



CITY OF ALBUQUERQUE

City Council

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March 16, 2012

NOTICE OF A PROPOSAL TO CHANGE THE ZONING OF YOUR PROPERTY/PROPERTIES IN THE DOWNTOWN NEIGHBORHOOD AREA

Dear Sir or Madam:

The City of Albuquerque has been working for the last two years to update the 1976 Downtown Neighborhood Area Sector Development Plan (DNASDP). This plan involves the zoning for all properties within its boundaries. You are receiving this letter because you are listed as the owner of record of a property/properties located within the boundaries of the DNASDP.

The enclosed maps show existing and proposed changes to the zoning of properties within the DNASDP boundaries. These maps should be reviewed in conjunction with the Draft Plan (C/S R-11-225) and staff memos that explain recommended revisions to the Draft Plan, all of which can be downloaded from the City's website (<http://www.cabq.gov/planning/long-range/DowntownSDPUpdate.html>) or examined in hard copy in the City Council Office, City/County Government Center, One Civic Plaza NW, 9th Floor, Room 9087.

The updated DNASDP (bill number R-11-225) will be considered by the City Council at a hearing on **Wednesday, March 28, 2012, 5:00 PM, in City Council Chambers**, located in the basement of City Hall. Public comment will be taken at this hearing, and Civic Plaza Parking will be validated.

If you wish to submit written comments on the DNASDP (R-11-225) to the City Council, please send them by **Friday, March 23, 2012**, to: Crystal Ortega, Clerk of the Council, Albuquerque City Council, P.O. Box 1293, Albuquerque, NM 87103, or cortega@cabq.gov.

If you have questions about the history of this planning process and/or the contents of the Draft Plan, please contact Petra Morris, Project Manager, at (505) 924-3897 or pmorris@cabq.gov. If you have questions about the information contained herein, the Draft Plan, materials on the website, or general questions about the process to adopt R-11-225, please contact City Council staff via the information below.

