



**Environmental  
Planning  
Commission**

**Agenda Number: 07  
Project Number: 1008444  
Case #: 13EPC-40162  
February 13, 2014**

**Staff Report**

<b>Agent</b>	COA, Planning Department
<b>Applicant</b>	City of Albuquerque
<b>Request(s)</b>	Recommend Approval of Text Amendments to the Volcano Cliffs Sector Development Plan (SDP)
<b>Legal Description</b>	See attached map
<b>Size</b>	Approximately 2,327 acres
<b>Current Zoning</b>	As identified in the Plan
<b>Proposed Zoning</b>	No change

**Staff Recommendation**

*Recommendation of APPROVAL of 13EPC-40162 be forwarded to the City Council, based on the Findings beginning on Page 19 and subject to the Conditions beginning on Page 21.*

**Staff Planner**  
*Mikaela Renz-Whitmore, Planner*

**Summary of Analysis**

The Planning Department requests an Environmental Planning Commission (EPC) recommendation to City Council to approve text amendments to the Volcano Cliffs Sector Development Plan (SDP).

The three Volcano SDPs address the same unique site context related to the Petroglyph National Monument and are addressed together in the Rank 2 West Side Strategic Plan Volcano Mesa amendment, adopted in 2011. Volcano Cliffs SDP was the first of the three SDPs to be adopted, in May 2011. Some of its regulations were refined in the Volcano Trails and Volcano Heights SDPs (adopted August 2011 and August 2013 respectively), and other regulations were added during subsequent efforts for the other two plans.

The requested text amendments would adopt these refinements and revisions in Volcano Cliffs, providing consistency across the three plans where intended, simplifying the application of regulations, and strengthening enforcement efforts.



City Departments and other interested agencies reviewed this application from 12/30/2013 to 01/10/2014. Agency comments used in the preparation of this report begin on Page 22.

## **I. INTRODUCTION**

### ***Request***

The City of Albuquerque Planning Department requests amendments to the Volcano Cliffs Sector Development Plan (VCSDP) to reflect updates made to similar regulations in the Volcano Trails and Volcano Heights Sector Development Plans. No zone changes for individual properties are involved; rather, standards and regulations would affect all properties within a particular zone in the case of updates to zone categories and to all properties within the Plan area in the case of updates to general standards and regulations.

The proposed changes include:

- 1) Updating transportation standards to be consistent with Volcano Heights SDP, including access modifications affecting the road network.
- 2) Revising zoning standards regarding fences to address inadvertent errors and provide clarity.
- 3) Revising zoning standards regarding density to be consistent with the Volcano Trails SDP.
- 4) Adding a setback from petroglyphs to General Standards to be consistent with the Volcano Trails SDP.
- 5) Revising General Standards regarding utilities and residential garages to be consistent with the Volcano Heights SDP.
- 6) Revising the plant list to be consistent with the Volcano Heights SDP.
- 7) Adding a definition to General Regulations for significant rock outcroppings, which are called out in the calculation of density and defined in the Volcano Trails SDP.
- 8) Revising General Regulations regarding color restrictions, plant lists, and grading to be consistent with Volcano Heights SDP.

### ***Purpose/Intent***

This request is a Planning Department-led initiative to fix original errors in the document and update regulations, standards, graphics, and maps to be consistent with subsequent revisions made in the Volcano Trails and Volcano Heights SDP, adopted in August 2011 and August 2013, respectively. These amendments are intended to adopt improvements made in subsequent planning efforts to regulations first adopted in Volcano Cliffs SDP as well as to provide consistency where intended across the three Volcano SDPs, which simplifies development conditions and helps the Planning Department to successfully enforce all three plans.

### ***Environmental Planning Commission (EPC) Role***

The EPC's role in this case is quasi-judicial, as amendments will affect zoning regulations for all properties. The EPC is a recommending body for text amendments to Sector Development Plans, which are officially adopted by the City Council.

## II. PROPOSED TEXT AMENDMENTS

Note: Please see redline version of the proposed Plan draft amendments in Attachment A. Staff analysis is provided in ***bold italics***.

### Transportation Standards:

- 1) Throughout: Replace “Transportation Regulations” with “Transportation Standards.”
  - ***This universal change addresses a legal concern raised during the Volcano Heights SDP process concerning the relationship of sector plans to the Subdivision Ordinance. Standards regarding streets and streetscape are more appropriately addressed in a planning section, to be enforced by the Development Review Board as relevant when projects involving transportation infrastructure arise.***
- 2) On page 28: Add a provision allowing knuckles/bubble culs-de-sac per the standards in the Volcano Heights SDP (Section 10.7.1 on page 187).
  - ***This change allows additional flexibility when subdividing or replatting large areas, without undermining the original intent to create highly connected, walkable neighborhoods. Both the knuckle and bubble culs-de-sac allow limited lots on land that otherwise might not be developable, and both forms are still highly serviceable by Solid Waste and other services, as well as providing a wider variety of development patterns to cater to additional market segments.***
- 3) On page 29: Update road network map with Primary Streets and intersections as adopted in the Volcano Heights SDP.
  - ***Following the original intent of the Volcano plans, this change provides a consistent road network for Volcano Mesa, incorporating streets in the Volcano Heights SDP as well as updates made to access points on the limited-access Paseo del Norte and Unser Boulevard through the Metropolitan Planning Organization.***
- 4) On page 30: Delete Standard 2 and renumber subsequent sections entirely.
  - ***This standard recommends updating access within Volcano Mesa, which was subsequently completed as part of the Volcano Heights SDP process. As such, it is no longer needed.***
- 5) On page 36: Update Exhibit 6 to reflect Primary Streets and cross sections as adopted in the Volcano Heights SDP.
  - ***As originally intended at the start of the process to create the three Volcano plans, this change updates the cross sections to incorporate subsequent analysis and revisions made during the Volcano Heights SDP process. The proposed***

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*changes have been coordinated with current planning efforts in SAD 228, which is actively pursuing several road projects.*

- 6) On pages 34-38: Revise cross sections to match numbering and dimensions as adopted in the Volcano Heights SDP.
  - *As stated above, this change updates the set of cross sections to be consistent within Volcano Mesa to reflect subsequent analysis and revisions made during the Volcano Heights SDP process. The proposed changes have been coordinated with current planning efforts in SAD 228, which is actively pursuing several road projects.*
- 7) On page 39, Standard 7.b: Replace references to “net acre” with “gross acre.” Add language to explain the intent of eliminating on-street parking at lower development densities and clarify how the Local Street cross section is to be adjusted accordingly.
  - *This standard applies to areas where roads are not yet platted. Changing the standard to “gross” vs. “net” is intended to simplify the calculation of density, which determines the desired character of the associated roadway: on-street parking on both sides of the roadway in higher-density areas where more pedestrians would benefit from the traffic calming effect and no on-street parking in lower-density areas, where narrower streets would be more effective to ensure pedestrian-friendly roadways.*

Zoning Standards:

- 1) On pages 50 and 52, VCVC and VCMX: Add the following sentence under the heading Development Densities: “Both FAR and dwelling unit (du)/acre need to be addressed in a mixed-use development.” Revise remainder of section to be consistent with VTSDP pg. 26. Add the FAR calculation per VTSDP pg. 40.
  - *This change clarifies that mixed-use projects must meet requirements for both Floor Area Ratio pertaining to non-residential development and dwelling unit densities pertaining to residential development.*
- 2) On pages 50, 52, 55, 57, and 59 (VCVC, VCMX, VCUR, VCLL, and VCRR): Add the following as the final sentence in Development Densities, to be consistent with VTSDP language: “Undevelopable land shall be defined as land that is not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings, as defined in Chapter 5 – General Regulations A. Definitions.”
  - *This change provides further clarification of how to define undevelopable land to calculate densities.*
- 3) On page 58, VCLL: Revise Section Walls and Fences 2 to read as follows: “Walls and fences shall be in colors consistent with the approved colors in Chapter 5 General Regulation B.”

