



Volcano Heights Sector Development Plan

Public Meeting
June 2, 2011

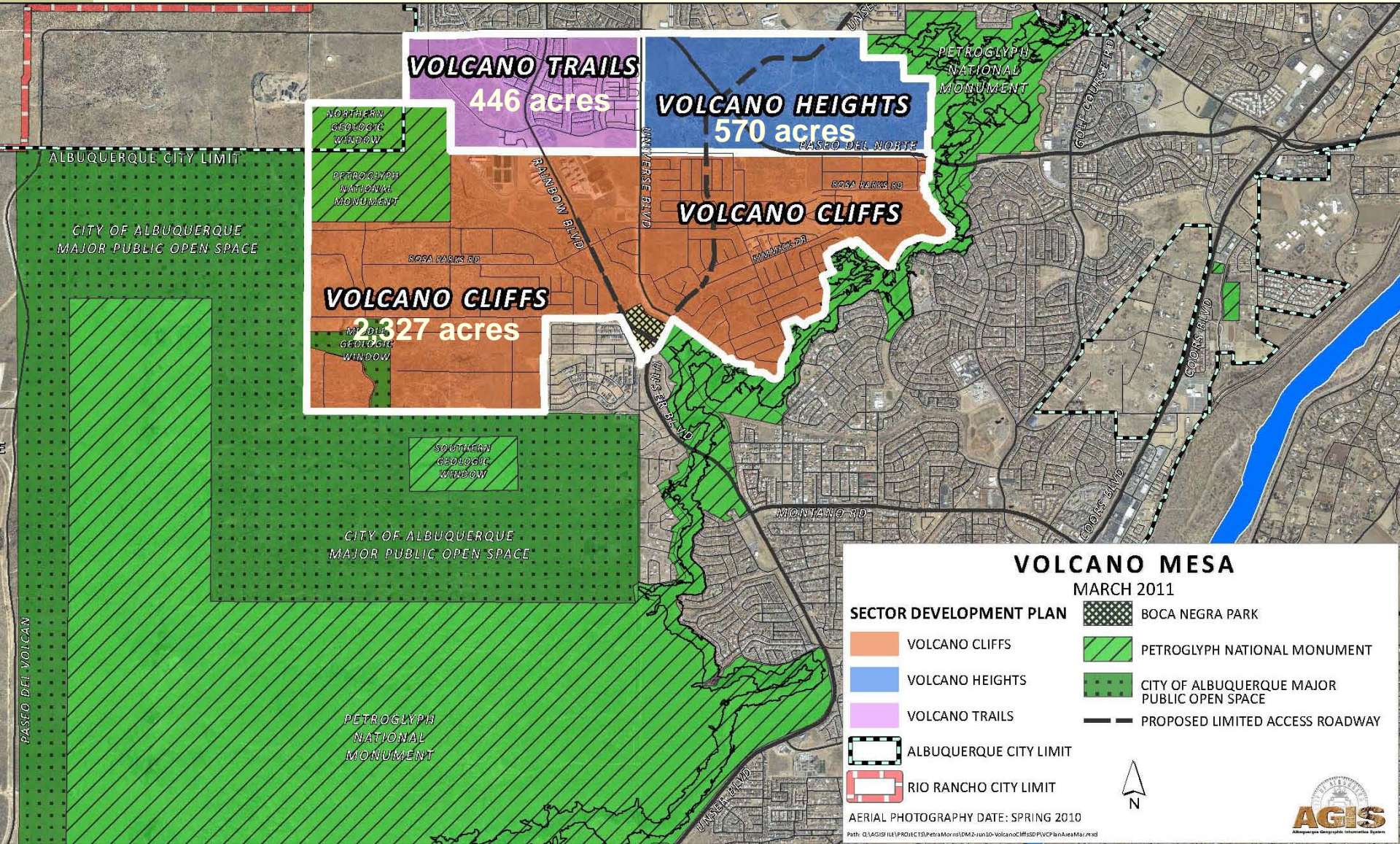
Purpose

- We need your help deciding how to move forward in the planning process for Volcano Heights.
 - Your comments/reactions about the content of presentation materials.
 - Your preferred option for moving forward in the planning process.

Agenda

- **Presentation:** *Gateway findings & recommendations*
- **Questions/Discussion:** *Comments & questions about today's presentation and the planning process*
- **Your Advice/Guidance:**
 - Content station materials
 - Options for planning process (EPC July 7)

Sector Development Plans



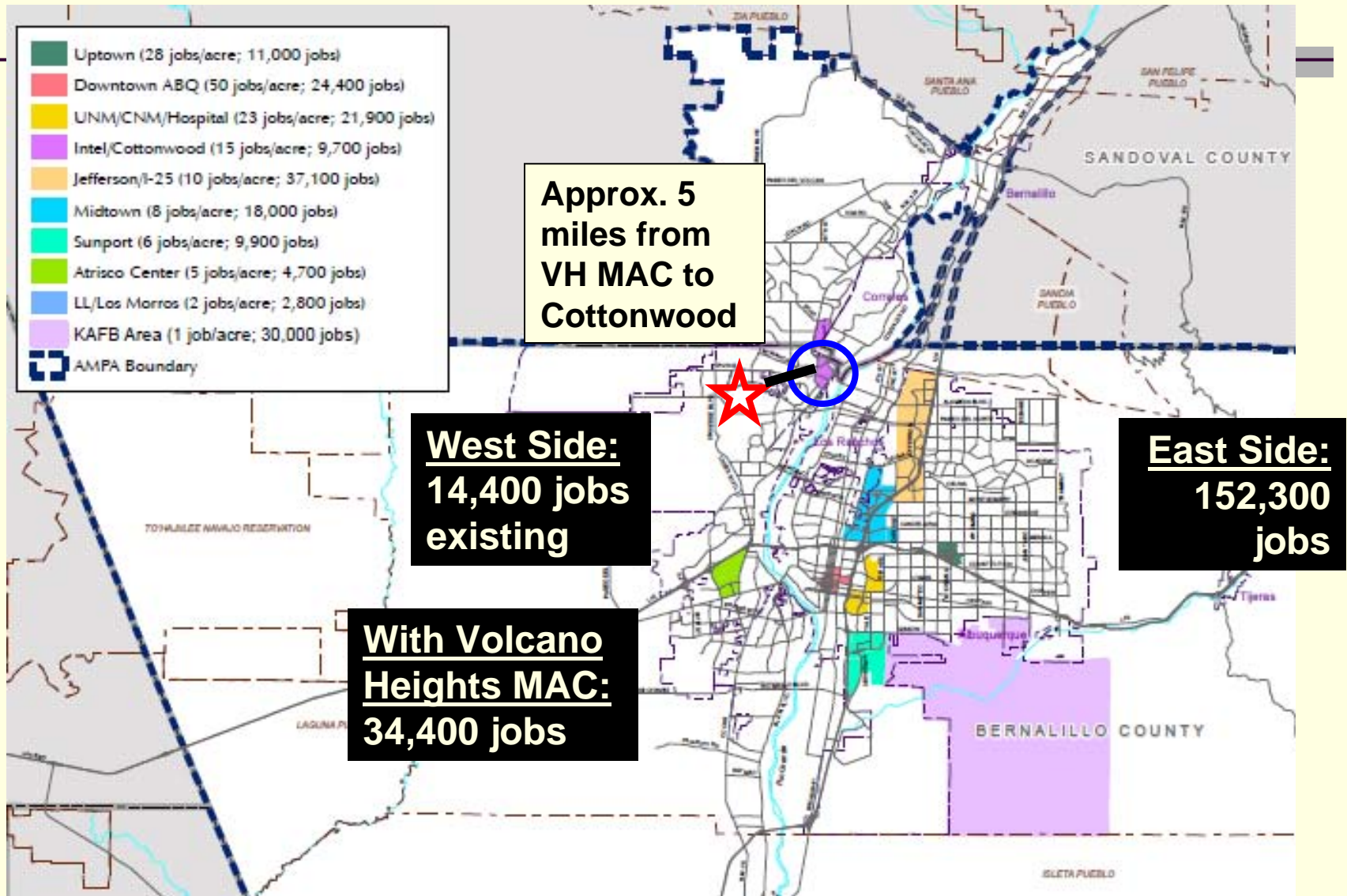
City of Albuquerque Ranked Plans

Relevant Ranked Plans	Area	Policy / Regulation
Rank I: Albuquerque/ Bernalillo County Comprehensive Plan	Entire Albuquerque Area	Policy
Rank II: Area / Facility Plans <ul style="list-style-type: none">■ West Side Strategic Plan■ Facility Plan for Arroyos■ Major Public Open Space Facility Plan■ Trails and Bikeways Facility Plan■ Electric Service Transmission and Subtransmission Facility Plan	Relevant Albuquerque Areas, including Volcano Mesa	Policy
Rank III: Northwest Mesa Escarpment Plan	Specific Area	Policy & Regulation