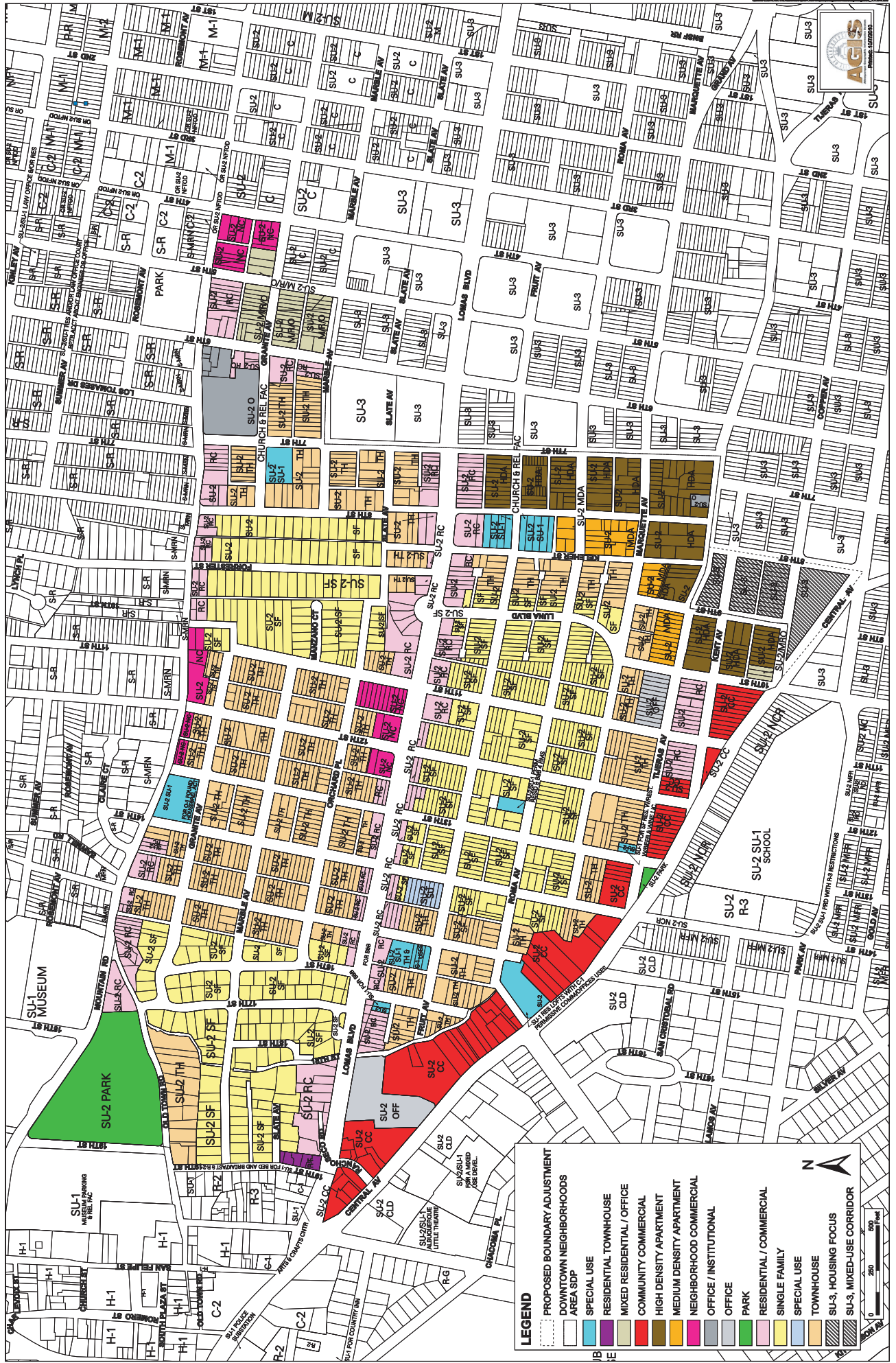
Sincerely,

Kara Shair-Rosenfield
Policy Analyst/Planning
Albuquerque City Council
(505) 768-3114
karasr@cabq.gov

