibit A references the Albuquerque West Subdivision, a Subdivision in Paradise Hills Development within the Town of Alameda Grant, Projected Section 13, T11 N, R2 E, NMPM, and projected Section 18, T 11 N, R 3 E, NMPM, Bernalillo County, New Mexico, dated August, 1984 and recorded in the office of the County Clerk of Bernalillo County on November 21, 1984 at Volume C-25, Folio 138 (herein referred to as the "Albuquerque West Subdivision").

As you may be aware, a site development plan for subdivision is required prior to an approval of a site development plan for building permit given the SU-1 zoning designation (Zoning Code Section 14-16-2-22; Zoning Code Section 14-16-1-5; Subdivision Ordinance Section 14-14-2-2).

Section 3.b. of Exhibit A specifically indicates that all site development plans for subdivision must be approved by the Environmental Planning Commission (EPC). To gain approval of site development plans for building permit on the subject site, a site development plan for subdivision must be approved by the EPC.

After approval of a site development plan for subdivision at the EPC, the DRB will have approval authority of all subsequent site development plans for building permit.



Page 2

Should you have any questions regarding this determination, please contact me at 924-3910.

Sincerely,

Elvira Lopez  
Planner, MCRP

Attachments

cc:

Interstate Development Company, LLC, 8601 Washington St. NE, Suite A,  
Albuq. NM 87113  
Richard Dineen, Planning Department, Director,  
Bob Paulsen, Planning Department, Development Review Manager,  
Richard Dourte, Planning Department, City Engineer,  
Mark Hirsh, Assistant City Attorney,  
Kevin Curran, Planning Department, Assistant City Attorney,  
Steve Chavez, Planning Department, Division Manager for Residential Code  
Enforcement and for Zoning Code Services,  
Jack Basye, Planning Department, Zoning Code Supervisor,  
Sheran Matson, Planning Department, Development Review Board Chair,



## Research

- 1. Z-98-93:** Subject site is located at NE corner of Paseo del Norte and Eagle Ranch. This is a request for *Site Development plan for Subdivision and Site Development Plan Building Permit*. These requests were reviewed and approved by the EPC (Notice of Decision, 11/19/1998). Applicant proposed a gas station-Philips 66- with drive up window. Staff analysis indicates that there was an awareness of Exhibit A. However, the applicant did not go straight to DRB for approval of gas station, a permissive use in the C-1 zone, because the requested drive up service window is a conditional use in the C-1 zone. The staff report suggests that projects, that limit their development potential to C-1 and O-1 permissive uses, can go straight to the DRB per Exhibit A. Ultimately the EPC have review authority of SPBP and SPS on the subject site.
- 2. Project 1001721/02DRB-00151:** Subject site is located at NE corner of Paseo and Eagle Ranch Rd. This project is related to Z-98-93. Applicant requests approval of *site development plan for building permit* for a lot that was approved with Z-98-93 site plan for subdivision action. Applicant proposes to build a Suds and More car wash. Only the DRB reviews this request; final approval occurs 3/21/2002.
- 3. Project 1001276/01EPC-00744:** Subject site is located at SE corner of Davenport and Paradise Hills Rd. Applicant requests approval of *site development plan for building permit*. Applicant proposes to build children's learning center. EPC reviews this request. There is no mention of Exhibit A in staff report.
- 4. Project 1000762/00EPC 01638:** Subject site is located on Paseo del Norte, between Eagle Ranch and Richland Hills (approx. 29 acre site). Applicant requests approval of *site development plan for subdivision with design requirements* at the EPC. Approval was granted 1/28/2001 by EPC according to notice of decision. Staff report provides analysis of Exhibit A with respect to delegation issue (concludes building permits applications can be delegated after approval of site plan for subdivision).









Elvira Lopez

06/30/2005 02:37 PM

To: Sheran A. Matson/PLN/CABQ@COA  
CC:  
Subject: Fountain Hills

Hi Sheran,

As you probably recall, we looked extensively at the zoning and development parameters for an approximately 38 acre parcel of land located on the west side several months ago (southwest corner of Paradise Blvd./Eagle Ranch Road, north of Paseo del Norte). This is the site for which the applicant was proposing 6-story buildings. The applicant has submitted a revised site plan or "master plan". This revised plan is a much better plan than the original submittal.