Volcano Heights Sector Development Planning Process

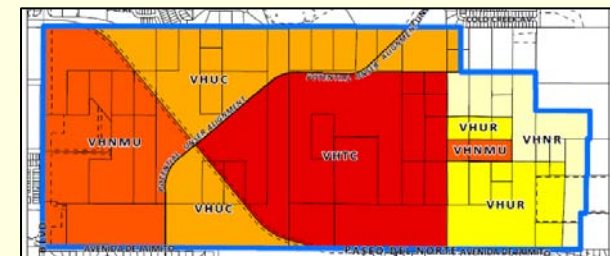
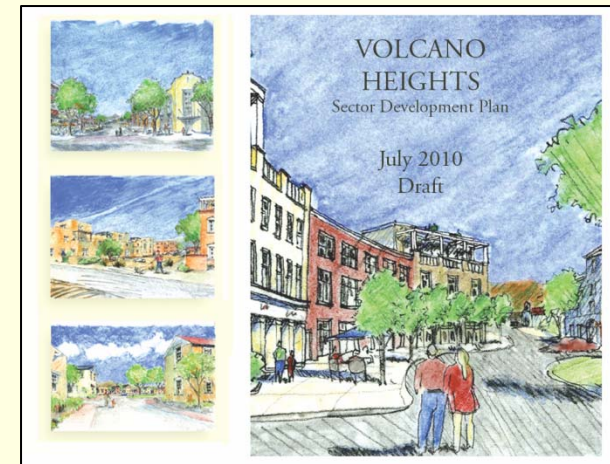
- Various Public and Agency Meetings
 - Ongoing from 2004 to 2011
- Environmental Planning Commission (EPC)
 - September 2nd, 2010
 - November 4th, 2010
 - July 7th, 2011 (to come)
- West Side Strategic Plan Volcano Mesa Amendment
 - Adopted February 2011
 - Designates Volcano Heights as Major Activity Center
 - Provides policies to guide development and protect sensitive areas

Major Activity Center Employment



Major Public Comments / Concerns

- Design regulations don't allow what the market desires
- Zone sizes and locations seem arbitrary
- Intense zones negatively impact existing residential areas
(e.g. *VHUC* on the north Plan boundary)
- Increased traffic in this area will make existing congestion worse
- Heights / density are too high



Gateway Planning Group: Scope

■ **Market study:**

- How much commercial can the area support in the short- and long-term?

■ **Zoning:**

- Are the zones in the right locations and in the right proportion to encourage urban development that matches market potential?

■ **Design Regulations:**

- Will they encourage high-quality development and predictability over time?

■ **Feasibility:**

- Will the Plan encourage desired development in the short- and long-term?

Gateway's Initial Findings

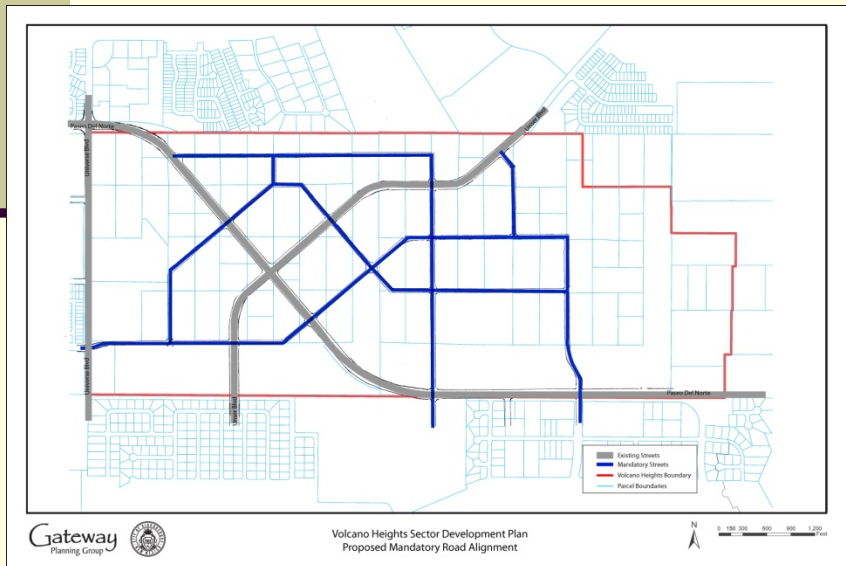
- **Market** – doesn't allow for as much initial intensity as in the July 2010 zoning proposal
- **Zoning map** – arbitrary zone locations/sizes, zoning intensity incompatible with existing residential to the north, zone transitions at street (vs. mid-block)
- **Design regulations** – don't encourage coordinated, predictable development over time and along corridors
 - uncoordinated property ownership
 - piecemeal development
 - intermittent timeline
- **Feasibility** – Plan will not create high-quality development in the short-term and does not protect long-term opportunities for urban character

What would make the Plan better?

- Street network hierarchy
- Zoning tied to streets (and property lines)
- Form-based Code tied to street character