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- 4) On page 58 and 61, VCLL and VCRR: Revise Section Walls and Fences 3. as follows: “On the perimeter of any conservation area or Major Public Open Space boundary, only post and wire or view fencing shall be used.”
    - *This change removes an erroneous mention of Rural Residential in the VCLL zone and provides further clarification that fencing is not required, but where fencing is used on the perimeter of a conservation area or Major Public Open Space, only post and wire or view fencing may be used.*
  - 5) On page 61, VCRR: Revise Section Walls and Fences 2 to read as follows: “Only split rail, rail and post, or view fencing in colors consistent with the approved colors in Chapter 5 General Regulation B shall be used for corrals or yards, or portions thereof, not sharing a boundary with any conservation area or Major Public Open Space boundary.”
    - *This change clarifies that fencing your property is not required, but when owners opt to fence portions of their property, these are the only material options that may be used.*

General Standards:

- 1) On page 66: Revise header and first sentence of Section A. GENERAL DESIGN STANDARDS Heights and Setbacks 1. as follows: “**Height Restrictions near the Escarpment Face.** For areas designated Impact in the NWMEP and/or within 200 feet of the Escarpment face, structure height shall not exceed 15 feet.”
  - *This change provides clarification that height limits exist for properties in the Impact Area as well as within 200 feet of the Escarpment face. As written, the heading and the text seemed to contradict each other.*
- 2) On page 66: In Section A. GENERAL DESIGN STANDARDS Heights and Setbacks, add as a new 3. Setbacks from Petroglyphs with language from VTSDP page 41 regarding petroglyph setbacks.
  - *This change adds protections for any petroglyphs in Volcano Trails and adds references to the relevant existing archaeological ordinance in the City Zoning Code Section 14-16-3-20.*
- 3) On page 69: Update Utilities language for consistency with VHSDP.
  - *This change adopts refinements made during the Volcano Trails and Volcano Heights planning efforts through coordination with PNM. The map of existing electric facilities was also updated to reflect projects completed after VCSDP’s adoption in 2011. [NOTE: See also agency comments from PNM for more proposed changes to utility language to be consistent with VHSDP.]*
- 4) On page 70: Replace Exhibit 10 with updated graphic from PNM in VHSDP (Appendix A-39).

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- *The map of existing electric facilities in was updated to reflect projects completed after VCSDP's adoption in 2011.*
- 5) On pages 71-72: Replace Section 5. Residential Garages in its entirety with language, table, and graphics from Section 7.7 in VHSDP (pages 127-128).
- *Residential garage text and diagrams were revised for Volcano Trails and further revised in Volcano Heights, partly in response to comments received by developers in Volcano Cliffs and Volcano Trails. The revisions are largely to clarify intent and measurements, as well as reworking graphics to be more understandable as illustrative diagrams (not to scale).*
- 6) On page 78: Revise Section C LANDSCAPE DESIGN STANDARDS 9 Appropriate Planting Lists to be compatible with updated Plant Lists via VHSDP (pgs. 153-156).
- *The Native and Xeric plant lists were thoroughly revised and consolidated into one list by the City Parks and Recreation Department and Open Space Division, removing plants no longer available commercially and no longer desired in this area, as well as reorganizing the lists by planting type to be more user-friendly.*
- 7) On page 84: Add definition for “Significant Rock Outcropping” per VTSDP pg. 41.
- *The revision to density calculations noted above calls out significant rock outcroppings as an example of undevelopable land that can be removed from the gross acreage before calculating net density. This change would define significant rock outcroppings per the agreed-upon definition included in the VTSDP, as negotiated with the City Open Space Division.*

General Regulations:

- 1) On page 86: Delete “In any residential area” to extend color restrictions to all buildings in Volcano Cliffs. Add a limit of 20% of the façade area for accent colors per VHSDP Section 7.5.2 (pg. 126).
- *When adopted in 1989, the Northwest Mesa Escarpment Plan (NWMEP) set regulations about color restrictions in the area that now covers all three Volcano plans. According to the National Park Service and City Open Space Division, it was their intent to restrict color on residential buildings, including walls and roofs, although the final regulations only pertain to roof color. Further, when it was developed, the NWMEP envisioned primarily residential development in this area, as the zoning was predominantly for single-family uses at that time. Now that the Volcano plans have diversified zoning to include nodes of non-residential and mixed-use activity, the restrictions on color are proposed to be extended to these types of development in order to ensure that the original intent of the NWMEP – that development be visually compatible with the natural environment – is still met. The color restrictions are intended to preserve views into and from the nearby Petroglyph National Monument and*

*City Major Open Space, as well as to the area from east of the Rio Grande, by minimizing the visual impact of development.*

- 2) On pages 87-91: Replace Plant Lists with revised list from VHSDP(starting on page 154).
  - *As noted above, the plant list was analyzed and substantially revised by City Parks and Recreation and Open Space Division for the Volcano Heights SDP. The resulting list is organized by planting type (tree, bush/shrub, and grasses) to be more user-friendly, and removes plants no longer available at local nurseries as well as invasive species surveyed within the Petroglyph National Monument.*
  
- 3) On page 92: Revise grading permit language as follows to add residential and mixed-use developments to the restriction on pre-mature grading that minimizes fugitive dust: “Grading permits shall only be issued concurrently with building permits for all non-residential and mixed-use developments, as well as residential developments over two lots.” Delete “residential” from the language requiring soil stabilization for development projects greater than 10 acres to apply for any development type.
  - *This change would extend the restriction on grading permits to be issued concurrently with building permits for non-residential projects to residential and mixed-use developments. The change is partly in response to recent spikes in fugitive dust complaints in the area as well as to a specific request from local residents. Fugitive dust covers petroglyphs in the National Petroglyph Monument, and the recent drought has provided conditions that combine to create muddy runoff during intense precipitation events, which caused significant property damage in at least one storm in the summer of 2013. Restricting the issuing of grading permits is intended to limit the time that graded areas are left exposed and undeveloped. Exclusively residential developments involving two or fewer lots would be exempt in order to avoid an undue burden on individual property owners and/or small developers.*

### **III. Background and History**

In 2004, the Albuquerque City Council initiated a planning process for the Volcano Cliffs area of the city, which consists of approximately 1,700 small, largely undeveloped lots in a subdivision that was platted in the 1960s and annexed by the City in 1981. Located along the volcanic escarpment of the city’s Northwest Mesa, Volcano Cliffs is an area of unique features and special characteristics and conditions worthy of preservation and protection.

In the following years, the City studied and developed plans for Volcano Cliffs as part of a larger area referred to as “Volcano Heights” (now known as Volcano Mesa – a community planning area that includes the Volcano Cliffs, Volcano Trails, and Volcano Heights SDP areas). While the original Volcano Heights SDP was adopted by the City Council in 2006, the plan did not have the

support of the Volcano Cliffs Property Owners Association, which challenged the plan in court, and the plan was remanded to the City in 2008/9.

Early in 2010, at the direction of City Councilor Dan Lewis and then-Planning Director Deborah Stover, the Planning Department and City Council staff began work on three sector development plans (Volcano Cliffs, Volcano Trails, and Volcano Heights SDPs) and an accompanying policy amendment to the Rank II West Side Strategic Plan (WSSP).

The WSSP Volcano Mesa amendment was adopted in February 2011. Volcano Cliffs SDP was adopted next in May 2011 with widespread support. Volcano Trails SDP contained many of the same regulations, which were further analyzed and refined prior to its adoption in August 2011. Volcano Heights SDP, which also started with many of the same regulations in its initial 2010 draft, was significantly revised by a new consultant starting in 2011.

Because Volcano Heights surrounds the intersection of the limited-access Paseo del Norte and Unser Boulevard – two vital regional arterials – it was expected that the transportation network originally proposed for Volcano Mesa in the WSSP amendment would need to be revised subsequent to further analysis and planning efforts for the Volcano Heights SDP. As part of those efforts, the City requested and received access modifications to allow additional intersections within the Volcano Mesa area, many to provide the high level of access and connectivity to support the Major Activity Center proposed in Volcano Heights. In addition, the cross sections first developed in conjunction with the WSSP Volcano Mesa amendment were analyzed, refined, and included in a traffic study for the Volcano Heights area. These revisions need to be incorporated and adopted into the WSSP Volcano Mesa amendment and the Volcano Cliffs SDP.

***Context***

The Volcano Mesa community covers approximately 3,532 acres, and includes the Volcano Cliffs, Volcano Trails, and Volcano Heights sector development plan areas. Volcano Mesa is surrounded on three sides by more than 7,000 acres of open space under City, state, and federal jurisdictions, including the Petroglyph National Monument, set aside by the U.S. Congress in 1990. The area's cultural, natural and built conditions were used to inform the planning process and to guide the development of policies that are sensitive and responsive to the area's unique needs, challenges and opportunities.