Among several changes to the submitted master plan that we are currently reviewing, the applicant has removed Tracts E2 and F, Albuquerque West subdivision. The subject site has been reduced from 38 acres to 31 acres. Removal of Tracts E2 and F came about after discussions between the applicant and City Planning staff. We basically agreed to the applicant removing tracts E2 & F, but mandated that the applicant provide a master plan for the remaining tracts (31 acres) for EPC review.

Today a neighborhood person (Alan Schwartz) came by to check on the Fountain Hills project and seemed disheartened to know that Tracts E2 and F, prosed for an office development, were being removed from the master plan. He also learned that these two tracts would go straight to the DRB for approval. I reassured him that the DRB would consider the development parameters (Exhibit A, approved with the zoning) in their review of any submittals to the DRB. Exhibit A sets height parameters (unfortunately in terms of "stories"; we are grappling with this issue in the current master plan submittal), F.A.R's and restricts particular uses.

Mr. Schwartz also expressed concerns that there would be no pedestrian connections made between Tracts E2 and F and the remaining master plan. I expressed that we (meaning Development Review staff and DRB) could probably collaborate to make sure that there would be ped connections between Tracts E2 & F and the remaining master plan. What do you think?

I'm attaching Exhibit A to this email for your records.



Annex Ordinance.pdf

Please call if you have any questions. Thanks.

Elvira

Elvira Lopez  
Planner  
COA Planning Department  
Development Review Division  
(505) 924-3910





Elvira Lopez

04/05/2005 03:36 PM

To: Mark A. Hirsch/LEGAL/CABQ@COA, Richard H.

Dourte/PWD/CABQ@COA, Sheran A. Matson/PLN/CABQ@COA, Bob

Paulsen/PLN/CABQ@COA, Russell D. Brito/PLN/CABQ@COA, Kevin

cc: elopez@cabq.gov

Subject: Fountain Hills Plaza/ Exhibit A/Procedural Issue

To all:

We will be meeting tomorrow, Wednesday April 6th, at 2PM, 3rd floor, large conference room. We will be discussing the Fountain Hills Plaza Project (1003445).

The subject site is an approximately 38-acre site located on the southwest corner of Paradise Blvd./Eagle Ranch Rd., north of Paseo del Norte. The applicant requests approval of a site development plan for subdivision (master plan) for mixed uses. In addition to meeting the minimum standards of a site development plan for subdivision, the plan proposes design standards. This project was deferred by the EPC in March (60 days) due to numerous issues.

The purpose of the meeting is to discuss procedural issues associated with this project. Zoning on the subject site is SU-1 for PDA to include C-3 Permissive and Conditional Uses. In addition, when this property was annexed, the City Council approved Exhibit A as an extension to the zoning. This exhibit not only sets development parameters above the zoning, but also unique procedure for review of site plans.

It appears that Exhibit A suggests that the applicant may be able to circumvent EPC review of the subject site by taking individual site development plans for building permit directly to the DRB without an approved site development plan for subdivision (master plan). However, Planning staff is concerned that the subject site would be developed without the benefit of an approved site development plan for subdivision that promotes cohesive development. I would like to get your input regarding the procedural implications of Exhibit A.

Attached is a pdf document containing the signed annexation ordinance for the subject site and Exhibit A. Please review Exhibit A prior to the meeting. More particularly focus on section 3.a. and 3.b. (on pages 2 and 3) of Exhibit A.

Thank you for your time and consideration. Please call if you have any questions prior to the meeting. See you tomorrow.

Elvira



Annex Ordinance.pdf

Elvira Lopez  
Planner  
COA Planning Department  
Development Review Division  
(505) 924-3910





Sheran A. Matson  
03/17/2005 10:08 AM

To: Elvira Lopez/PLN/CABQ  
cc: Bob Paulsen/PLN/CABQ@COA, Elvira Lopez/PLN/CABQ@COA,  
Russell D. Brito/PLN/CABQ@COA, Tony J. Loyd/PWD/CABQ@COA  
cc: Sheran A. Matson/PLN/CABQ@COA, Russell D.  
Brito/PLN/CABQ@COA, Bob Paulsen/PLN/CABQ@COA, Elvira  
Lopez/PLN/CABQ@COA, Tony J. Loyd/PWD/CABQ@COA  
Subject: Re: Fountain Hills Plaza /Project 1003445

Elvira

Devin Cannady came to see me about this very project today. He told me Russell had said the project could go to DRB because of the Attachment A.

I told him that, first of all, he needed to find a signed copy of the Council document to which Attachment A is attached. We could not proceed based on an unsigned document. Then, I told him I would show the entire signed document to Kevin Curran for his interpretation.