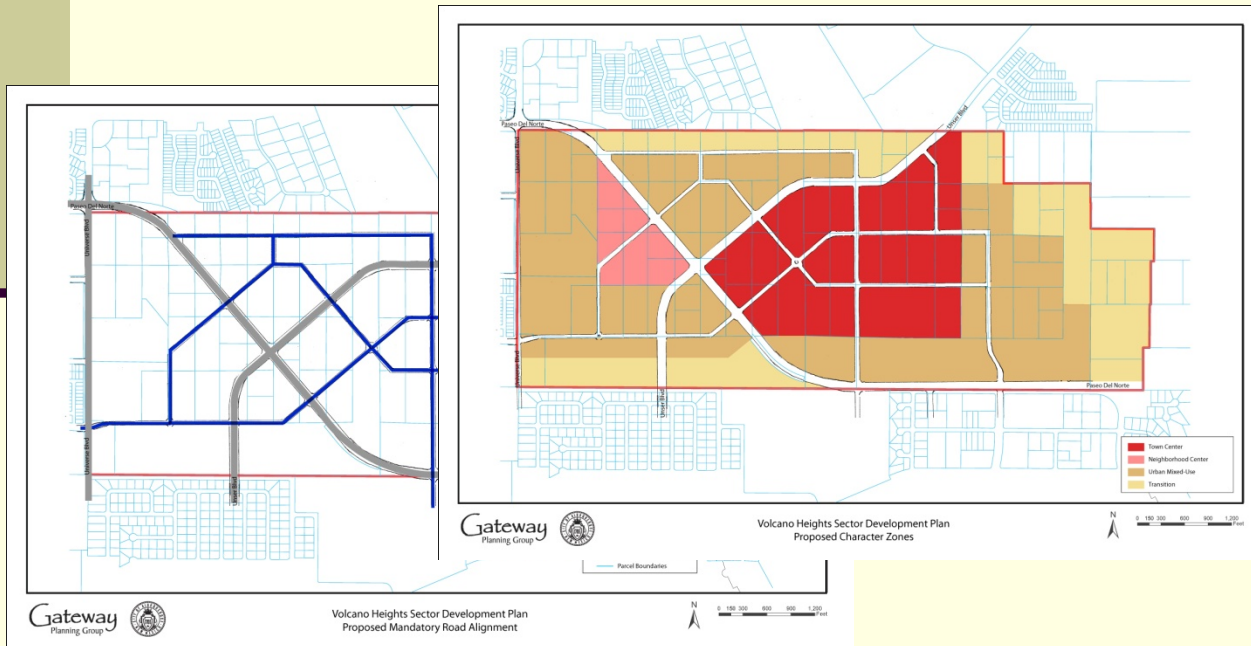
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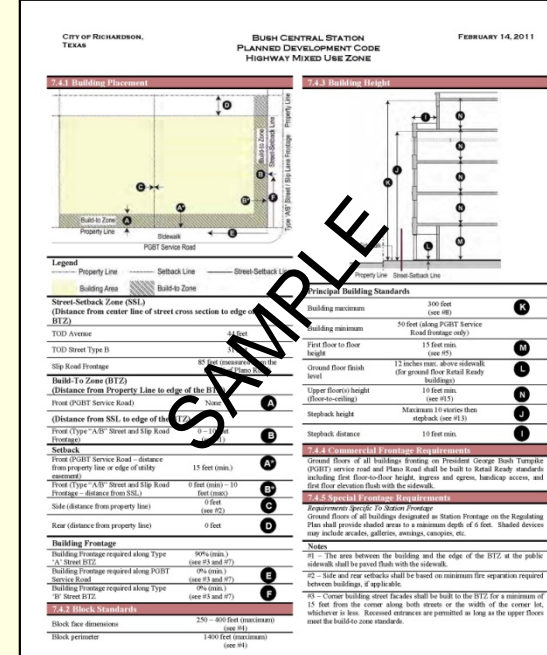
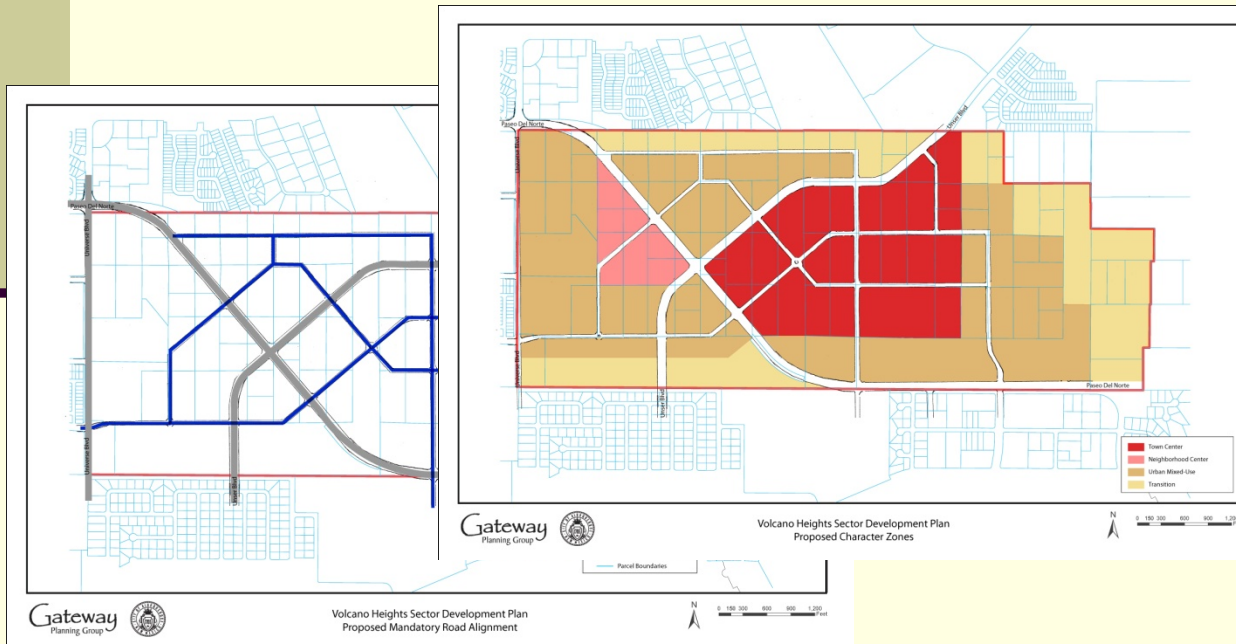
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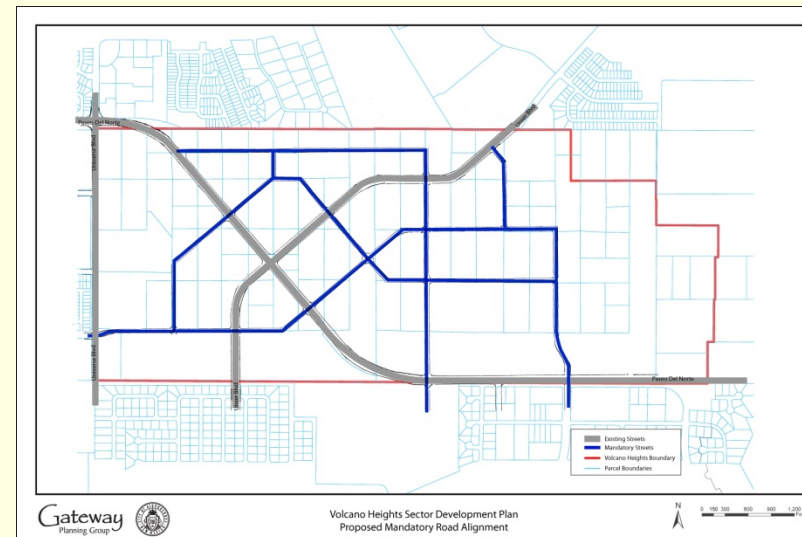
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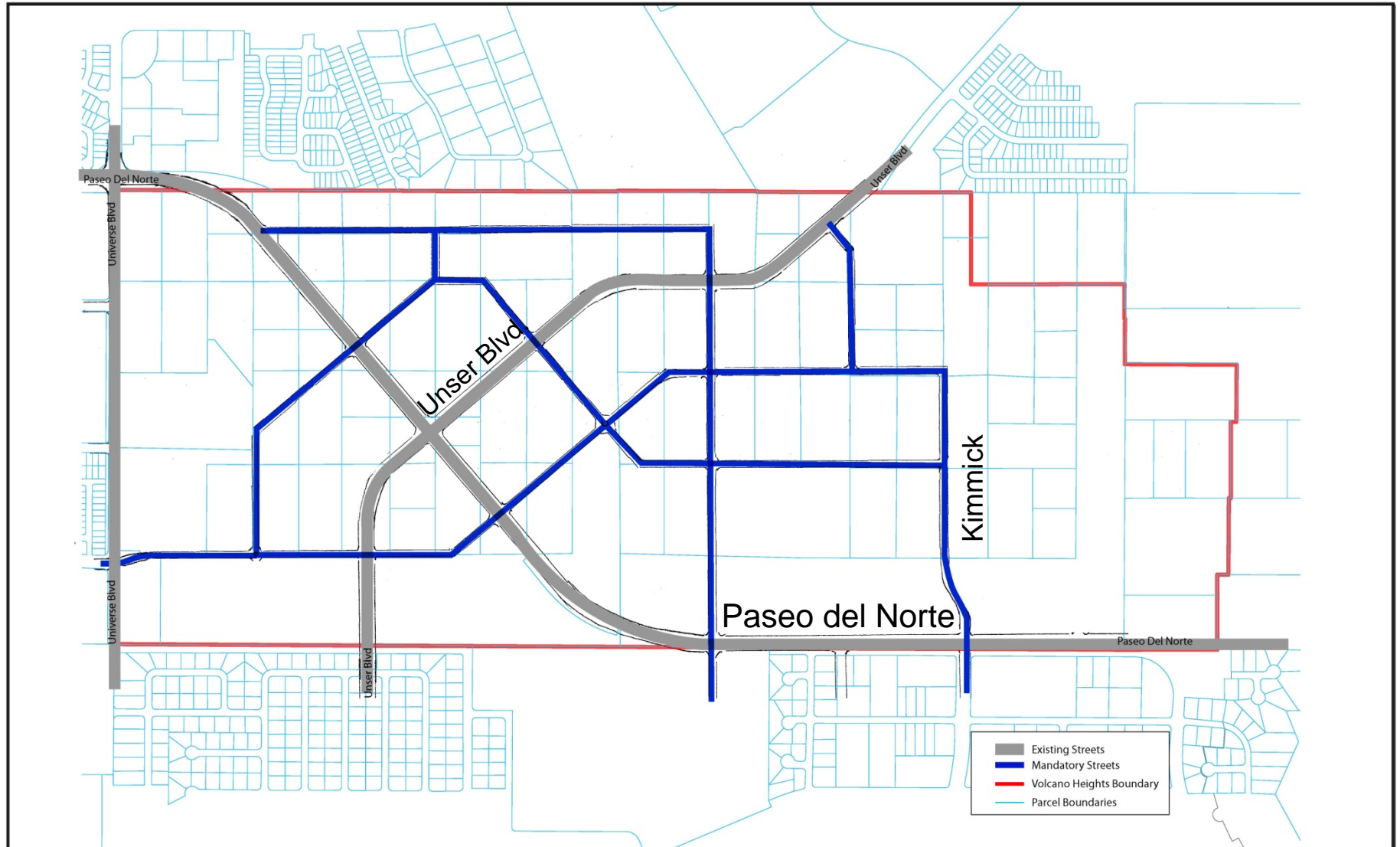