The Volcano Cliffs SDP covers 2,327 acres of land and contains goals and policies related to transportation, the environment and open space, and land use and urban design. The Plan adopts zoning, transportation standards, general standards, and general regulations to guide future development within the area. The policies and regulations in the plan were developed to reflect the vision and guiding principles in the plan, as well as implementing the policies of the Volcano Mesa amendment to the Rank II WSSP.

***Surrounding zoning, plan designations, and land uses:***

	<b><i>Zoning</i></b>	<b><i>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</i></b>	<b><i>Land Use</i></b>
<b><i>Site</i></b>	SU-2/VCVC SU-2/VCUR SU-2/VCMX SU-2/VCLL SU-2/VCRR	Developing Urban, Established Urban, Reserve  West Side Strategic Plan (WSSP)  Northwest Mesa Escarpment Plan (NWMEP)	Park, school site, single family residential, vacant
<b><i>North</i></b>	SU-2/VHTC, SU-2/VHRC, SU-2/VHVC, SU-2/VHMX, SU-2/VHET, SU-2/VHNT  SU-2/VTVC, SU-2/VTUR, SU-2/VTSL ,SU-2/VTRD	Developing Urban WSSP NWMEP Volcano Heights SDP Volcano Trails SDP	Vacant, single family
<b><i>South</i></b>	A1 County R1, RD, RO-20	Developing Urban, Established Urban, Reserve, WSSP, NWMEP	Petroglyph National Monument, single family, vacant
<b><i>East</i></b>	R1	Established Urban, WSSP, NWMEP	Petroglyph National Monument
<b><i>West</i></b>	RO-20, A1 County	Reserve, WSSP, NWMEP	Petroglyph National Monument

***Transportation System***

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The LRRS designates Unser and Paseo del Norte as a Limited-Access Principal Arterials, with rights-of-way of 156 feet.

The Long Range Roadway System designates Universe as a Minor Arterial, with a right-of-way of 86 feet.

The Long Range Roadway System designates Rainbow as a Principal Arterial, with a right-of-way of 124' (Established & Developing Urban) or 156' (elsewhere).

***Comprehensive Plan Corridor Designation***

The Albuquerque/Bernalillo Comprehensive Plan designates Paseo del Norte and Unser Boulevard as Proposed Express Corridors.

***Trails/Bikeways***

A bike trail and or lane are proposed for Paseo del Norte and Unser. A bike trail is shown on Gila Road on the MRCOG Long Range Bikeway map.

***Transit***

The MRCOG High Capacity Transit map shows Paseo del Norte and Unser as Potential High Capacity Transit Corridors.

***IV. ANALYSIS OF APPLICABLE ORDINANCES, PLANS, AND POLICIES***

Note: Policy citations are in regular text; staff analysis is in ***Bold Italics***.

***Charter of the City of Albuquerque***

The Citizens of Albuquerque adopted the City Charter in 1971. Applicable articles include:  
Article I, Incorporation and Powers

“The municipal corporation now existing and known as the City of Albuquerque shall remain and continue to be a body corporate and may exercise all legislative powers and perform all functions not expressly denied by general law or charter. Unless otherwise provided in this Charter, the power of the city to legislate is permissive and not mandatory. If the city does not legislate, it may nevertheless act in the manner provided by law. *The purpose of this Charter is to provide for maximum local self government.* A liberal construction shall be given to the powers granted by this Charter.” (emphasis added)

Article IX, Environmental Protection

“The Council (City Commission) in the interest of the public in general shall protect and preserve environmental features such as water, air and other natural endowments, ensure the proper use and development of land, and promote and maintain an aesthetic and humane urban environment. To affect these ends the Council shall take whatever action is necessary and shall enact ordinances and shall establish appropriate Commissions, Boards or Committees with jurisdiction, authority and staff sufficient to effectively administer city policy in this area.”

***Clarification of a sector development plan is an exercise in local self-government and falls within the City’s powers (City Charter, Article I). The text amendments of the VCSDP “ensure the proper use and development of land, and promote and maintain an aesthetic and humane urban environment.” (City Charter, Article IX).***

*Staff finds that the request is consistent with the City Charter.*

### ***Albuquerque Comprehensive Zoning Code***

Authority and Purpose (summarized): The Zoning Code is Article 16 within Chapter 14 of the Revised Code of Ordinances of Albuquerque, New Mexico, 1994 (often cited as ROA 1994). The administration and enforcement of the Zoning Code is within the City's general police power authority for the purposes of promoting the health, safety, and general welfare of the public. As such, the Zoning Code is a regulatory instrument for controlling land use activities for general public benefit.

Amendment Process (summarized): The City Council is the zoning authority for the City of Albuquerque and has sole authority to amend the Zoning Code. Through the City Charter, the City Council has delegated broad planning and zoning authorities to the Environmental Planning Commission (EPC). The EPC is advisory to the City Council regarding proposed text amendments to the Zoning Code.

*The VCSDP is an extension of the Zoning Code through its SU-2 zones; therefore, amendments made to a sector plan's zoning are an amendment made to zoning regulations and are reflected as amendments to the zoning ordinance. The zoning ordinance is codified in the Zoning Code with extensions of modified regulations for unique areas in sector plans. Thus, these text amendments to the VCSDP are amendments to the zoning ordinance. The Zoning Map remains unchanged.*

*The proposed text amendments generally further the intent of the Zoning Code to promote the health, safety and general welfare of the public because it will facilitate appropriate infill and development of the City's West Side. As the zoning authority for the City of Albuquerque, the City Council will make the final determination on any proposed amendment to the VCSDP.*

### ***Rank 1 Albuquerque / Bernalillo County Comprehensive Plan***

The Comprehensive Plan, the Rank 1 planning document for the City, contains goals and policies that provide a framework for development and service provision. The Plan's goals and policies serve as a means to evaluate development proposals and requests for text amendments.

The Rank 3 Volcano Cliffs Sector Development Plan includes areas designated as Developing and Established Urban by the *Comprehensive Plan*. Applicable goals and policies include:

**II.B.5 DEVELOPING AND ESTABLISHED URBAN AREAS:** The goal is to create a quality urban environment, which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.

II B 5 Developing and Established Urban Areas, Policy c: Where needed to guide more detailed planning, major portions of the Established Urban Area and Developing Urban Area and

adjacent Plan map areas shall be formed into districts for rank two area planning which should use the following process (excerpted):

- Determine activity center appropriateness and character for each area in coordination with the area wide Activity Centers implementation planning program.

*The proposed amendment to the WSSP would designate a Neighborhood Activity Center in Volcano Cliffs. Currently, the language recommends a designation. The sector plan mentions the neighborhood activity center for the area zoned SU-2/VCVC (Volcano Cliffs Village Center). This change would activate the intended designation, which could help implement the vision.*

II.B.5 Developing and Established Urban Areas, Policy d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, and recreational concern.

*The proposed text amendments include an additional protection for petroglyphs, color restrictions to respect the natural environment, and clarification of wall and fence regulations to ensure openness adjacent to Major Public Open Space, and additional restrictions to limit fugitive dust near the Petroglyph National Monument.*

II B 5 Developing and Established Urban Areas, Policy f: Clustering of homes to provide larger shared open areas and houses oriented towards pedestrian or bikeways shall be encouraged.

*In the SU-2/VCRR (Volcano Cliffs Rural Residential) zone, clustering of houses is encouraged to create larger open areas and to maintain the sense of openness in the area. The proposed text amendment regarding walls may impact the openness of this zone. Houses may still be clustered and oriented toward Major Public Open Space, but private courtyards may begin to wall off open space areas. In order to minimize potential negative impacts, it is important to maintain a distinction between the allowance of courtyard walls connected to a house and the prohibition of walls on the property perimeter.*

II B 5 Developing and Established Urban Areas, Policy k: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operation.