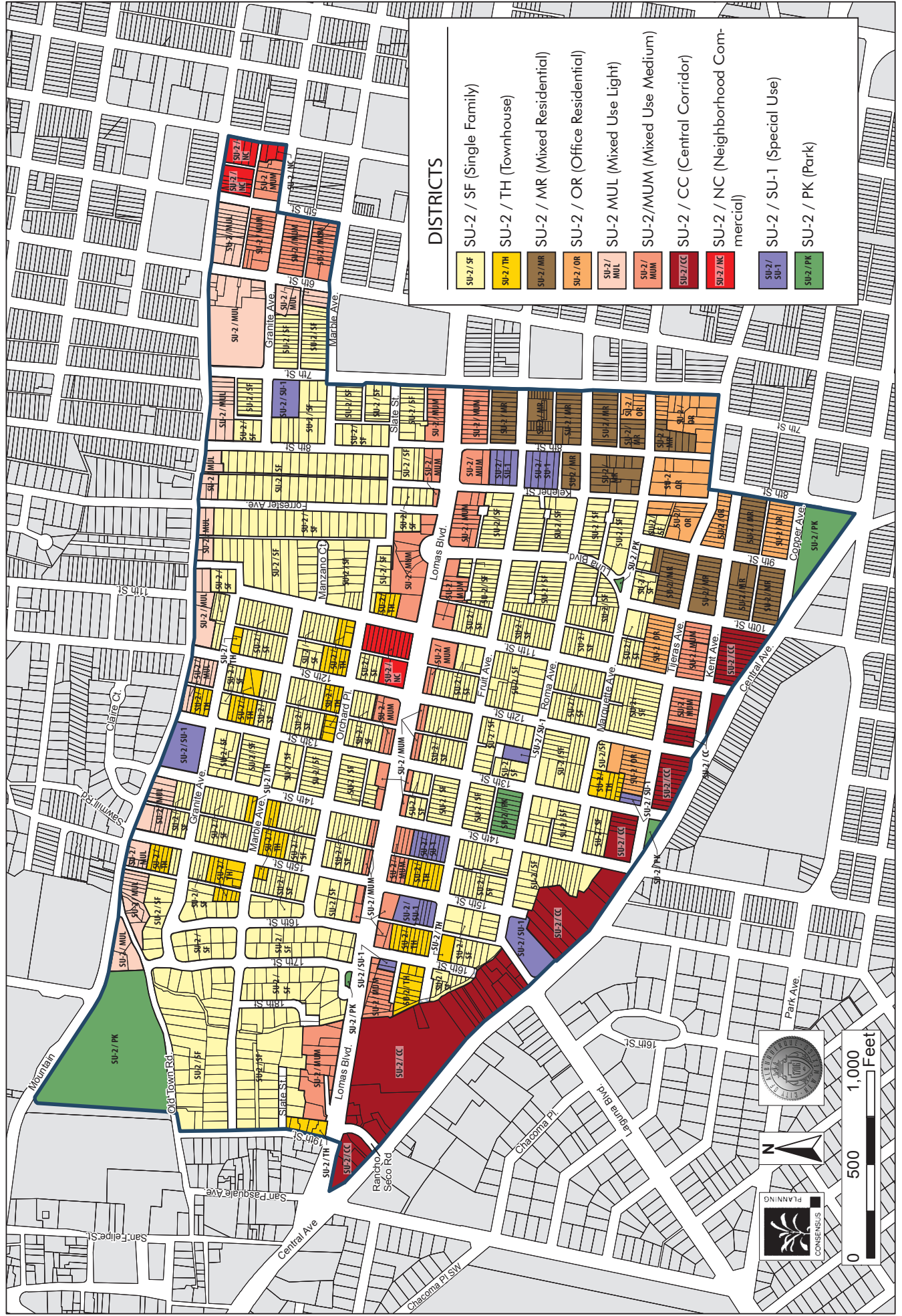
&

Andrew Webb
Policy Analyst/Planning
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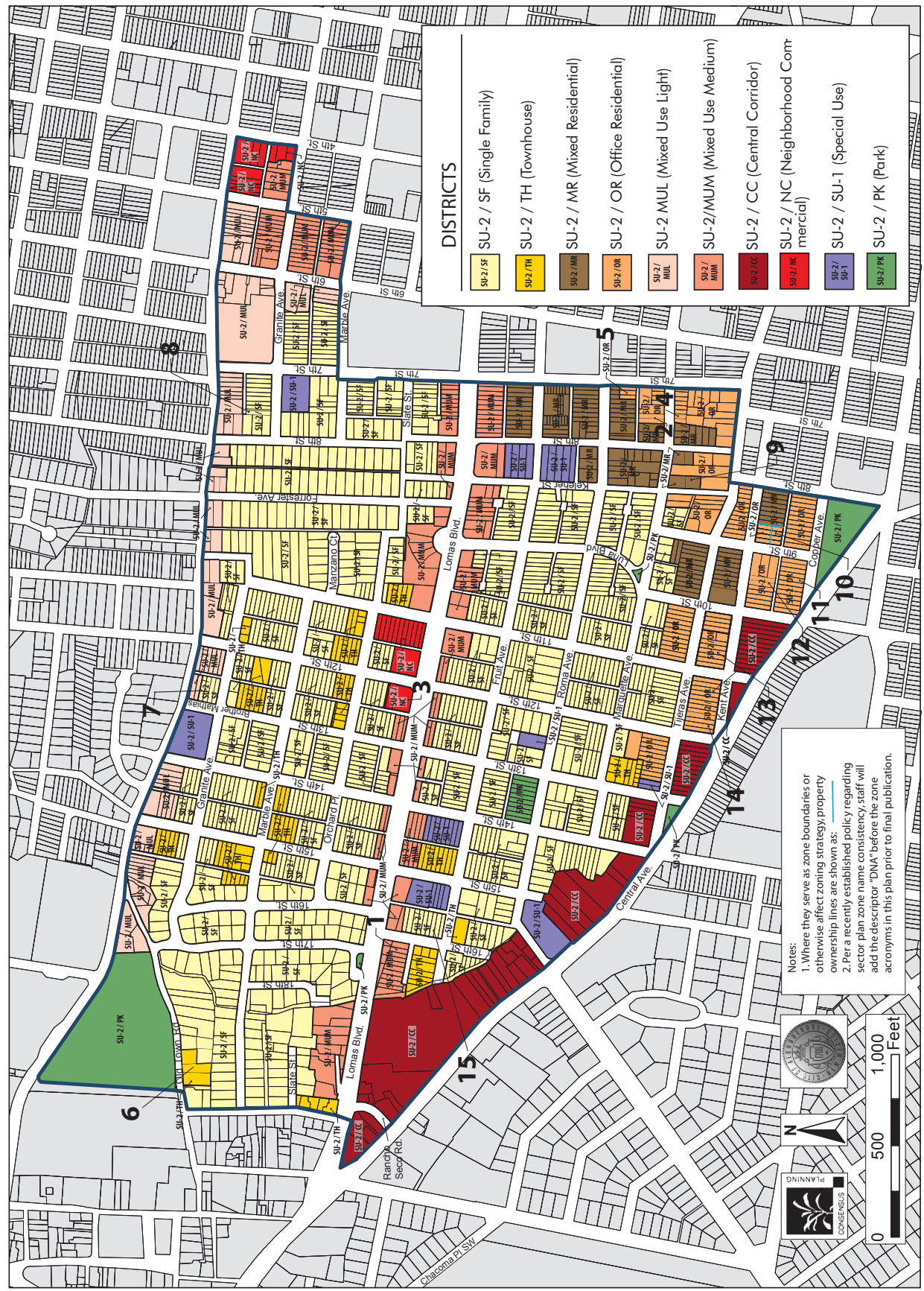
Map 1: Existing Zoning from the 1976 Plan