Gateway's Recommendations

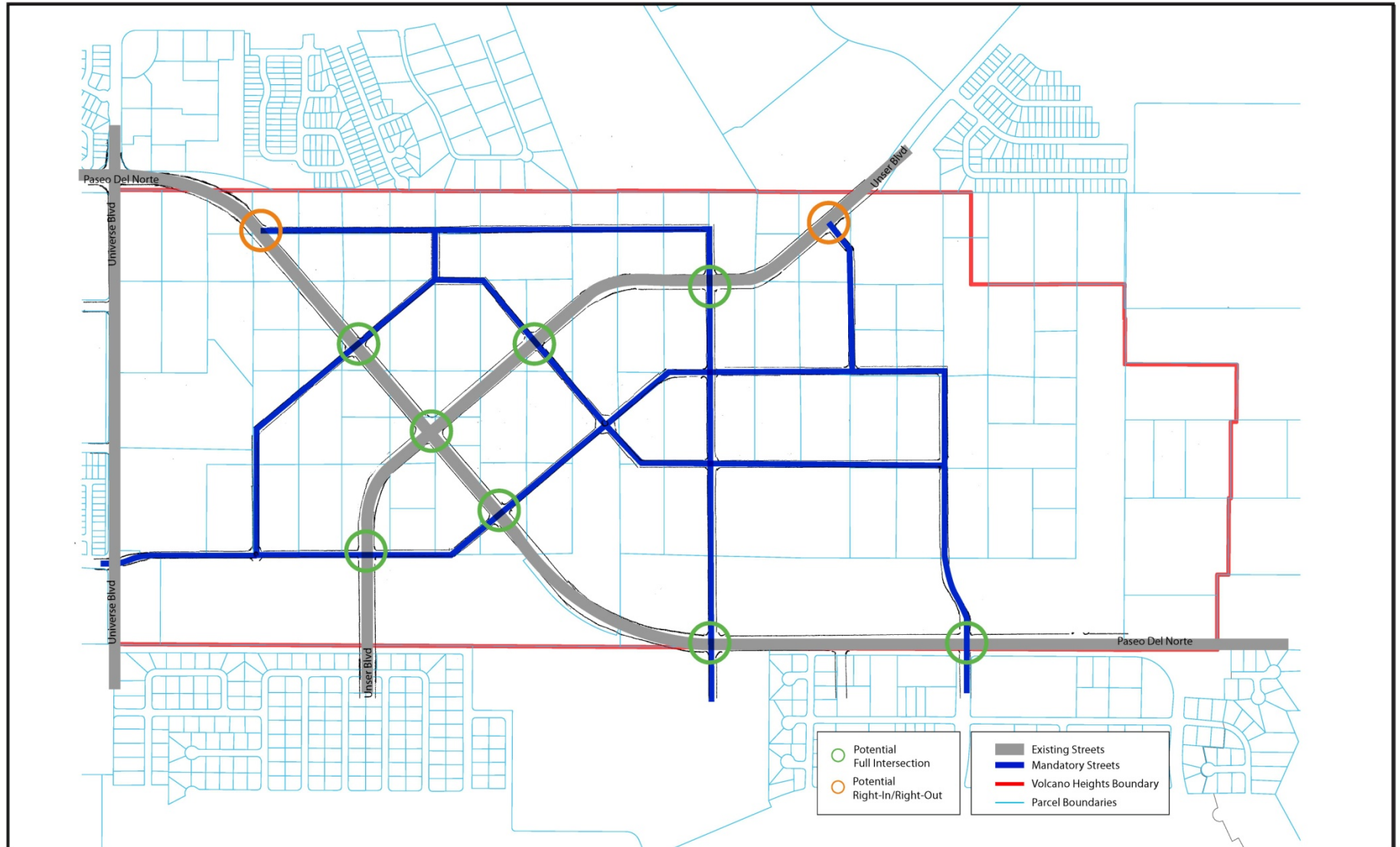
- **Street network hierarchy**
 - Mandatory street locations & design
 - Non-mandatory street criteria & design
- Zoning tied to streets
- Form-based Code tied to street character



Mandatory Streets

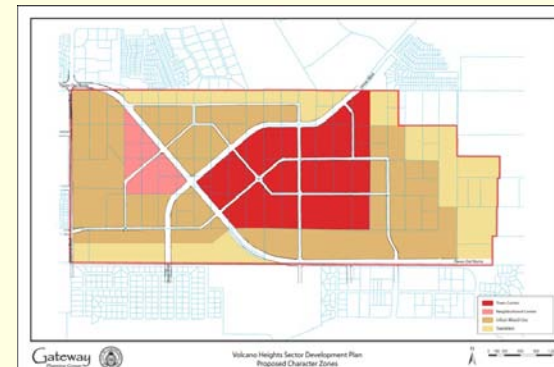


Proposed Intersections

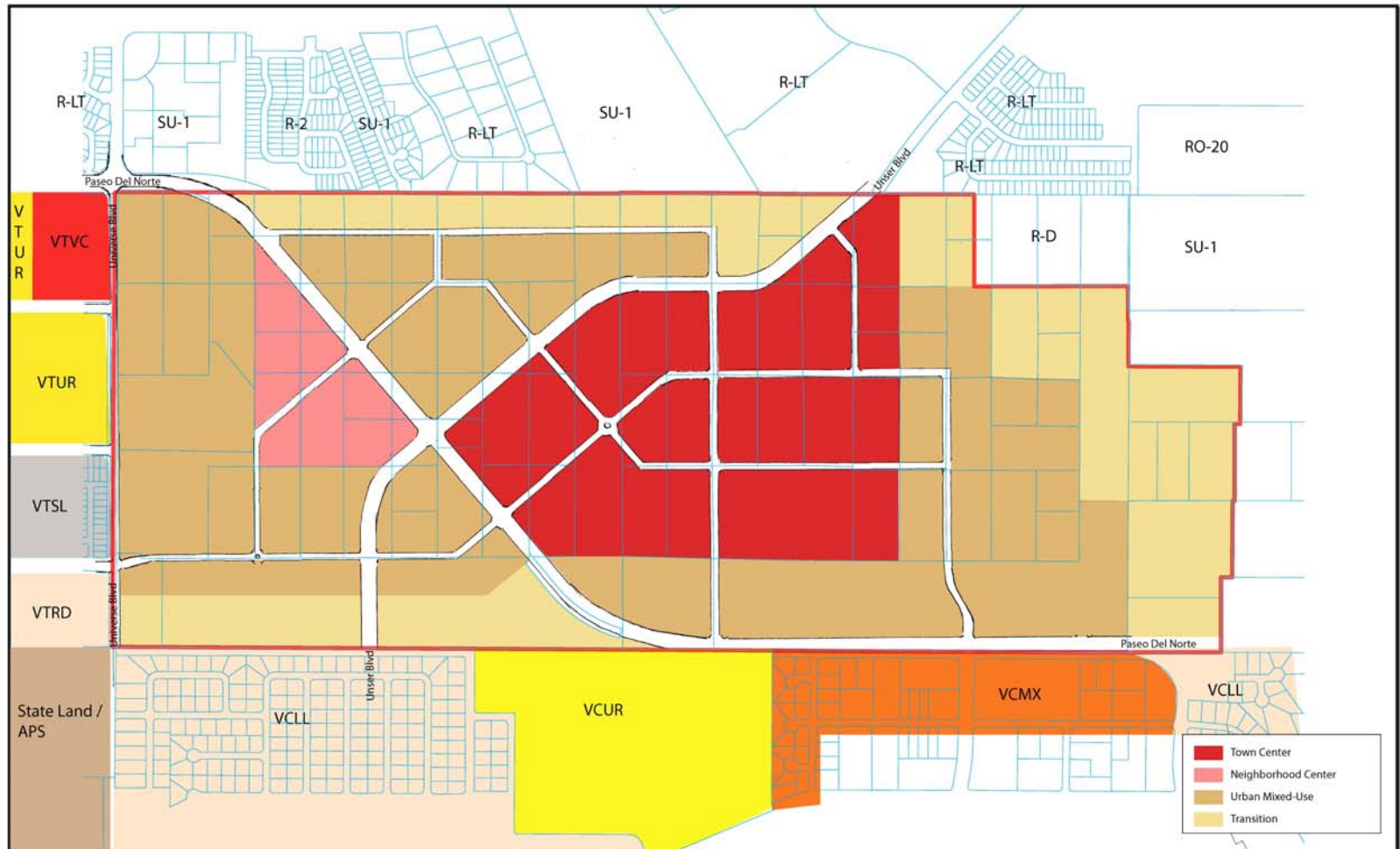


Gateway's Recommendations



- Street network hierarchy
- **Zoning tied to streets** (*Use/Density/Intensity*)
 - Smaller high-density/intensity core (gravity!)
 - Mixed-use (*vertical or horizontal*) everywhere
 - Performance criteria & incentives based on proximity to Transit Center and Paseo/Unser intersection
 - Character zones regulate permitted mix of uses
- Design Regulations tied to street character