*The Volcano Mesa amendment to the WSSP contains policy 3.110, calling for the adoption of a road network map to plan for adequate connections between residential areas and surrounding non-residential development. The proposed amendments seek to update the road network map to reflect changes in Volcano Heights. Further,*

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*proposed amendments update the series of cross sections showing how different roads should be planned within that road network. The cross sections are carefully assigned to street designations so that the streets and proposed land uses are compatible. The majority of streets include planting strips and wide sidewalks and trails to create a safe and attractive pedestrian, bicycling and driving environment.*

II B 5 Developing and Established Urban Areas, Policy m: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

*One of the proposed amendments would clarify regulations regarding walls and fencing to ensure openness and visibility abutting Major Public Open Space in both the SU-2/VCLL (Volcano Cliffs Large Lot) and the SU-2/VCRR (Volcano Cliffs Rural Residential) zones.*

*In addition, as noted above, another of the proposed amendments would allow walls to create private courtyards in the SU-2/VCRR zone. In order to minimize potential negative impacts on openness and vistas into Major Public Open Space, it is important to maintain a distinction between the allowance of courtyard walls connected to a house and the prohibition of walls on the property perimeter.*

*Finally, the proposed amendment would extend current color restrictions on residential areas to all development in Volcano Cliffs. This regulation is intended to minimize the impact of the built environment on views from the Petroglyph National Monument as well as views to the area from east of the Rio Grande.*

**II.B.1 OPEN SPACE NETWORK:** The goal is to provide visual relief from urbanization and to offer opportunities for education, recreation, cultural activities, and conservation of natural resources by setting aside Major Public Open Space, parks, trail corridors, and open areas throughout the Comprehensive Plan area.

II B 1 Open Space, Policy c: Development in or adjacent to the proposed Open Space network shall be compatible with open space purposes.

*As noted above, three proposed amendments ensure compatibility with Open Space: (1) clarifications to walls and fencing regulations to ensure openness and visibility abutting Major Public Open Space in either SU-2/VCLL (Volcano Cliffs Large Lot) or SU-2 VCRR (Volcano Cliffs Rural Residential) zone; (2) allowing walls to create private courtyards; and (3) extending color restrictions to all development in Volcano Cliffs to minimize the impact of the built environment on Major Public Open Space.*

II.B.1 Open Space, Policy d: The City and County shall preserve the volcanoes, key portions of the basalt flow, and the escarpment as part of the Open Space network.

*The proposed text amendment to enhance fugitive dust protections is intended to protect the Petroglyph National Monument.*

**II.B.7 ACTIVITY CENTERS:** The goal is to expand and strengthen concentrations of moderate and high-density mixed land use and social/economic activities that reduce urban sprawl, auto travel needs, and service costs, and which enhance the identity of Albuquerque and its communities.

*The proposed amendments to the transportation network help to coordinate land use and transportation in order to support the zoning scheme within Volcano Cliffs, which includes zones with varying residential densities surrounding a Neighborhood Activity Center as well as other mixed-use areas. Amendments to the transportation standards include a map designating streets in coordination with the proposed land uses abutting them and cross sections that include elements to provide appropriate amenities based on their intended use, either primarily serving auto traffic or providing multi-modal amenities for pedestrians and cyclists, as well as drivers.*

*These transportation amendments, in conjunction with the land uses entitled by the zoning, provide opportunities to reduce sprawl, auto travel needs and provide retail, service and office needs closer to residences- proposed and existing.*

**II.C.6 ARCHAEOLOGICAL RESOURCES:** The goal is to identify and manage or acquire significant archaeological and paleontological sites for research, education, economic, and/or recreational use.

II C 6 Archeological Resources, Policy c: Public understanding of and appreciation for the area's archaeological and paleontological past shall be promoted.

*One proposed amendment would include a 50-foot setback from any petroglyph discovered in the area. Preserving these archaeological resources where they appear – even when not located within the Petroglyph National Monument – is an important aspect of understanding and appreciating our past.*

*In addition, a proposed amendment would define “significant rock outcropping” consistent with Volcano Trails in order to remove rock outcroppings from the calculation for required Floor Area Ratio (FAR) and residential densities. This change is intended to remove an unintended incentive to destroy rock outcroppings and instead make it easier to achieve FAR and residential densities while preserving outcroppings.*

**II.C.8 DEVELOPED LANDSCAPE:** The goal is to maintain and improve the natural and the developed landscapes' quality.

II.C.8 Developed Landscape, Policy a: The natural and visual environment, particularly features unique to Albuquerque, shall be respected as a significant determinant in development decisions.

*As noted above, proposed amendments restricting color to natural landscape shades and clarifying regulations about walls and fences are intended to ensure that development is consistent with the natural and visual environment next to the unique Petroglyph National Monument.*

**II C 9 COMMUNITY IDENTITY AND URBAN DESIGN:** The goal is to preserve and enhance the natural and built characteristics, social, cultural and historical features that identify Albuquerque and Bernalillo County sub-areas as distinct communities and collections of neighborhoods.

II C 9 Community Identity and Urban Design, Policy b: (excerpted)

In each Community Area, strategic planning, neighborhood planning, development and redevelopment shall be evaluated in light of its relationship to and effect upon the following:

- 1) The natural environment
  - Indigenous vegetation and other materials appropriate to landscapes.
  - Topography and landscape features such as arroyos, the Rio Grande and bosque, the foothills and escarpments
  - Soils and erosion potential
  - Colors and textures of the natural environment
  - Views
- 2) Built environment
  - Walls and fences
  - Road widths, sidewalks, curb cuts, medians
  - Grain of streets/size of parcels
  - Patterns of movement (e.g. pedestrian connections, access to transportation/transit)
  - Landscaping materials, both planting and hardscape
  - Relationship between built and natural environment
- 3) Local history
  - Current and historic significance to Albuquerque

*Several amendments pertain to this policy. Zoning standards pertaining to walls and fences abutting Major Public Open Space and rock outcroppings helps ensure development in the built environment that is sensitive to its context in this unique natural environment. Fugitive dust restrictions help protect the Petroglyph National Monument. Similarly, color restrictions help minimize the visual impact of*

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*development. Amendments to transportation standards ensure appropriate road widths and street configuration. Revision to the plant list simplifies its use and ensures plantings of native and xeric species appropriate to this unique context.*

II C 9 Community Identity and Urban Design, Policy e: Roadway corridors (collectors, arterials, Enhanced Transit and Major Transit) within each community and that connect the community's Activity Centers shall be designed and developed to reinforce the community's unique identity; streetscape improvements to these roadways shall be designed to:

- minimize water use
- screen parking areas
- create useful and attractive signage and building facades
- facilitate walking safety and convenience

*Proposed transportation amendments help to ensure street designations and cross sections appropriate to proposed land use throughout Volcano Mesa. Cross sections include parking, medians, and sidewalks and trails.*

### ***Rank 2 West Side Strategic Plan (WSSP)***

The *West Side Strategic Plan (WSSP)* was first adopted in 1997 and amended in 2002, 2009, and 2011. The WSSP area is bounded by the Sandoval County line on the north, the Rio Puerco Escarpment on the west, a line south of Gun Club Road (the Atrisco Grant line) on the south, and the Rio Grande on the east for areas north of Central, and Coors Boulevard on the east for areas south of Central. It encompasses over 96,000 acres of land, or approximately 150 square miles. Specific boundaries are shown on the Plan Boundary map on p.2 in the WSSP.

The WSSP identifies fourteen communities in established areas of the West Side that are partially developed and describes how community concepts can be applied. A Community is comprised of a Neighborhood Center(s) and Community Center(s), and the Plan outlines uses that should occur within the centers, as well as uses that should occur in areas adjacent to the centers. The WSSP emphasizes throughout its text the concept of commercial development in cluster configurations in contrast to the traditionally evolved strip commercial development. Applicable policies include:

WSSP Policy 3.99: Development in the Volcano Mesa area should recognize the sensitive ecological, historical, and cultural importance of the area, and future Rank III plans in the area should respect this in the following ways:

- Protect the narrow band of the Escarpment on the eastern edge of Volcano Mesa and maintain the views to and from the Escarpment;
- Establish design standards for developments built adjacent to the edge of open space that will be compatible visually and ecologically with the high desert landscape ...

- Protect view sheds from the North Geologic Window and the cones of the northern most Volcanoes to the Sandia Mountains and the Rio Grande;

*Many of the proposed amendments help protect and ensure development compatible with ecological, historical, and natural resources in Volcano Mesa. The proposed amendments are intended to provide further protections from fugitive dust for the Petroglyph National Monument, ensure development compatible with adjacent open space and Escarpment by clarifying wall and fence regulations in VCLL and VCRR, add a setback from petroglyphs, simplify plant lists, and remove unintended incentives to develop rock outcroppings.*

WSSP Policy 3.103: Protection of archeological and cultural resources should be ensured... The Volcano Mesa area contains several sites of archeological significance, many of which (but not all) have been designated as Major Public Open Space. These Petroglyph and settlement sites tend to be concentrated within the Northern Geologic Window, in the large tract owned by the State of New Mexico, along arroyo corridors, on some rock outcroppings, and within the Monument.

