

WR66 Building Height Studies

At the request of some Committee members, the planning team has created height studies that will allow comparison between existing and proposed height maximums in the WR66 activity centers.

The studies graphically illustrate the difference between height maximums that are currently allowed in the existing 1987 (amended in 2009) West Route 66 Sector Development Plan as compared to what is proposed in the new Sector Plan.

Two sample sites were chosen for comparison; one located in the proposed Major Activity Center (MAC) on the northwest corner of Central Ave. and Coors Blvd. and the other located in the Community Activity Center (CAC) at Atrisco Blvd. and Central Ave. These sites were chosen because they are within the proposed zones that would allow the greatest heights. In order to further clarify existing height regulations, existing allowable heights are also illustrated in sections for the site east of Atrisco Blvd. and for a large and small site in the MAC.

The existing height studies explain the current height allowances as constrained by both the distance of a building from the center of the right-of-way as well as the distance from the property lines. The proposed studies illustrate the height allowances that are being proposed in the new West Route 66 Sector Development Plan. A summary of those heights follows:

Major Activity Center

Existing: Within the MAC there currently exists a 25' front setback along Central Ave. and along Coors Blvd. and a 5' setback along interior (side or rear) property lines. When developed with a 45 degree angle plane from the centerline of the ROW or interior (side or rear) property lines allowable heights range from 80' along Central to 240' on internal lots.

(Note: A 45 degree angle plane was chosen for this exercise because it represents a more conservative development outcome but the City Zoning Code actually allows a 60 degree angle plane on these sites which is illustrated in the section drawings.)

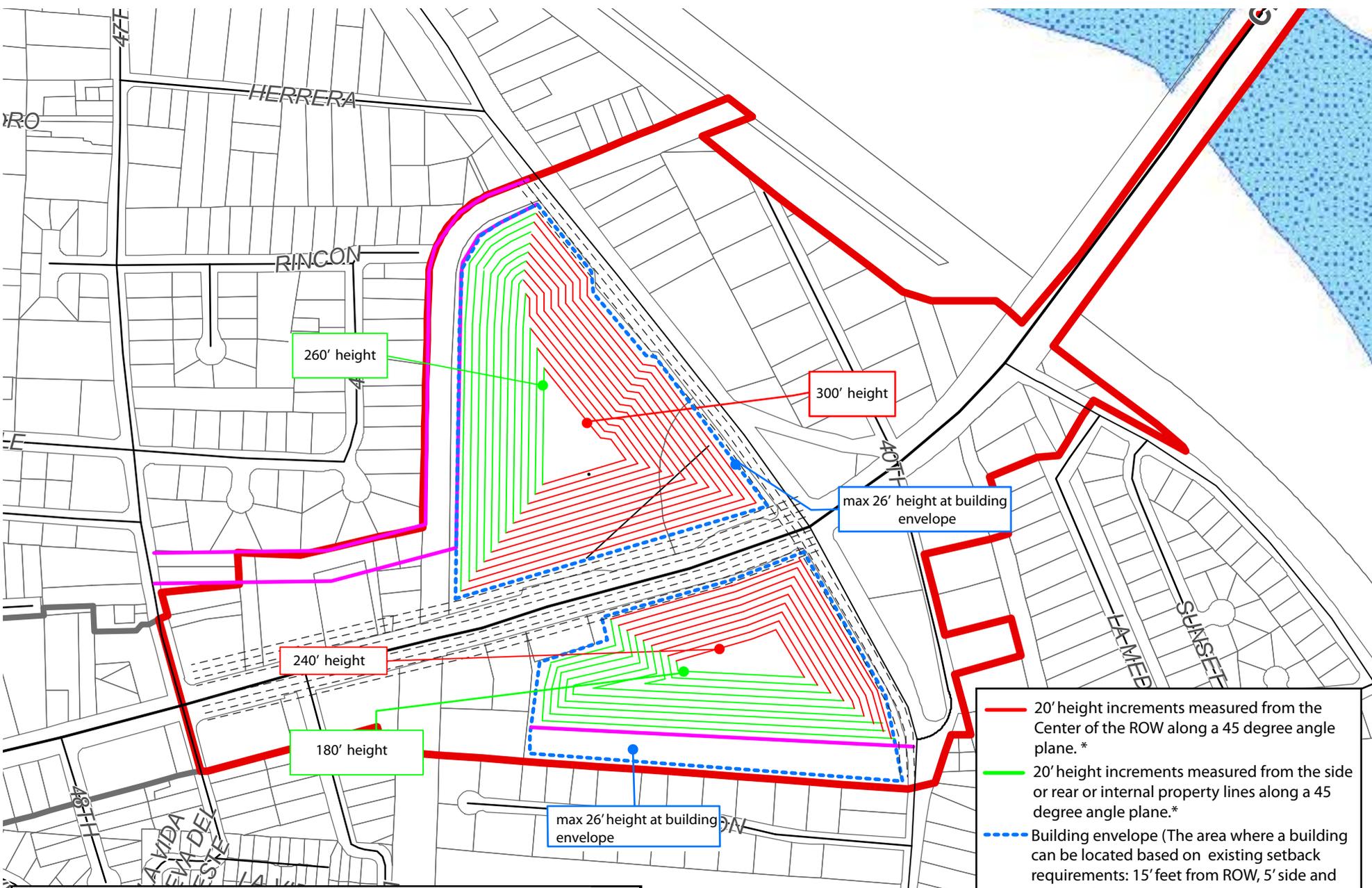
Proposed: 36' heights are proposed within 50' of the ROW. A 75' allowable height is proposed in the remainder of the building envelope.