In addition, there is a reference to a now nonexistent section of the Zone Code in that document. I asked him to see if Zoning has a copy of the Zone Code which contained that Section.

I am uncomfortable with a project of this magnitude going initially to DRB. If that comes to pass, I will definitely ask for your assistance if you don't mind. Plus, I told Devin that he would have to submit a SPS with design regs, etc with the replat. These applications would be heard at an advertised hearing. Once approved, each individual SPBP would have to follow those requirements.

I also told him to get in writing from the ZEO what 2.5 or 3.5 stories means exactly in terms of height.

EPC is definitely the first board of choice to hear this project initially.

Sheran



Elvira Lopez  
03/17/2005 10:01 AM

To: Sheran A. Matson/PLN/CABQ@COA, Russell D.  
Brito/PLN/CABQ@COA, Bob Paulsen/PLN/CABQ@COA, Elvira  
Lopez/PLN/CABQ@COA, Tony J. Loyd/PWD/CABQ@COA  
cc:  
Subject: Fountain Hills Plaza /Project 1003445

Sheran,

This email is to provide you with information regarding a recent EPC submittal that was scheduled to be heard today, March 17, 2005. The EPC approved a 60 day deferral as recommended by our staff. The applicant agreed. I write this email to you because the applicant has indicated to staff that they may pursue an option of going straight to the DRB for approval of individual site plans for building permit rather than undergo EPC review of a site development plan for subdivision.

In their EPC submittal, the applicant requests approval of a site development plan for subdivision for an approximately 38 acre site located at the southwest corner of Paradise Blvd. NW and Eagle Ranch Rd. , north of Paseo del Norte. The applicant proposed the creation of 12 lots with a total of 14 pad sites (buildings). This proposal would have significant impacts for the far northwest of Albuquerque.

**Zoning**

Zoning on the subject site is SU-1 for PDA to include C-3 Permissive and Conditional Uses. This zoning



was established when the property was annexed in 1985. In this annexation approval, the Council adopted Exhibit A as an extension of the zoning ( Council Bill No. F/S O-186; Enactment No. 33-1985). Exhibit A establishes development parameters and certain procedural requirements.

The uses proposed include retail, bank, a six-story hotel, six-story condominiums, and offices. The uses proposed are in accordance with the C-3 zone, but the proposed 6-story buildings are inconsistent with Exhibit A. According to this exhibit, the maximum height on the subject site is up to 3.5 stories.

The reason I'm telling you about all this is because there is a stipulation in Exhibit A that essentially allows the applicant to circumvent EPC review if the applicant proposes certain benign uses. The applicant could go straight to the DRB for approval of site development for building permit under certain conditions. However, we need to verify this stipulation with legal and other Planning staff.

It appears that rather than go through EPC review process, the applicant has suggested to staff that they may withdraw their request for site development plan for subdivision. Instead they may be bringing in individual site plans for building permit for DRB review in accordance with the parameters set by Exhibit A

I have done extensive research on this project. This research would be important for you to be aware of should the applicant pursue the option of going straight to the DRB.

Also, you should be aware of the issues that surfaced during our review of this project at EPC. These issues include:

- 1) Significant transportation/traffic concerns based on a submitted TIS. In fact, transportation Development and Planning recommended a deferral of this request.
- 2) Improper authorization to pursue this request. The applicant had not obtained authorization from each property owner whose land was included in the request.
- 3) Deficiencies in the proposed design requirements.
- 4) Significant neighborhood opposition to the request as submitted.

I believe we should meet to discuss the history, background, zoning, Exhibit A, and other planning related issues that are related to this property and request. Especially if the applicant pursues the option of going straight to the DRB for approval of individual site plans for building permit.

Please let me know when we can meet to discuss this project. Thanks.