*As mentioned above, the proposed amendments are intended to provide further protections from fugitive dust for the Petroglyph National Monument, add a setback from petroglyphs, and help preserve natural rock outcroppings.*

WSSP Policy 3.104: Adequate setbacks from petroglyphs and archeological sites should be maintained. Development, trails, and recreation areas should be set back at least 50 feet from prehistoric petroglyphs or other sites with high archeological value, unless part of an approved interpretive exhibit.

*The proposed amendment adding a 50-foot setback from prehistoric petroglyphs would help implement this Rank 2 policy.*

### **Northwest Mesa Escarpment Sector Development Plan (Rank 3)**

The Northwest Mesa Escarpment Sector Development Plan was first adopted in 1987 and amended in 1989. The Plan generally encompasses properties between Coors and Atrisco Vista Boulevards, the Bernalillo/Sandoval County Line, and I-40. It sets forth goals and policies regarding Escarpment face and the Volcanoes. Applicable policies include:

Policy 12. Structures shall not block views of the Escarpment or visually contrast with the natural environment.

*One proposed amendment extends color restrictions to all development in Volcano Cliffs in order to minimize the visual impact of development. In addition, amendments*

*to fence and wall regulations clarify the intent to preserve views into and from the Escarpment.*

Policy 20. The predominant colors used on structures within the View Area shall blend with the natural colors of the Mesa.

*Color restrictions are proposed to be extended to all development to blend with the natural colors of the Mesa. The range of possible colors is illustrated in an appendix in each plan.*

Policy 21. Structures above and below the escarpment shall not dominate the views of the Escarpment from the East side.

*As noted above, proposed amendments extend color restrictions to all development in Volcano Cliffs in order to minimize the visual impact of development and clarify fence and wall regulations to preserve views into and from the Escarpment.*

## **V. AGENCY & NEIGHBORHOOD CONCERNS**

### ***Reviewing Agencies/Pre-Hearing Discussion/ Neighborhood/Public***

Staff has received letters from the property owners in the area and several agencies. There is no known opposition to the proposed amendments. The Volcano Cliffs Property Owners Association is requesting additional amendments to allow private courtyard walls on properties zoned SU-2/VCRR (Volcano Cliffs Rural Residential). See Attachment B. Where appropriate, agency comments have been addressed in the conditions to revise the draft and/or the language of the proposed amendments.

One outstanding concern is the proper designation of roads within Volcano Mesa. There are several layers to this issue:

- (1) their proper designation per the Long Range Roadway System Map, which identifies a standard right-of-way width,
- (2) their proper street type per the Volcano Mesa transportation network map, and
- (3) their proper cross section configuration, tied to the street type.

MRCOG is currently revising the LRRS map and right-of-way standards. Discussions continue with Transportation Planning, MRCOG, and Department of Municipal Development staff. Proposed changes to the Volcano Mesa transportation network map are expected throughout the adoption process for these amendments.

## **VI. Conclusion**

The Planning Department requests an Environmental Planning Commission (EPC) recommendation to City Council to approve text amendments to the Volcano Cliffs Sector Development Plan (SDP), based on the Findings starting on page 19 and subject to the Conditions of Approval starting on page 21.

Adopted in May 2011, the Volcano Cliffs SDP covers 2,327 acres of land and contains goals and policies related to Transportation, the Environment /Open Space and Land Use. The Land Use chapter adopts zoning and general regulations to guide future development within the area. The policies and regulations in the plan were developed to reflect the Vision and Guiding Principles in the plan, as well as implementing the policies of the Volcano Mesa amendment to the WSSP, adopted in February 2011.

The proposed amendments include:

- 1) Updating transportation standards to be consistent with Volcano Heights SDP, including access modifications affecting the road network.
- 2) Revising zoning standards regarding fences to address inadvertent errors and provide clarity.
- 3) Revising zoning standards regarding density to be consistent with the Volcano Trails SDP.
- 4) Adding a setback from petroglyphs to General Standards to be consistent with the Volcano Trails SDP.
- 5) Revising General Standards regarding utilities and residential garages to be consistent with the Volcano Heights SDP.
- 6) Revising the plant list to be consistent with the Volcano Heights SDP.
- 7) Adding a definition to General Regulations for significant rock outcroppings, which are called out in the calculation of density and defined in the Volcano Trails SDP.
- 8) Revising General Regulations regarding color restrictions, plant lists, and grading to be consistent with Volcano Heights SDP.

The most substantial amendment involves updating the transportation network map for Volcano Mesa and coordinating street designations with the Long Range Roadway System map, currently being updated by the Mid-Region Council of Governments. The correct designation of streets within Volcano Mesa will continue to be a significant point of discussion, and the transportation network map can be expected to change based on collaboration among MRCOG, Transportation Planning staff, and DMD.

The remaining proposed amendments are minor in scope – either fixing original errors in the Plan or providing additional clarity and/or consistency among the other Volcano plans. The amendments further multiple policies of other ranked plans. There is no known opposition from either neighbors or property owners, but the Volcano Cliffs Property Owners Association is requesting their one amendment in addition to those proposed by the Planning Department.

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***FINDINGS – 13EPC 40162, February 13<sup>th</sup> 2014. Recommendation of approval of text amendments to the Volcano Cliffs Sector Development Plan.***

1. The Volcano Cliffs Sector Development Plan covers an area of approximately 2,327 acres. The plan boundaries are the Petroglyph National Monument on the east, south and west and Volcano Heights and Volcano Trails Sector Development Plans on the north.
2. This plan is one of three distinct but related sector development plans intended to guide future development in the larger Volcano Mesa community. The other two plans are the Volcano Heights and Volcano Trails Sector Development Plans. The three plans share similar policy underpinnings that are included in a companion amendment to the Rank 2 West Side Strategic Plan (WSSP).
3. Volcano Cliffs Sector Development Plan contains the following zoning designations: R1, RO-20, A1 County, SU1 for Major Public Open Space and SU-2/VCVC (Volcano Cliffs Village Center), SU-2/VCMX (Volcano Cliffs Mixed Use), SU-2/VCUR (Volcano Cliffs Urban Residential), SU-2/VCLL (Volcano Cliffs Large Lot), SU-2/VCRR (Volcano Cliffs Rural Residential). The Plan also includes General Standards and General Regulations associated to varying degrees with all properties within the Volcano Cliffs SDP boundary.
4. The Zoning Map is not changed: proposed amendments only affect design standards and do not change zoning or land uses for any property; therefore, they are not subject to R-270-1980 analysis. There is no known opposition from neighbors or property owners.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Volcano Cliffs Sector Development Plan, Northwest Mesa Escarpment Plan, etc. and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The proposed text amendments are consistent with the City Charter, which empowers the City to ensure proper land use and development (City Charter, Article I and support a high-quality urban environment (City Charter, Article IX).
7. The VCSDP is an extension of the Zoning Code through its SU-2 zones; therefore, amendments made to a sector plan's zoning are an amendment made to zoning regulations and are reflected as amendments to the zoning ordinance but do not amend the Zoning Map. The proposed text amendments generally further the intent of the Zoning Code to promote the health, safety and general welfare of the public because it will facilitate appropriate development of the City's West Side.

8. Amendments to the transportation standards support the following goals and policies in the Rank 1 Albuquerque/Bernalillo County Comprehensive Plan:
  - a. II.B. 5 Developing and Established Urban Areas Policy k: protecting livability and safety of residential neighborhoods and
  - b. II C 9 Community Identity and Urban Design Policy b: protecting natural environment and improving built environment and Policy e matching street design to community identity.
  
9. Amendments to the standards pertaining to walls and fences, rock outcroppings, structure colors, plant lists, petroglyphs, and grading support the following goals and policies in the Rank 1 Albuquerque/Bernalillo County Comprehensive Plan:
  - a. II.B. 5 Developing and Established Urban Areas policies d and m protecting natural and cultural resources and improving the visual environment,
  - b. II.B.1 Open Space policies c and d ensuring compatibility with open space and preserving the Escarpment,
  - c. II.C. 6 Archaeological Resources protecting petroglyphs,
  - d. II.C.8 Developed Landscape policy a and
  - e. II.C.9 policy b protecting the natural environment and improving the built environment.
  
10. Amendments to the standards pertaining to walls and fences, rock outcroppings, structure colors, plant lists, petroglyphs, and grading support the following policies in the Rank 2 West Side Strategic Plan: Policies 3.99, 3.103, 3.104, protecting the Escarpment, view sheds, petroglyphs, and cultural resources.
  