Character Zones



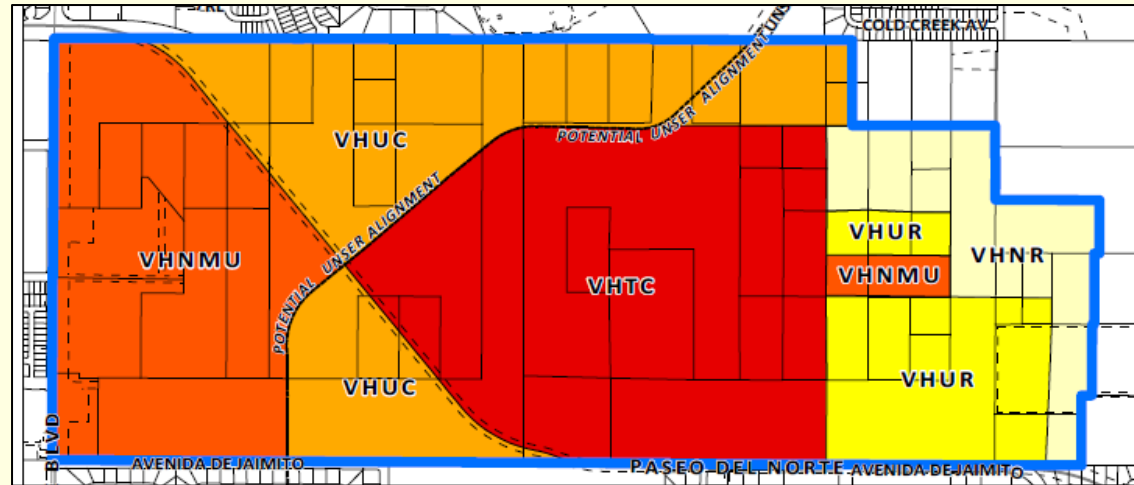
Character Zones

	Town Center
	Neighborhood Center
	Urban Mixed-Use
	Transition

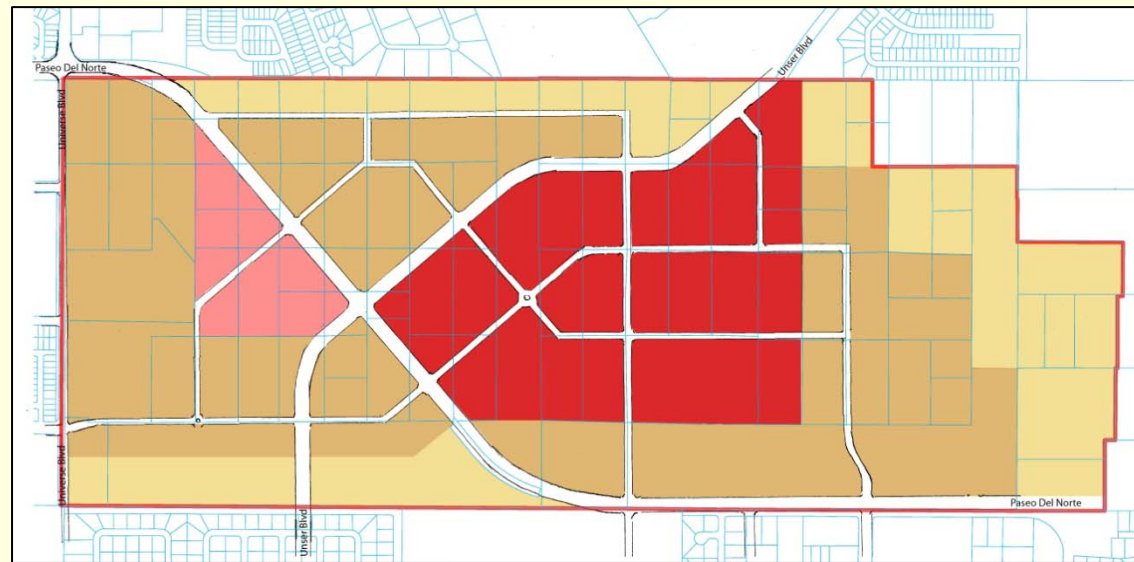
Zone	Description	Emphasis	Density/ Intensity	Examples
Town Center:	Major activity/ entertainment potential	Transit / Walkable Commercial	Highest	<i>Transit center, corporate headquarters, theaters, urban residential, restaurants, etc.</i>
Neighborhood Center:	Retail/services mostly devoted to everyday needs	Auto-oriented Commercial	High	<i>Full-size grocery, bank, junior anchors, auto-oriented uses, urban residential, etc.</i>
Urban Mixed Use:	A mix of residential and commercial uses, with heights and building forms similar to Town Center	Residential	Medium	<i>Townhouses, live-work units, apartments/condos over ground-floor professional services, corner retail stores</i>
Transition:	Lower-density residential, with heights <40 ft., with small stores allowed on corners.	Residential	Lowest	<i>Single-family, townhouse, live- work units</i>

Proposed Zoning Maps

Volcano Heights Zoning
Sector Development Plan
July 2010



Gateway Character Zones
May 2011



Volcano Heights Existing Zoning

Residential and Related Uses Zone, Developing Area (R-D)

■ Permissive Uses (Residential ONLY)

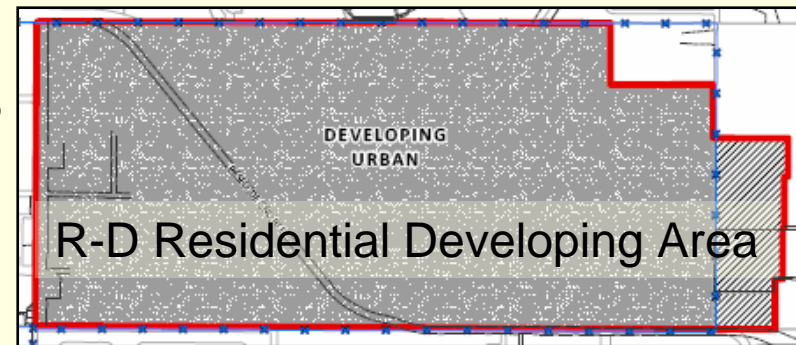
- R-1= 8 du/acre
- R-T = 15 du/acre

(with site plan and approval by Planning Director
OR Sector Development Plan approved by EPC)

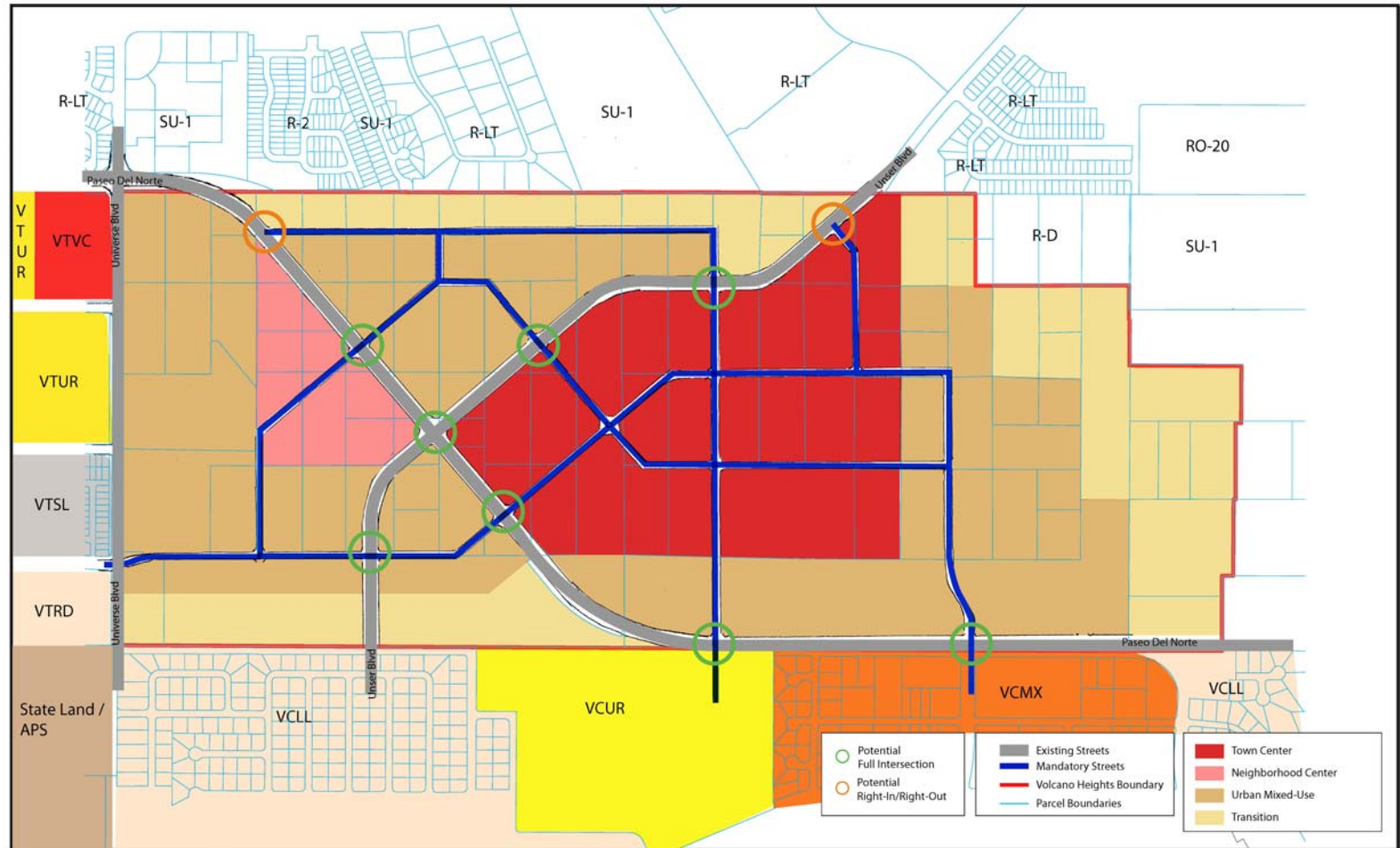
■ Conditional Uses

(with Site Plan approved by Planning Director AND
EPC-approved Sector Development Plan)