Elvira

Elvira Lopez  
Planner  
COA Planning Department  
Development Review Division  
(505) 924-3910

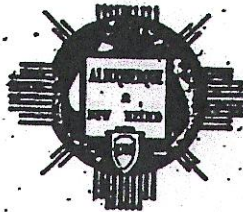


Present: RJ Schaefer, Bill Nelson, Jim Strozier, Devin Cannady, Manjeet Tangri, Elvira Lopez

1. The school directly to the south of the property is concerned about the safety of the kids. They don't want a road through the development to the school, or any residential development (school already overcrowded). Bill, the developer, promised them quality development and no road. However, the road may become a necessity out of City traffic requirements.
2. The neighbors don't want more traffic on Richland, the east/west road that passes between the school and this proposed development. They also are concerned about the height of the buildings.
3. Bill Nelson said he plans professional office space across from the school.
4. He plans to build some condos.
5. The project was scheduled for the 5/19/05 EPC hearing. Now, due to the 1985 Council agreement, the site plans will go to DRB if they follow the zoning, height, floor area ratios as spelled out in the Council bill & attachment. They do plan a restaurant with a liquor license. This must go to EPC.
6. It was agreed that, initially, a SPS with design criteria will be taken to DRB for approval. Then, each phase will come into DRB as a SPBP following the design criteria on the approved SPS. If any changes are needed to the SPS, they will go to DRB as amendments.
7. The North side next to Paradise will have a 6 to 8' retaining wall to keep the drainage onsite.
8. RJ said the realignment of Paseo del Norte from the original alignment on Paradise Blvd. cost him Lot 11. He believes that means he is still entitled to C3 zoning.
9. IT was strongly suggested that the developer keep in touch with Planning staff to help facilitate a smooth, more expedient approval process.



2-93-89  
AX-93-89



**City of Albuquerque**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR  
Harry E. Kinney  
CITY  
ADMINISTRATIVE OFFICER  
Frank A. Kinshard

June 11, 1985

Distribution: See Below.

RE: AX-83-13/2-83-89

Interested Persons:

This is to notify you that on May 20, 1985, the City Council of the City of Albuquerque approved annexation and simultaneous establishment of zoning on the above-noted request. It became effective five (5) days after publication of the ordinance.

Sincerely,

*Mary Curron*  
Mary Curron  
Administrative Assistant

Bernard Metzger, P.O. Box 987, 87103  
Phil Tappys, 8804 Pony Express N.E., 87109  
Stan Hatch, P.O. Box 1888, 87103  
John Robert, Andrews, Asbury & Robert, 149 Jackson N.E.  
Wendy Krastner, 235 Montezuma, Santa Fe, 87501  
New Mexico Utilities, 10001 Coors Rd. N.W.  
Joy Cottraxzola, 8802 Candelaria N.E., 87112  
Herb Danish, Danish & Associates, P.O. Box 2001, 87103  
Far West Land Co., P.O. Box 14708, 87191  
High Assets Land Co., Ltd., P.O. Box 14708, 87191  
American Eagle Investors, P.O. Box 14708, 87191  
El Pueblo Properties, P.O. Box 14708, 87191  
Eagle Ridge Investors, P.O. Box 14708, 87191  
Executive Investors, P.O. Box 14708, 87191  
Bert Krueger, Bradbury Court, 215 Central Ave., N.W., Suite 270, 87102  
John Salazar, Roday Law Firm, P. O. Box 1888, 87103