11. Amendments to the standards pertaining to walls and fences, rock outcroppings, structure colors, plant lists, petroglyphs, and grading support the following policies in the Rank 3 Northwest Mesa Escarpment Plan: Policies 12, 20, and 21 ensuring that development is compatible with the natural landscape by minimizing visual contrast.
  
12. There is no known opposition to these amendments, but the Volcano Cliffs Property Owners Association requests one amendment in addition to those proposed by the Planning Department.

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**RECOMMENDATION – 13EPC 40162, February 13<sup>th</sup> 2014**

**APPROVAL of 13EPC 40162, text amendments to the Volcano Cliffs Sector Development Plan, based on the preceding Findings and subject to the following Conditions.**

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**Mikaela Renz-Whitmore**  
**Planner**

**CONDITIONS FOR RECOMMENDATION OF APPROVAL – Project # 1008444 13EPC-40162**

**[NOTE: Added language is underlined; deleted language has ~~strikethrough~~. Numbers in brackets refer to the spreadsheet of comments.]**

1. On page 29, Exhibit 5, the Volcano Mesa roadway network map, change the symbol at the southern terminus of Transit Boulevard to indicate a full-access, signalized intersection. [1]
2. On page 29, Exhibit 5, the Volcano Mesa roadway network map, change the designation of Woodmont Avenue to a minor arterial. [2]
3. On page 29, Exhibit 5, the Volcano mesa roadway network map, edit the legend to delete “proposed” where it appears. [3]
4. On p. 41, change title of subsection as follows: g. Above-Grade ~~Obstructions~~ Impediments. [13]
5. On the new page 48, in cross section 7.4, add a note indicating that the sidewalk dimension may be adjusted to accommodate the multiuse trail and/or a trail buffer. [8]
6. On page 49, A. GENERAL, Permitted Uses, 7., edit the language as follows "Public Utility Structures as defined by City Zoning Code §14-16-1-5 shall be located in accordance with...". [14]
7. On pages 51 and 54, Section B. Building Placement and Design, Height, 2., add the following sentence before the final sentence: "Solar panels shall not count toward height limits." [15]
8. On pages 56, 57, and 60, Section B. Building Placement and Design, Height, add a new 2 with the following language:

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Chimneys and cupolas may extend 10 feet beyond height limits. Screened equipment and flagpoles may extend 6 feet beyond height limits. Solar panels shall not count toward height limits. Screened equipment shall be set back 15 feet from the facade.

Renumber subsequent items accordingly. [16]

9. On page 61, SU-2/VCCR C. Landscape Requirements, Walls and Fences, insert a new 4. with the following language [17]:

Walls to create an enclosed area outdoors shall be permitted that meet all of the following criteria:

- a. Walls are attached to the main dwelling.
- b. Walls shall not infringe on any building setbacks.
- c. Wall materials shall be the same or complement the main dwelling and shall comply with the color regulations in Chapter 5 - General Regulations B- Approved Colors.
- d. The total area of enclosed spaces on a lot (e.g. any combination of patio, pool enclosure, or courtyard) shall be limited to 1,000 SF or up to 50% of the main dwelling square footage, whichever is greater, up to a maximum of 2,000 sf.

10. On page 69, Utilities, 1. Easements, add the word "distribution" after "electric." [18]

11. On page 69, Utilities, add new subsection called "3. General" with the following language [19]:

3. General. Electric infrastructure is planned and constructed in response to new development. New electric transmission lines and multiple substations will be needed within the Volcano Mesa area to provide electric service once regional employment center development occurs. Substations typically require two-acre parcels of land. It may be necessary for substations to be located near the electric load in the Plan area. Transmission lines should be located along arterial streets, major drainage channels, non-residential collector streets and other potential corridors as directed by the Facility Plan: Electric System Transmission and Generation (2010-2020).

12. On page 82, edit the first sentence of "Neighborhood Activity Center" as follows: "These are designated to ..." [20]

13. On page 92, Chapter 5 – General Regulations D – Construction Mitigation, replace Standard CM 1 with the language in Attachment C – Fugitive Dust Amendment. In Standard CM-2, delete the final sentence, which has been incorporated in the proposed amendment language. [4]

***Notice of Decision cc list:***

David Heil, Volcano Cliffs Property Owners Association

***Attachments***

**A- Redline Draft of Proposed Amendments**

**B - Public Comments**

**C – Fugitive Dust Amendment**

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## CITY OF ALBUQUERQUE AGENCY COMMENTS

### PLANNING DEPARTMENT

#### Zoning Enforcement

No comment.

#### Office of Neighborhood Coordination

Molten Rock, Paradise Hills, Petroglyph Estates, Taylor Ranch, Ventana Ranch, Volcano Cliffs, Westside Coalition of NA's

1/9/14– Staff Planner to provide ONC with a NL article for the January/February 2014 issue.

#### Long Range Planning

The proposed changes help to clarify the regulations in the plans and to correct or add information. These changes will make the administration of the plans more efficient, because the requirements will be more clear.

### CITY ENGINEER

#### Transportation Development Services (Planning Department):

Street sections including on-street parking show the parking stalls at widths of 6-7 feet. When added to the proposed 9-11 foot wide travel lanes, this may cause a conflict between parking vehicles and the through movement of traffic.

#### Traffic Engineering Operations (Department of Municipal Development):

No comments received.

#### Hydrology (Planning Department):

No comments.

### DEPARTMENT of MUNICIPAL DEVELOPMENT

#### Transportation Planning

- The TCC's R-13-03 calls for a "High-T" at the intersection of Transit Blvd. and Paseo del Norte, which appears to be inconsistent with the right-in, right-out designated on the amendment's Exhibit 5, Volcano Mesa Road Network map on page 29 of the EPC Redline.
- Color changes proposed in the legend on Exhibit 6, Volcano Cliffs Sample Cross-Section Location (page 33), do not appear to match up well with the street cross-sections identified on the map view of the same exhibit.

#### Street Maintenance (Department of Municipal Development):

No comments received.

**WATER UTILITY AUTHORITY**

**Utility Services**

*No comments received.*

**ENVIRONMENTAL HEALTH DEPARTMENT**

**Air Quality Division**

*No comments received.*

**Environmental Services Division**

EHD recommends adding language that clarifies the type of permit, and a citation to the regulation that requires the permit. Please see suggested changes indicated with underlining below.

Applicants shall provide proof of a 20.11.20 NMAC Fugitive Dust Control Permit from the Environmental Health Department prior to being issued a grading permit. If any soil stabilization is proposed, straw crimp plus seeding is the preferred method, due to the area's proximity to the Petroglyph National Monument and the importance of protecting petroglyphs from fugitive dust.

With regards to the language being acceptable, EHD's Fugitive Dust Enforcement Section has reviewed the proposed changes and determined there are no apparent conflicts between Planning's enforcement of the amended language in the Sector Development Plans and EHD's enforcement of 20.11.20 NMAC Fugitive Dust Control Permit.

Because our two departments have different enforcement authority, I appreciate you and your staff including EHD in the review and comment of any proposed language in the future where there might be overlap, so that both departments can avoid confusion and enforcement challenges.

Again, thank you for including EHD's input into the amendments to Planning's fugitive dust regulation.

**PARKS AND RECREATION**

**Planning and Design**

*No comments received.*

**Open Space Division**

*No comments received.*

**City Forester**

*No comments received.*

***POLICE DEPARTMENT/Planning***

*No comments received.*

***SOLID WASTE MANAGEMENT DEPARTMENT***

**Refuse Division**

Approved as long as it complies with the SWMD Ordinance and our requirements.

***FIRE DEPARTMENT/Planning***

*No comments received.*

***TRANSIT DEPARTMENT***

None.

## ***COMMENTS FROM OTHER AGENCIES***

***BERNALILLO COUNTY***

*No comments received.*

***ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY***

Reviewed, no comment.