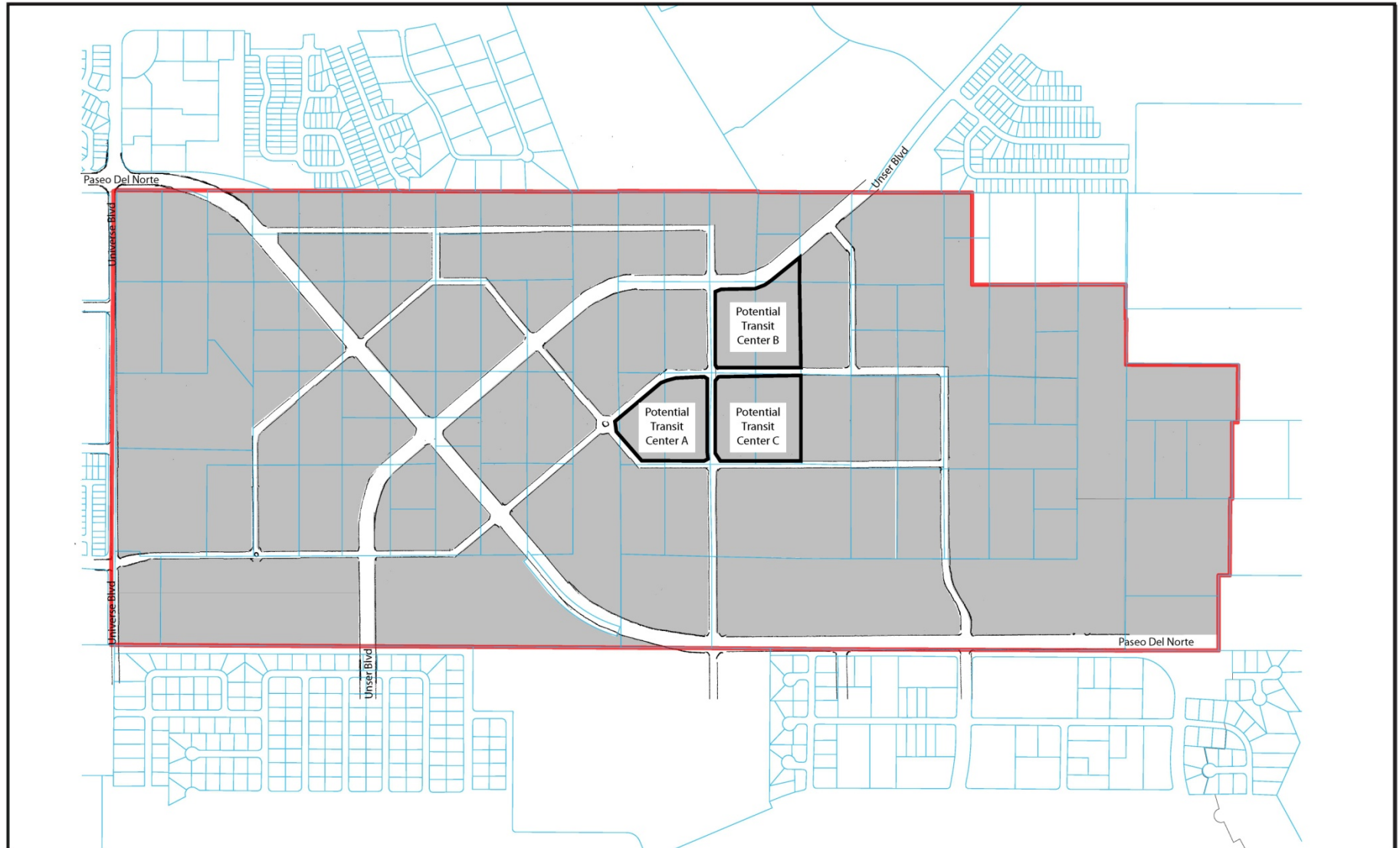
- R-3 up to 15% = 30 du/acre
- C-1 commercial uses up to 15%