MUNICIPAL DEVELOPMENT DEPARTMENT

Jack E. Leaman, City Planner

PLANNING DIVISION

Telephone (505) 766-7422

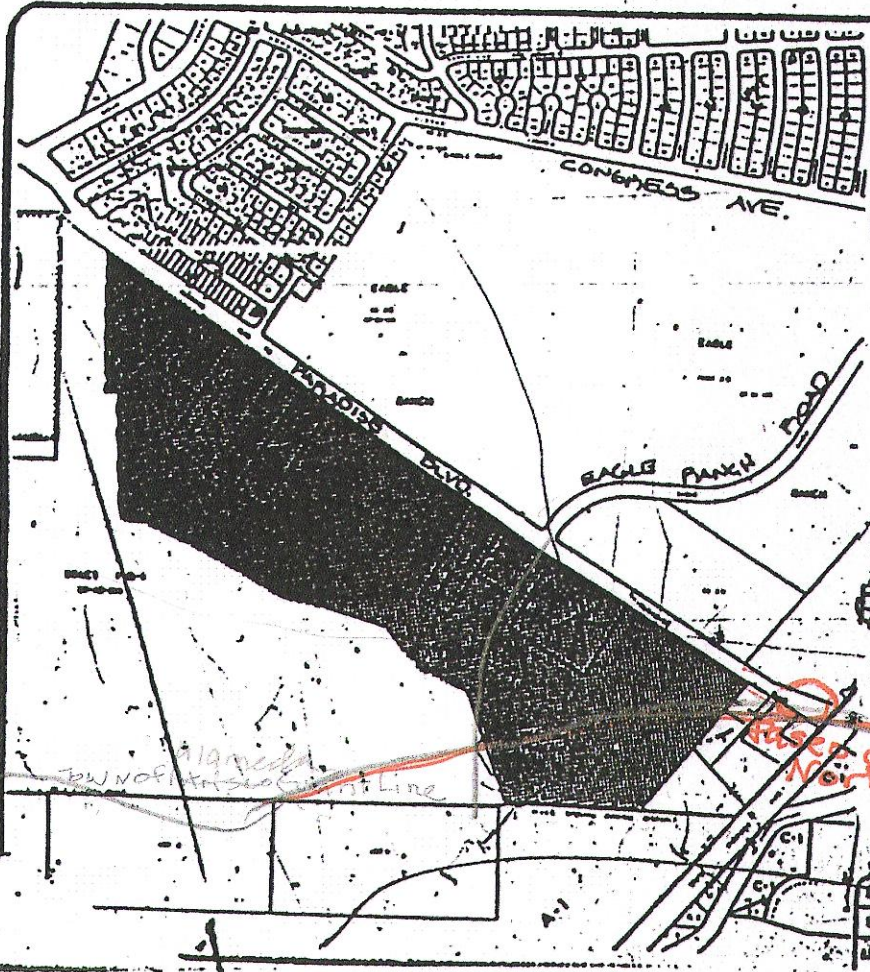
AN EQUAL OPPORTUNITY EMPLOYER



**CITY OF  
ALBUQUERQUE  
MUNICIPAL DEVELOPMENT  
DEPARTMENT  
PLANNING DIVISION**

**STUDY AREA**

R. J. Schaffer, at a request  
annexation to the City of  
Albuquerque and establishment  
of SU-1 (Special Use for M-1  
and C-2 Uses) for a portion of  
the area known as the Eagle  
Ranch Master Plan located on  
the south side of Paradise  
Boulevard, west of Coors Road.





SIXTH COUNCIL

COUNCIL BILL NO. F/S 0-186 ENACTMENT NO. 33-1985

SPONSORED BY: PATRICK J. BACA

ORDINANCE

1  
2 ANNEXING THAT LAND GENERALLY BOUNDED BY PARADISE BOULEVARD, COORS  
3 BOULEVARD, THE SOUTH BOUNDARY OF THE TOWN OF ALAMEDA GRANT AND TRACT  
4 A-2-2 EAGLE RANCH SUBDIVISION CONTAINING APPROXIMATELY 93 ACRES, TO THE  
5 CITY OF ALBUQUERQUE, NEW MEXICO; AND AMENDING THE ZONE MAP OF THE CITY  
6 OF ALBUQUERQUE.

7 WHEREAS, the owner of the area to be annexed and hereinbelow  
8 described in this ordinance, which land is contiguous to the boundaries  
9 of the City of Albuquerque, New Mexico, has heretofore presented a  
10 petition properly signed, accompanied by a map of said contiguous  
11 territory, petitioning the Governing Body of the City of Albuquerque,  
12 New Mexico, to pass and adopt an ordinance annexing said land to the  
13 City;

14 BE IT ORDAINED BY THE COUNCIL, THE GOVERNING BODY OF THE CITY OF  
15 ALBUQUERQUE:

16 Section 1. The following described territory is hereby annexed to  
17 and made a part of the City of Albuquerque for all purposes upon filing  
18 a copy of this ordinance and map of the territory so annexed in the  
19 office of the County Clerk of Bernalillo County, New Mexico, and  
20 publication of this ordinance according to law:

21 A. All of Albuquerque West Subdivision as shown on a plat filed in  
22 the office of the County Clerk of Bernalillo County, New Mexico on  
23 November 21, 1984 excluding therefrom Lot 6, Block C, of said  
24 Albuquerque West Subdivision.


25 Section 2. The zone map, adopted by Section 7-14-46.C R.O. 1974,  
26 is hereby amended as follows:



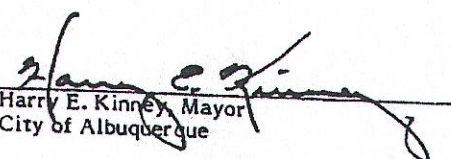
1 A. Establishment of SU-1 (Special Use for a Planned Development  
2 Area) to include uses permissive and conditional in the C-3 (Heavy  
3 Commercial Zone) for the area described in Section 1 above. The  
4 development parameters shown on Exhibit "A" attached hereto and made a  
5 part hereof are adopted as a component for this SU-1 zoning for a  
6 Planned Development Area.