***ALBUQUERQUE PUBLIC SCHOOLS***

The City of Albuquerque proposes a several text amendments to the Volcano Cliffs Sector Development plan. The plan area is located on Unser and Rainbow between Boulevard de Oeste and Petroglyph National Monument. The text amendments include; (1) updating the transportation standards to be consistent with Volcano Heights SDP, including adding cross sections and access modification from Volcano Heights SDP and Special Assessment District 228 and renumbering

cross sections accordingly to include the full transportation network within Volcano Mesa, (2) clarifying the intent and required right-of-way for local streets at for different land uses and densities, (3) revising zoning standards regarding fences to address inadvertent errors and provide clarity, (4) adding a setback from petroglyphs to General Standards to be consistent with the Volcano Trails SDP, (5) revising General Standards regarding residential garages and utilities to be consistent with the Volcano Heights SDP, (6) revising General Regulations regarding plant lists, color restrictions, and grading to be consistent with Volcano Heights SDP (7) adding a definition to General Regulations for significant rock outcroppings which area called out in the calculation of density, to be consistent with the Volcano Trails SDP, (8) revising the plant list to be consistent with the Volcano Heights SDP.

APS schools that serve the plan area include; Tierra Antigua Elementary, Sunset View Elementary, Tony Hillerman Middle School, James Monroe Middle School, Cibola High School, and Volcano Vista High School.

Currently, Tierra Antigua Elementary is exceeding capacity, Sunset View Elementary and James Monroe Middle School are nearing capacity, and Volcano Vista High School is at capacity. All other schools within the plan area currently have excess capacity. APS does not oppose this amendment.

<b>Loc No</b>	<b>School</b>	<b>2013-14 40th Day</b>	<b>2013-14 Capacity</b>	<b>Space Available</b>
389	Tierra Antigua ES	768	660	-108
393	Sunset View ES	583	660	77
492	Tony Hillerman MS	1006	1200	194
490	James Monroe MS	980	1000	20
580	Cibola HS	1864	2100	236
575	Volcano Vista HS	2200	2200	0

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
  - Construct new schools or additions
  - Add portables
  - Use of non-classroom spaces for temporary classrooms
  - Lease facilities
  - Use other public facilities
- Improve facility efficiency (short term solution)
  - Schedule Changes
    - Double sessions
    - Multi-track year-round
  - Other
    - Float teachers (flex schedule)

- 
- Shift students to Schools with Capacity (short term solution)
    - Boundary Adjustments / Busing
    - Grade reconfiguration
  - Combination of above strategies

**All planned additions to existing educational facilities are contingent upon taxpayer approval.**

### **MID-REGION COUNCIL OF GOVERNMENTS**

*No comments received.*

### **MIDDLE RIO GRANDE CONSERVANCY DISTRICT**

*No comments received.*

### **PUBLIC SERVICE COMPANY OF NEW MEXICO**

Underlined text indicates added language and strike-through text indicates deleted language.

1. On p. 41, change title of subsection as follows:

**g. Above-Grade ~~Obstructions~~ Impediments.**

2. On page 49, A. GENERAL, Permitted Uses, 7., the term “Public Utility Structure” is not defined in the Volcano Cliffs Sector Development Plan. The definition for this term should be added on page 84 from the Zoning Code Definitions §14-16-1-5:

**Public Utility Structure** – A structure, owned by a unit of government or by a public utility company, which is an electric switching station; electric substation operating at voltages greater than 50 kilovolts (kV); gas transfer station or border station; city-owned lift station, odor control (or chlorine) station, water well or pump station, or water reservoir; or any other public utility structure controlled by a rank two facility plan.

3. On page 69, Utilities, 1. Easements,; revise as follows:

1. **Easements.** In the SU-2/VCLL-Large Lot and SU-2/VCRR-Rural Residential zones, 10-foot utility easements for electric distribution, gas, telephone, and cable shall be dedicated in street-facing setbacks behind the curb on private property...

4. On page 69, Utilities, add new subsection called “3. General” with the following language:

**3. General.** Electric infrastructure is planned and constructed in response to new development. New electric transmission lines and multiple substations will be needed within the Volcano Mesa area to provide electric service once regional employment center development occurs. Substations typically require two-acre parcels of land. It may be necessary for substations to be located near the electric load in the Plan area. Transmission lines should be located along arterial streets, major drainage channels, non-

residential collector streets and other potential corridors as directed by the Facility Plan: Electric System Transmission and Generation (2010-2020).

**NEW MEXICO DEPARTMENT OF TRANSPORTATION**

The NMDOT has no objections to the coordination among the plans which resulted in amendments to the West Side Strategic Plan, Volcano Trails Sector Development Plan, and the Volcano Cliffs Sector Development Plan.

**Attachment A – Redline Draft of Proposed Amendments**

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# VOLCANO CLIFFS

## SECTOR DEVELOPMENT PLAN

EPC REDLINE 2013





# CHAPTER 3

transportation standards  
regulations

CHAPTER 3

INTENT

The standards of this chapter are intended to create streets that are pedestrian-friendly, while also meeting the demands of motorists and emergency vehicles. The following standards provide regulatory guidance for the development of a comprehensive transportation network within the plan area. The goal is to facilitate a range of transportation options for residents—walking, biking, driving and taking the bus—by providing strategies for the development of the area’s overall street network and for the design of individual streets in a manner that improves pedestrian access and safety, facilitates mass transit, and moves traffic efficiently and safely.

**Standard 1: Provide an Interconnected Street Network.**

- a. An interconnected network shall form a hierarchical network and shall distribute traffic among multiple routes, thereby reducing reliance (and excessive volumes) on fewer routes. An interconnected network will enhance access throughout the Volcano Mesa area by providing routes that are more direct and offer redundancy and by reducing traffic volumes on collector streets and arterials, so that fewer travel lanes and a more intimate, pedestrian supportive environment will be created.
- b. The platting of new dead-end streets and culs-de-sac is prohibited.
  - (i) The following exceptions for dead-end streets and/or culs-de-sac are allowed:
    - 1. those necessary to reach land-locked parcels and
    - 2. those that will be required in the Rural Residential zone (VCRR) due to the limited arroyo crossings.
  - (ii) Given one of the above exceptions, the following conditions shall be met:
    - 1. Stub streets or “knuckle” culs-de-sac are allowed where necessary to reach no more than 4 parcels beyond a corner or intersection.
    - 2. Mid-block “bubble” culs-de-sac without throats are allowed.
    - 3. Pedestrian/bike connections shall be provided to open space and/or road networks beyond knuckle or bubble culs-de-sac.



**Exhibit 5,** Volcano Mesa Road Network forms an interconnected network by adopting access points, road designations, and collector locations for the Volcano Mesa area, including the Volcano Cliffs Sector Development Plan area. The Roadway Plan establishes the area’s roadway network. Certain roadways are identified by dashed lines, indicating that their specific alignment is still to be determined. While the integrity of the street network must be maintained, adjustments to internal street alignments shall be permitted in order to avoid significant rock outcroppings, archaeological, or biological resources; to respond to unanticipated engineering factors; or to respond to the needs of large-scale master plan and land consolidation efforts.