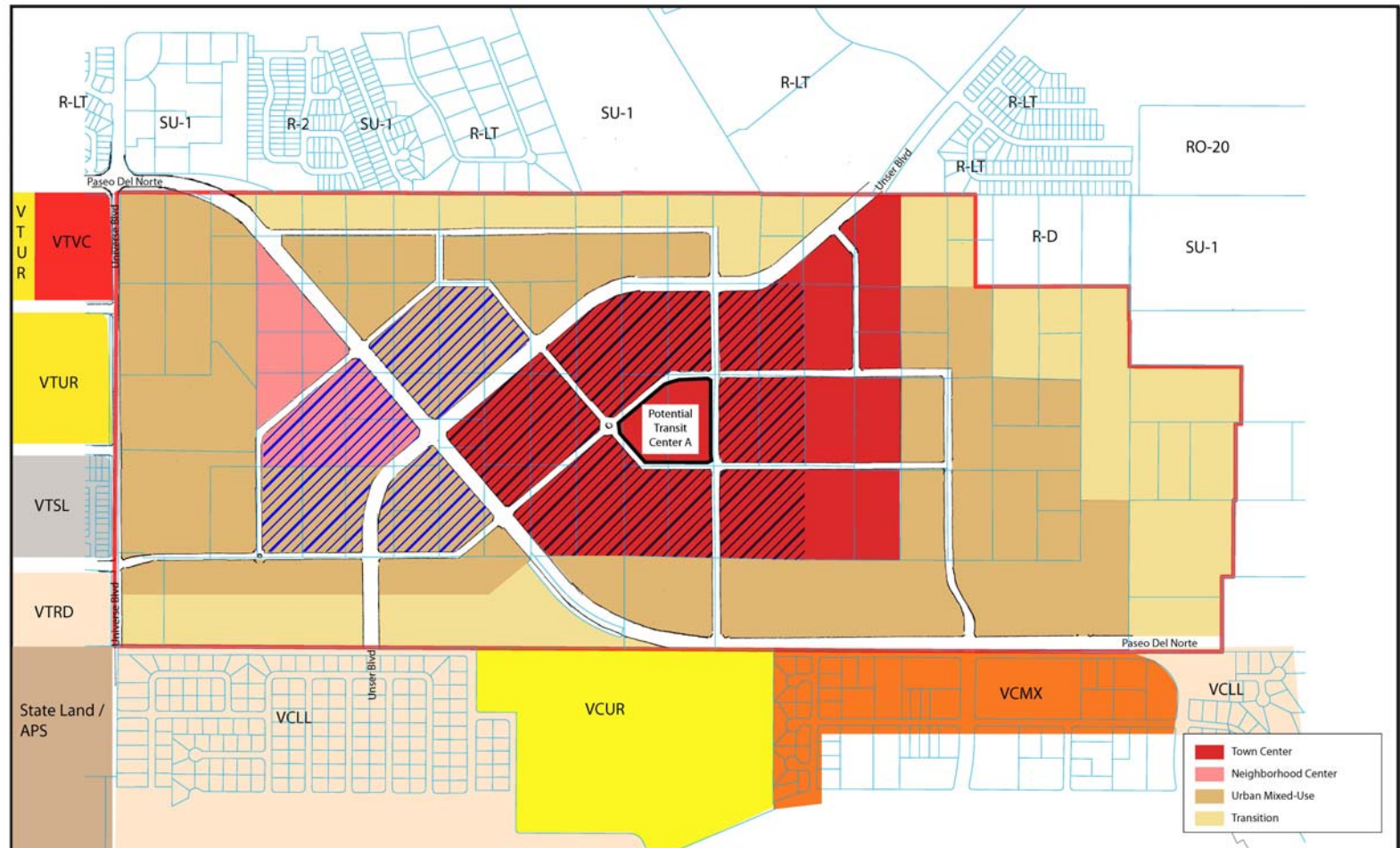
Character Zones & Street Network



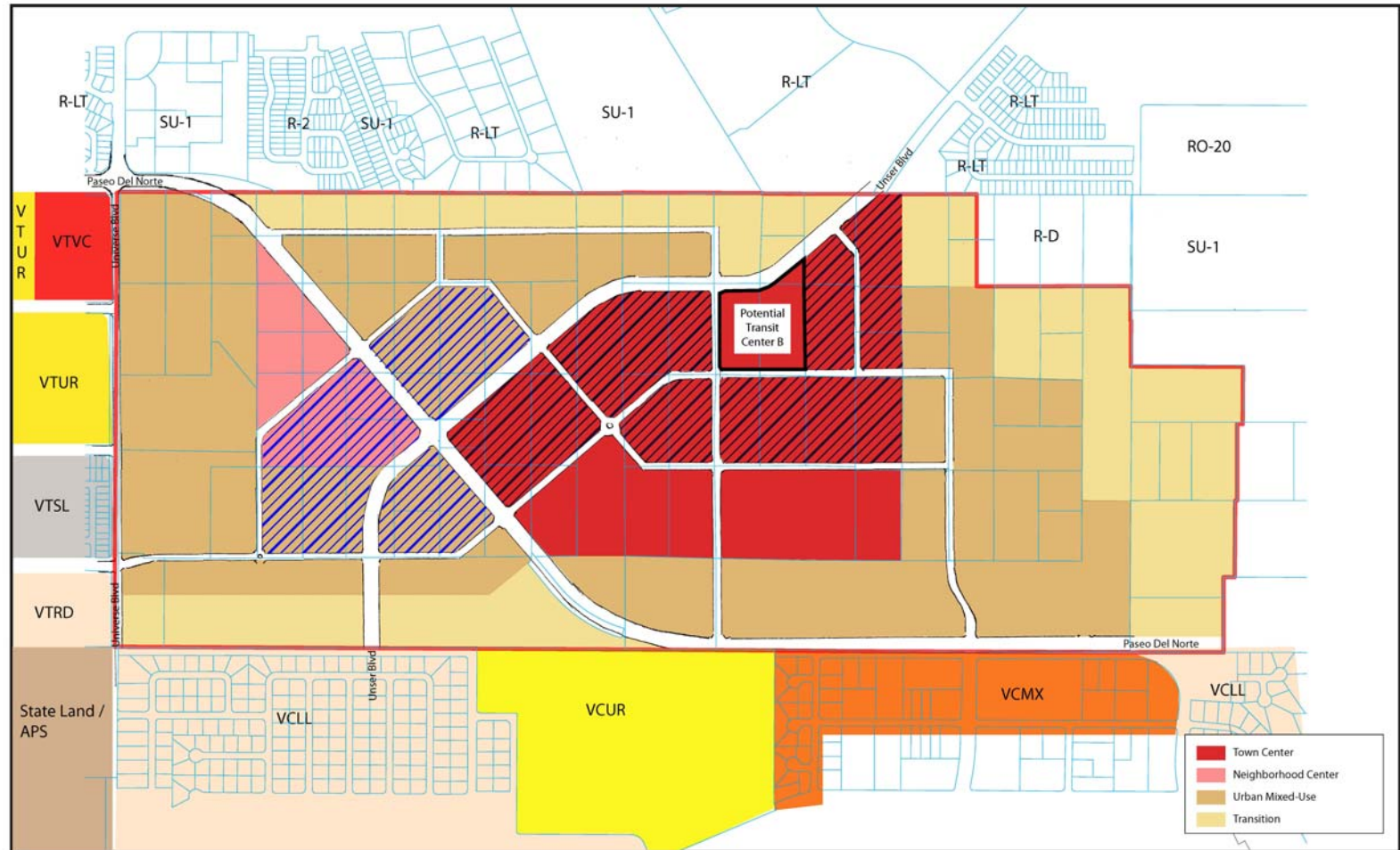
Potential Transit Center Locations



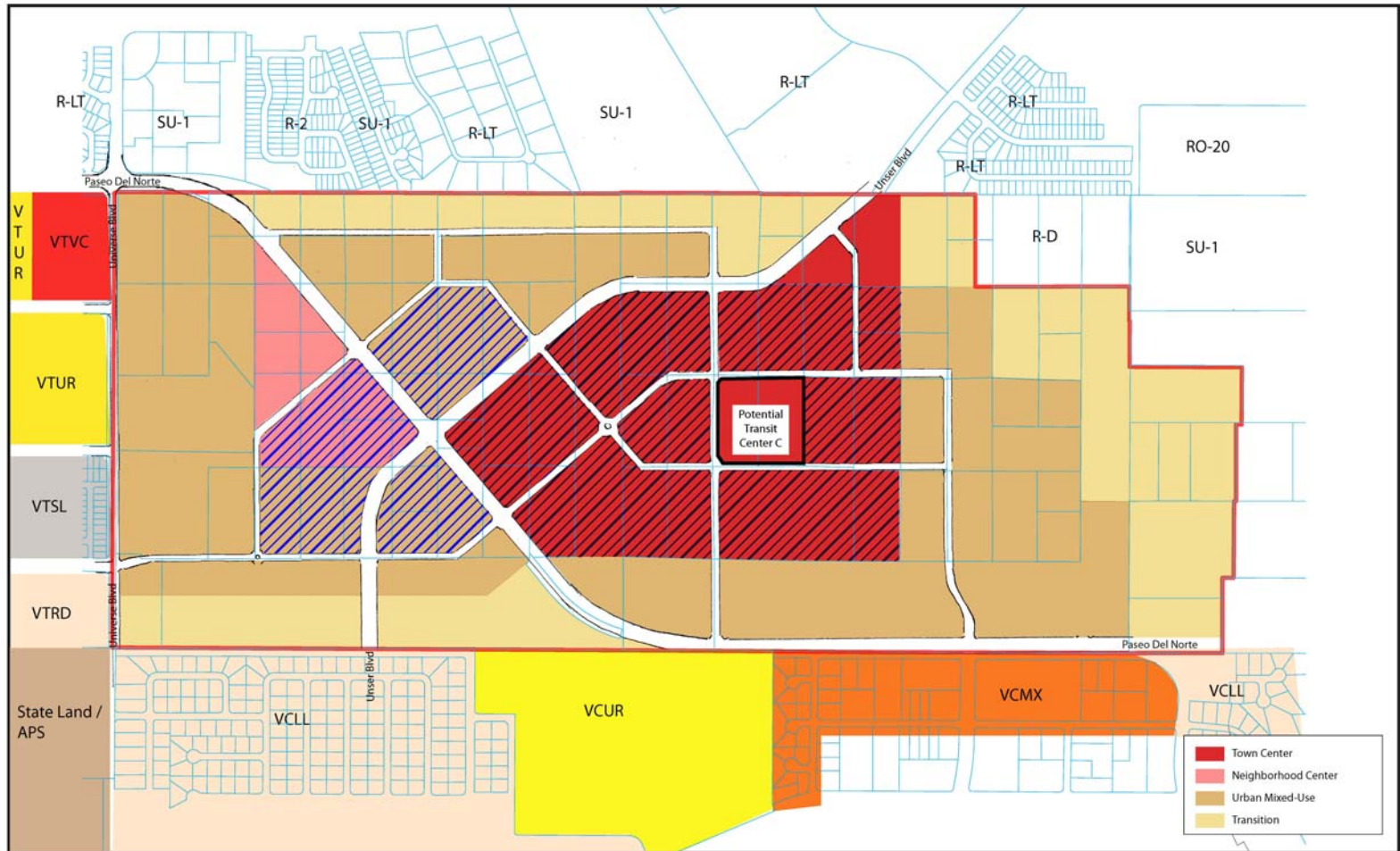
Transit Center Option A



Transit Center Option B



Transit Center Option C

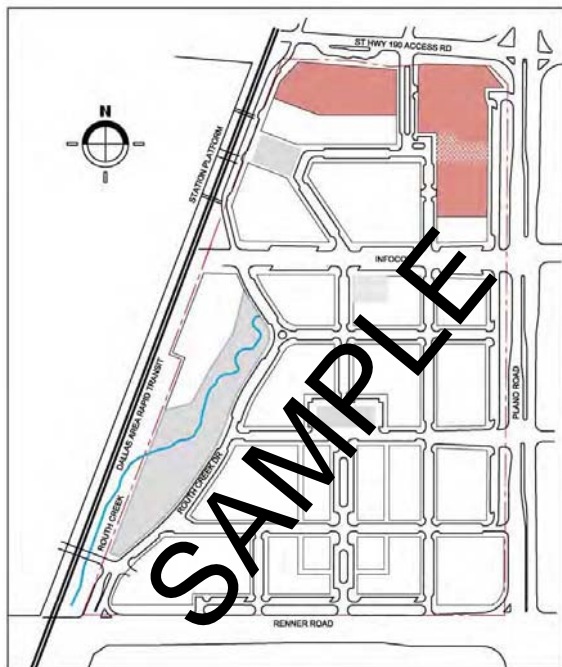


Gateway's Recommendations

- Street network hierarchy
- Zoning tied to streets (*Use/Density/Intensity*)
- **Form-Based Code tied to street character**
 - Adjacent street type regulates building form
 - Performance thresholds/incentives for bonuses

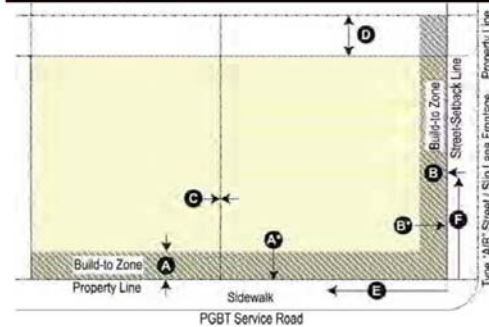
Form-Based Code

Bush Central Station Form-based Code By Gateway

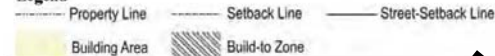


Highway Mixed Use Zone Location Map

7.4.1 Building Placement



Legend



Street-Setback Zone (SSL)

(Distance from center line of street cross section to edge of the BTZ)

TOD Avenue 44 feet

TOD Street Type B 31 feet

Slip Road Frontage 85 feet (measured from the R.O.W. of Plano Road)

Build-To Zone (BTZ)

(Distance from Property Line to edge of the BTZ)

Front (PGBT Service Road) None A

(Distance from SSL to edge of the BTZ)

Front (Type "A/B" Street and Slip Road Frontage) 0 - 10 feet (see #1) B

Setback

Front (PGBT Service Road - distance from property line or edge of utility easement) 5 feet (min.) A*

Front (Type "A/B" Street and Slip Road Frontage - distance from SSL) 0 feet (min.) - 10 feet (max) B*

Side (distance from property line) 0 feet (see #2) C

Rear (distance from property line) 0 feet D

Building Frontage

Building Frontage required along Type 'A' Street BTZ 90% (min.) (see #3 and #7)