Map 2: Proposed Zoning per the October 28, 2010 EPC Submittal Draft



Map 3: Proposed Zoning per Council Staff's Recommendation to the City Council's Land Use, Planning and Zoning Committee (See memos available on the DNASDP website.)



The proposed changes shown in this map and listed below represent requests by property owners or recommendations by staff that have sufficient policy support to justify the change. See the memorandum titled "Zone Change Memo Supported 11-30-11" on the DNASDP website for details.

1. Condition 28: Change 317, 319, 16th St. from SU-1 for 888 to SU2 MUM
2. Condition 30: Change 715 Marquette from SU2 MR to SU2 OR
3. Condition 33: Change 1201 Lomas from SU2 MUM to SU2 NC
4. Condition 77: Change 712 Marquette from SU2 MR and OR to SU2 OR only
5. Condition 79: 415, 417 7th from SU2 MR to SU2 OR
6. Change parcels at 1802, 1806 and 1808 Old Town Road from SU-2/SF to SU-2/TH
7. Change from SU-2/TH to SU-2/SF
8. Make correction to map to remove non-existent alley
9. Change residential parcels from SU-2/OR to SU-2/MR
10. Change ownership parcels facing west toward 9th from SU-2/MR to SU-2/OR
11. Change 903-919 Copper from SU-1 and SU-2/MR to SU-2/OR
12. Change from SU-2/MR to SU-2/OR
13. Change from SU-2/MUM to SU-2/OR
14. Change from SU-2/CC to SU-2/OR
15. Change from SU-2/TH to SU-2/SF

| DISTRICTS | |
|-----------|-------------------------------------|
| | SU-2 / SF (Single Family) |
| | SU-2 / TH (Townhouse) |
| | SU-2 / MR (Mixed Residential) |
| | SU-2 / OR (Office Residential) |
| | SU-2 MUL (Mixed Use Light) |
| | SU-2/MUM (Mixed Use Medium) |
| | SU-2 / CC (Central Corridor) |
| | SU-2 / NC (Neighborhood Commercial) |
| | SU-2 / SU-1 (Special Use) |
| | SU-2 / PK (Park) |

Notes:
 1. Where they serve as zone boundaries or otherwise affect zoning strategy, property ownership lines are shown as:
 2. Per a recently established policy regarding sector plan zone name consistency, staff will add the descriptor "DNA" before the zone acronym in this plan prior to final publication.

0 500 1,000 Feet