7 Section 3. Effective Date and Publication. This ordinance shall  
8 become effective five days after publication in full.

9 PASSED AND ADOPTED THIS 20th DAY OF MAY, 1985.  
10 BY A VOTE OF 9 FOR AND 0 AGAINST.

11  
12  
13   
14 Thomas W. Hoover, President  
15 City Council

16 APPROVED THIS 4th DAY OF June, 1985.

17  
18   
19 Harry E. Kinney, Mayor  
20 City of Albuquerque

21 ATTEST:

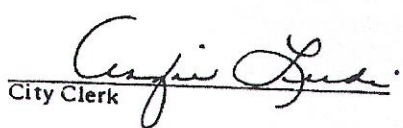
22  
23   
24 City Clerk



EXHIBIT "A"  
LAND OF R. J. SCHAEFER  
CITY OF ALBUQUERQUE  
ZONING AND SPECIAL USE OF PARAMETERS

<u>ALBUQUERQUE</u> <u>WEST SUBDIVISION</u>	<u>ZONING</u>	<u>DEVELOPMENT PARAMETERS</u>	
		<u>F.A.R.</u>	<u>HEIGHT</u>
Lots 4 and 5, Block F; Lots 1 thru 4, Block E;	SU-1 (Special Use) For permissive and conditional uses in the C-3 zone listed.*	1.0	6.0 Stories
Lots 1 thru 4, Block A; Lots 1 thru 10, Block B; Lots 1 thru 9, Block C; Lots 1 thru 10; Block D; Lots 1 thru 3, Block F;		.8	3.5 Stories
Lots 11 and 12, Block D;		.5	Unspecified

\*The following uses are expressly excluded whether first listed as permissive or conditional uses in the C-3 Zone: Tire recapping or retreading, contractors yard, equipment rental, bulk fuel storage or sales, auto dismantling, outdoor building material storage or sales unless incidental to retail sales and adequately screened.

1. The property listed above is in the Established Urban Area pursuant to the City/County Comprehensive Plan.
2. The lots referred above were created by approval and filing of Albuquerque West Subdivision, a Subdivision in Paradise Hills Development within the Town of Alameda Grant, Projected Section 13, T 11 N, R 2 E, NMPM, and Projected Section 18, T 11 N, R 3 E, NMPM, Bernalillo County, New Mexico, dated August, 1984 and recorded in the office of the County Clerk



of Bernalillo County on November 21, 1984 at Volume C-25, Folio 138 (herein referred to as "Albuquerque West Subdivision"):

- a. Albuquerque West Subdivision was reviewed and approved pursuant to the City's Subdivision Ordinance, Enactment No. 56-1983, R.O. 1974. It is understood that necessary infrastructure improvements (roads and storm drainage) have been approved by the County of Bernalillo and the City of Albuquerque and their completion has been bonded or otherwise financially guaranteed by the property owners. Such improvements are designed to City specifications and are accepted by the City. No further bonding or other financial guarantee of those improvements will be required.
  - b. A drainage plan has been approved covering all tracts.
  - c. The road system providing ingress and egress to all tracts is approved except that final determination of an El Pueblo bridge road should not prevent platting or replatting on tracts not impacted by such alignment.
3. Zoning and special use parameters are established in the above Table allowing site development plan review to be the next step in the Land Use Planning process.
- a. The following matters are delegated to the Development Review Board for approval.
    - (1) All platting or replatting.
    - (2) Site development plans for building permits provided that:
      - (a) The proposed uses are either residential or among those first listed as permissive in the C-1 or O-1 zones, and;
      - (b) Structures do not exceed 2.5 stories in height, and;
      - (c) 15% of the paved parking areas are landscaped and buffer landscaping is in accordance with section 40.J of the Comprehensive Zoning Ordinance;
      - (d) The F.A.R. does not exceed .50.



- b. Approval of a Site Development Plan for Subdivision pursuant to Section 5B92(a) of the City Zoning Ordinance, and all Site Development Plans for building permit other than those listed above are to be reviewed by the Environmental Planning Commission. However, if a Site Development Plan for Subdivision is approved by the E.P.C., all subsequent site development plans for building permits shall be delegated to the Development Review Board.
4. Because of the owners commitment to comply with the above referenced provisions, this property shall not be included in a Sector Development Plan Area and its inclusion in a Sector Development Plan shall not be required as a condition precedent to the development and/or sale of the property.