Building Frontage required along PGBT Service Road 0% (min.) (see #3 and #7) E

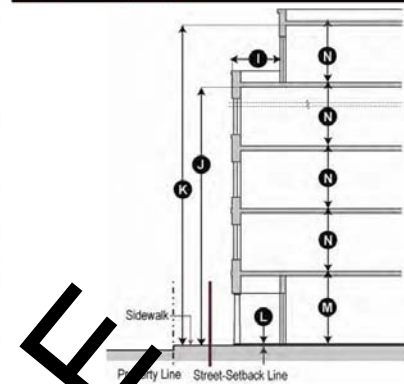
Building Frontage required along Type 'B' Street BTZ 0% (min.) (see #3 and #7) F

7.4.2 Block Standards

Block face dimensions 250 - 400 feet (maximum) (see #4)

Block perimeter 1400 feet (maximum) (see #4)

7.4.3 Building Height



Principal Building Standards

Building maximum	300 feet (see #8)	K
Building minimum	50 feet (along PGBT Service Road frontage only)	
First floor to floor height	15 feet min. (see #5)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floor Retail Ready buildings)	L
Upper floor(s) height (floor-to-ceiling)	10 feet min. (see #15)	N
Stepback height	Maximum 10 stories then stepback (see #13)	J
Stepback distance	10 feet min.	I

7.4.4 Commercial Frontage Requirements

Ground floors of all buildings fronting on President George Bush Turnpike (PGBT) service road and Plano Road shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

7.4.5 Special Frontage Requirements

Requirements Specific To Station Frontage

Ground floors of all buildings designated as Station Frontage on the Regulating Plan shall provide shaded areas to a minimum depth of 6 feet. Shaded devices may include arcades, galleries, awnings, canopies, etc.

Notes

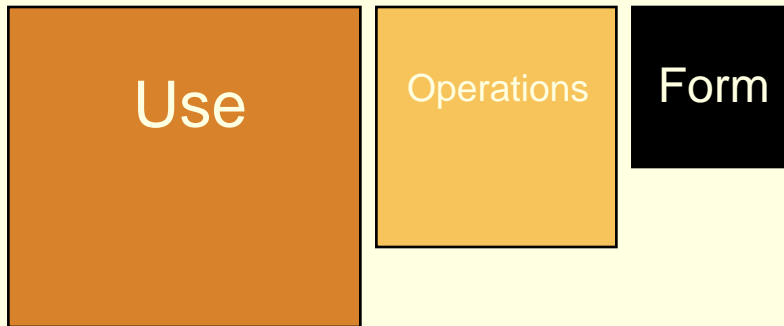
#1 - The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.

#2 - Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

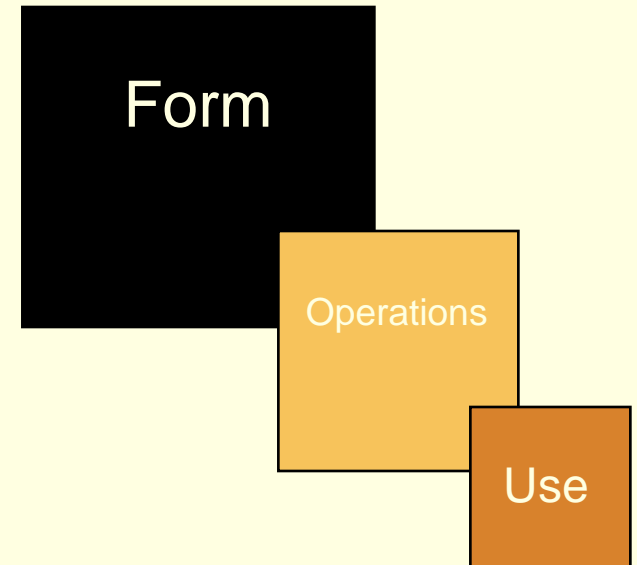
#3 - Corner building street facades shall be built to the BTZ for a minimum of 15 feet from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.

Conventional Zoning vs. Form-Based Codes

Conventional Zoning
(focus on use)



Form-Based Code
(focus on form and design)



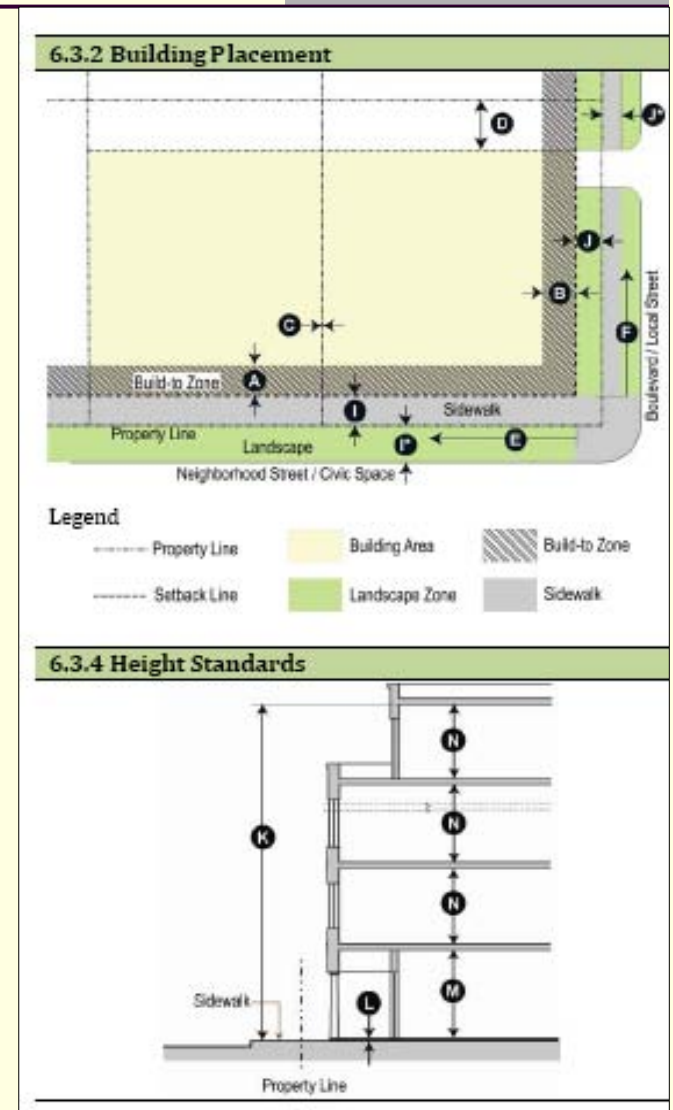
Why should a community want form-based codes?



- Promote **community ownership** of the public realm - “streets should be thought of as unified public spaces”
- Shows the development industry what the **community wants** – “the vision should be visual”
- Catalyzes or attracts certain **desirable changes**, rather than merely controlling permit-processing procedures
- Eases the disconnect between a **community’s vision** and its regulatory ordinances and procedures

Why should owners want form-based codes?

- Focus on **administrative** review – streamlined process
- **Less** subjective than design overlays
- Mix of uses **by right**
- Standards for the **public realm**
- Multiple-parcel, multiple-owner **friendly**
- Can cover a large geography through the use of **sub-districts**
- Uses **graphics** over words – demonstrates what development will look like



What will it take to get there?

- Coordination among property owners & stakeholders
 - Density/intensities
 - Heights & incentives/bonuses for density
 - Character zones location & sizes
 - Mandatory Street locations & cross-sections
 - Non-mandatory street criteria
- Revised zone map & zone code
- Revised design regulations
- Street Network Hierarchy
 - Traffic model/study
- Balance of density/intensity vs. protection of sensitive areas & existing neighborhoods
- Parks / OS / rock outcroppings dedications/solutions

How will we know when we get there?

Predictability & Fairness:	<ul style="list-style-type: none">- Property owners know criteria for development (certified sites).- Residents know what to expect.
Balance & Compromise:	Plan balances new development entitlements and protections for sensitive lands and existing development.
Market Feasibility:	Zones & code match market potential/preferences.
Plan Feasibility:	Plan & Code are enforceable & implementable over short- and long-term.
Coordination:	Incentives AND regulations are strong enough to ensure coordinated development across properties and time.
Placemaking:	The Plan encourages incremental steps toward building a sustainable, lively place with multiple modes of viable transportation.
Job Centers:	<ul style="list-style-type: none">- The Plan encourages amenities/desired retail/job centers.- Prospective employers, employees, & existing residents want to be here.
WSSP Major Activity Center:	Plan matches West Side Strategic Plan policies for Major Activity Center.

Options for Moving Forward

Withdraw the Plan	Property owners can develop R-D or pay for a Sector Development Plan to do more than 15% commercial (C-1) or R-T.
Defer the Plan	City Staff will work with Gateway and stakeholder group to revise plan according to Gateway's street-zoning strategy.
Continue with 2010 Draft Plan	Continue the adoption process with the current plan.
Other?	

Agenda

- Presentation: *Gateway findings & recommendations*
- **Questions/Discussion**: *Comments & questions about presentation and planning process*
- Your Advice/guidance:
 - Station materials content
 - Options for planning process (EPC July 7)

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End of VHSDP Presentation