Community Activity Center

Existing: Within the CAC there currently exists a 25' front setback along Central Ave. and along Atrisco Blvd. and a 5' setback along interior (side or rear) property lines. When developed with a 45 degree angle plane from the centerline of the ROW or interior (side or rear) property lines allowable heights range from 26' along Central to 300' on internal lots.

(Note: A 45 degree angle plane was chosen for this exercise because it represents a more conservative development outcome but the City Zoning Code actually allows a 60 degree angle plane on these sites which is illustrated in the section drawings.)

Proposed: 36' heights are proposed within 50' of the row. 52' heights are proposed for the remainder of the building envelope except where building is within 75' of residential a maximum height of 26' is proposed.

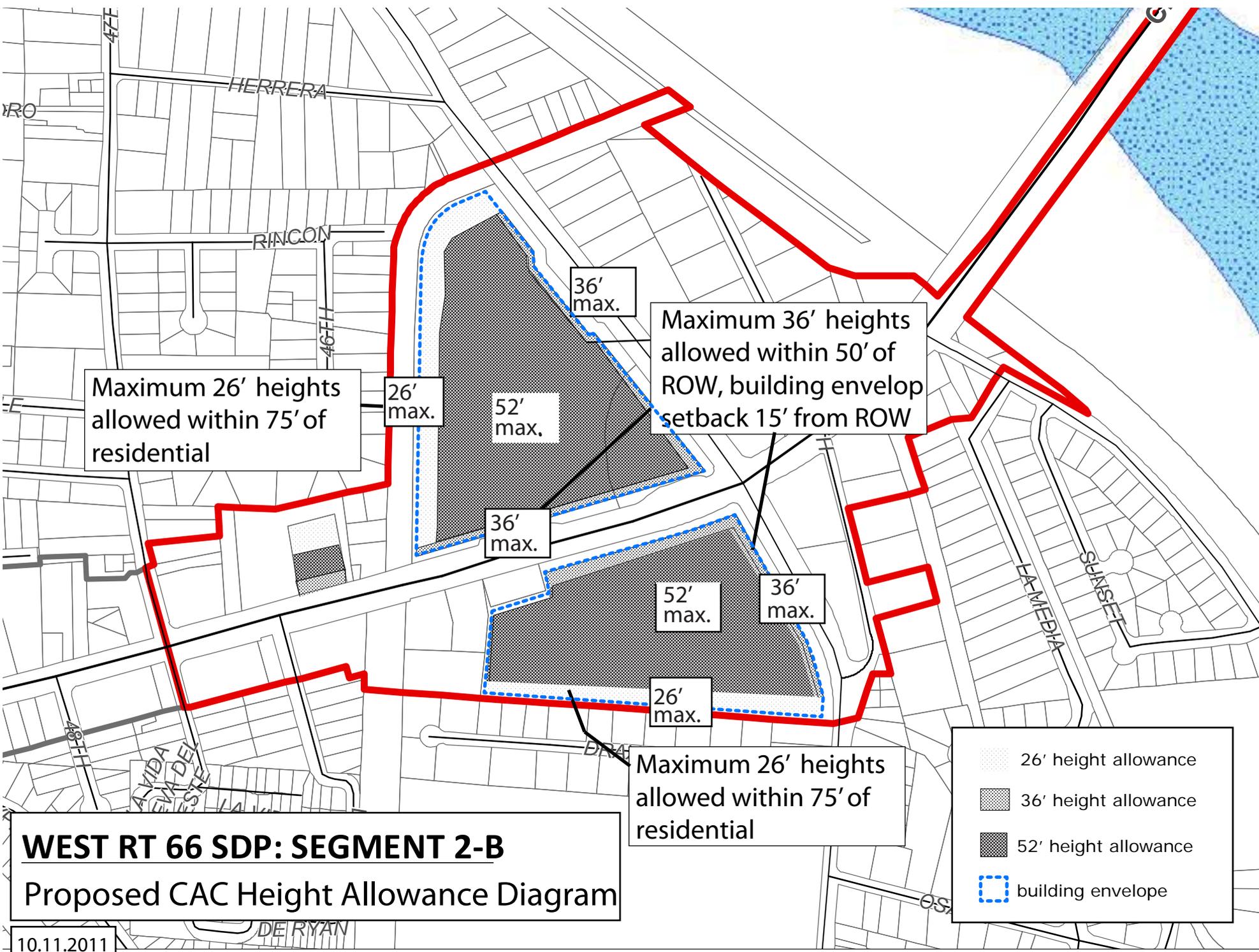


WEST RT 66 SDP: SEGMENT 2-B
Existing Height Allowance Diagram

10.11.2011

- 20' height increments measured from the Center of the ROW along a 45 degree angle plane. *
- 20' height increments measured from the side or rear or internal property lines along a 45 degree angle plane.*
- - - Building envelope (The area where a building can be located based on existing setback requirements: 15' feet from ROW, 5' side and rear, 85' from a residential zone.)
- Increment lines showing 20' intervals from center line of right of way.
- Within 85' of a residential zone, building height limited to 26'.

*The 45 degree angle plane was selected for this exercise, however, a 60 degree angle plane is also permitted, except along northern property lines which are limited to the 45 degree angle.



Maximum 26' heights allowed within 75' of residential

26' max.

36' max.

Maximum 36' heights allowed within 50' of ROW, building envelope setback 15' from ROW

52' max.

36' max.

52' max.

36' max.

26' max.

Maximum 26' heights allowed within 75' of residential

- 26' height allowance
- 36' height allowance
- 52' height allowance
- building envelope

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Proposed CAC Height Allowance Diagram