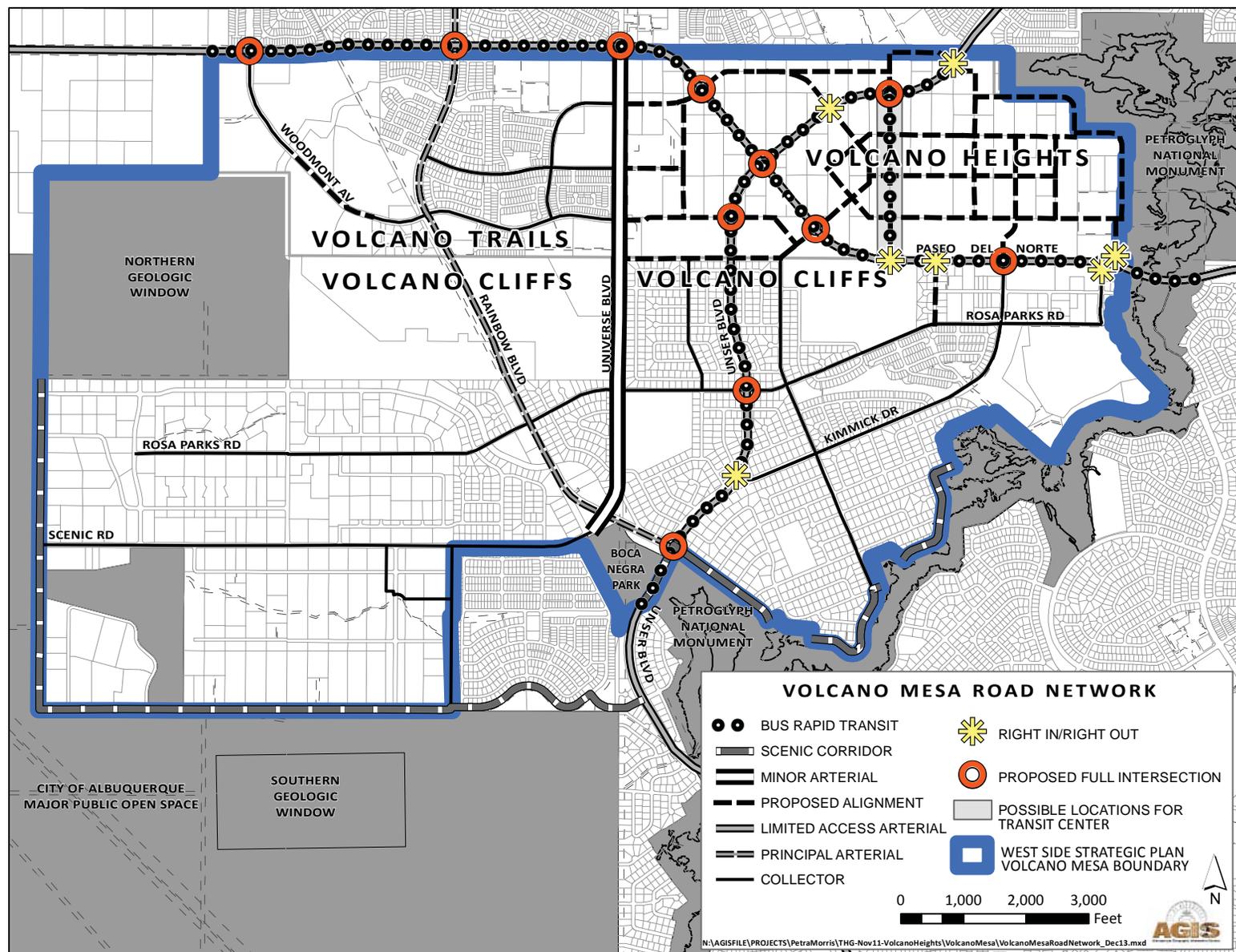


Exhibit 5, Volcano Mesa Road Network

**Standard 2: Propose access points to Paseo del Norte and Unser Boulevard**

A key component of the Roadway plan is the proposed access locations along Unser Boulevard and Paseo del Norte within the Volcano Mesa area. While both roads are currently designated Limited Access Arterials, whose main function is to move traffic quickly and efficiently, these arterials will need to provide access to and from the proposed Volcano Heights Town Center and the surrounding neighborhoods. The proposed access points, both full and right-in/ right-out, provide essential connections into and within the Volcano Mesa area and form the basis of the area's internal network. In addition, the proposed access points facilitate access to transit and the proposed Transit Center in Volcano Heights as well as easing traffic at key intersections, such as Universe and Paseo del Norte by providing alternative routes onto Unser Boulevard and Paseo del Norte. Proposed access points are shown on **Exhibit 5**, Volcano Mesa Road Network. These access locations are generally located to provide optimal connections to, from, and within the Volcano Mesa area and the Volcano Cliffs SDP.

**Standard 2: Protect Scenic Corridors.**

Scenic corridors provide an opportunity for residents and the public in general to enjoy views of Albuquerque landmarks such as the Sandias and the Volcanoes, as well as public open space lands, in everyday ways as part of their commute or while walking to the neighborhood store. As the preferred edge to open space is a public street, more scenic corridors shall be added as area roads are designed abutting arroyos or the Monument. Also, where possible, streets shall be oriented to act as scenic corridors. A scenic corridor is defined in this plan as a single-loaded street that abuts open space lands such as the Petroglyph National Monument or an arroyo. The streets that are platted as single-loaded at the time of the plan adoption are mapped in **Exhibit 5** next to "Scenic Corridors"; however, future platting actions shall aim to increase this network.

**Standard 3: Orient Residential Development toward Residential Collector Streets.**

Where new residential development is adjacent to a collector street, new lots and homes shall face Collector streets, except where the Planning Director or his/her designee approves exceptions related to technical reasons, such as grading and drainage requirements, or where lots facing away from Residential Collector Streets already exist in platting.

**Standard 4: Design streets to accommodate Bus Rapid Transit Routes.**

Roadways and streets identified as Bus Rapid Transit routes, including Paseo del Norte and Unser Boulevard, shall provide a minimum of 24 feet for dedicated bus-only lanes and roadway dividers in the rights-of-way. On these streets and roadways, beginning 500 feet before intersections identified as potential station locations, a minimum of 36 feet in the right-of-way will be dedicated for BRT lanes and station platforms. While cross sections may show BRT routes as outside, inside, or median lanes, the final location of these lanes shall be determined during the roadway design process. Additionally, BRT lanes shall be dedicated and marked for bus use only, and automobile use will be prohibited.

**Standard 5: Ensure safe, comfortable pedestrian crossings.**

Wide, multi-lane roads present barriers to the creation of a safe pedestrian environment. Well-designed crossings can overcome these barriers by providing protected passageways for pedestrians. The following is a list of treatments that shall be used for assisting pedestrian movement across roadways:

- a. **Pedestrian Crosswalks.** At-grade pedestrian crosswalks shall be considered at signalized and unsignalized (“right-in / right-out”) intersections (except the intersection of Paseo del Norte and Unser Boulevard). Crosswalks shall also be considered where they bring activity centers within walking distance, such as between retail centers, employment nodes, and public facilities. To minimize increasing vehicle travel times, signals shall be synchronized and pedestrian activation required. In addition, pedestrian crosswalks can be divided into two phases, such that pedestrians cross travel lanes for traffic in one direction during one phase, and then cross travel lanes for traffic in the other direction during the second phase. Pedestrian refuge islands shall be provided where possible; refuge islands should be at least 5 feet in width and accompanied by bollards and/or landscaping.
- b. **Pedestrian Barriers near Crosswalks.** Fences or other barriers may be needed to prevent pedestrians from crossing in locations that are unsafe. Decorative metal fences or public art should be used within and adjacent to the Neighborhood Activity Center (i.e., Village Center).
- c. **Pedestrian Crossings at Arroyos.** When there is a pedestrian crossing at an arroyo, crossing distances shall be minimized to ensure safe, comfortable access across the arroyo. At arroyos, the length of culverts (i.e., the width of bridges) shall be minimized by eliminating both the median and landscape strips.

**Standard 6: Provide traffic calming features.**

To discourage fast and cut-through traffic, traffic calming shall accompany the interconnected street network called for in these standards. A measure of traffic calming shall be provided through the use of appropriately dimensioned travel and parking lanes. Excessive street width has been identified as a major contributor to higher vehicle speeds and a higher incidence of severe injuries. Additional techniques may be employed to calm traffic in support of pedestrian safety and convenience.

The following features are approved to be used in the Plan area:

- a. **Curb Radii.** To reduce pedestrian crossing distances and slow traffic curb radii shall not be more than 15 feet, except where no pedestrian crossing is expected, if significant truck or bus traffic is expected, or where there are special demands for acceleration or deceleration. Where curb radii exceed 15 feet, other measures should be considered to support pedestrian safety.
- b. **Bulbouts.** Bulbouts extend curbs and create parking lanes. They are especially warranted at intersections and other pedestrian crossings in areas with high pedestrian activity or where motorists need to be alerted that they are entering a pedestrian-oriented area (e.g., “gateway” locations), and where pedestrian refuge and short crossing distances are critical (e.g., near facilities for children or senior citizens).
- c. **Offset Intersections.** Travel routes that force turns through offset intersections will slow traffic and discourage cut-through traffic. Intersections should be offset by at least 100 feet, unless the road geometry provides adequate sight lines. Offset intersections also provide special vista opportunities for parks, civic buildings, building entries, monuments, or exceptional architecture.
- d. **Roundabouts.** Roundabouts slow traffic while offering capacities for turning movements that usually exceed conventional 4-way intersections. Roundabouts can be small enough to be placed in the middle of typical intersections, or large enough to accommodate parking and handle complex intersection geometries.
- e. **Articulated Crosswalks.** At crosswalks, special visual and physical features can signal the presence and needs of pedestrians to motorists. Articulation can be created through the use of signage, lighting, special pavers, textured concrete, and highly reflective paint. Where traffic volumes are low and pedestrian volumes are high, crosswalks shall be placed at the same level as abutting sidewalks to make vehicles ramp up to that level and signaling that pedestrians take precedence.

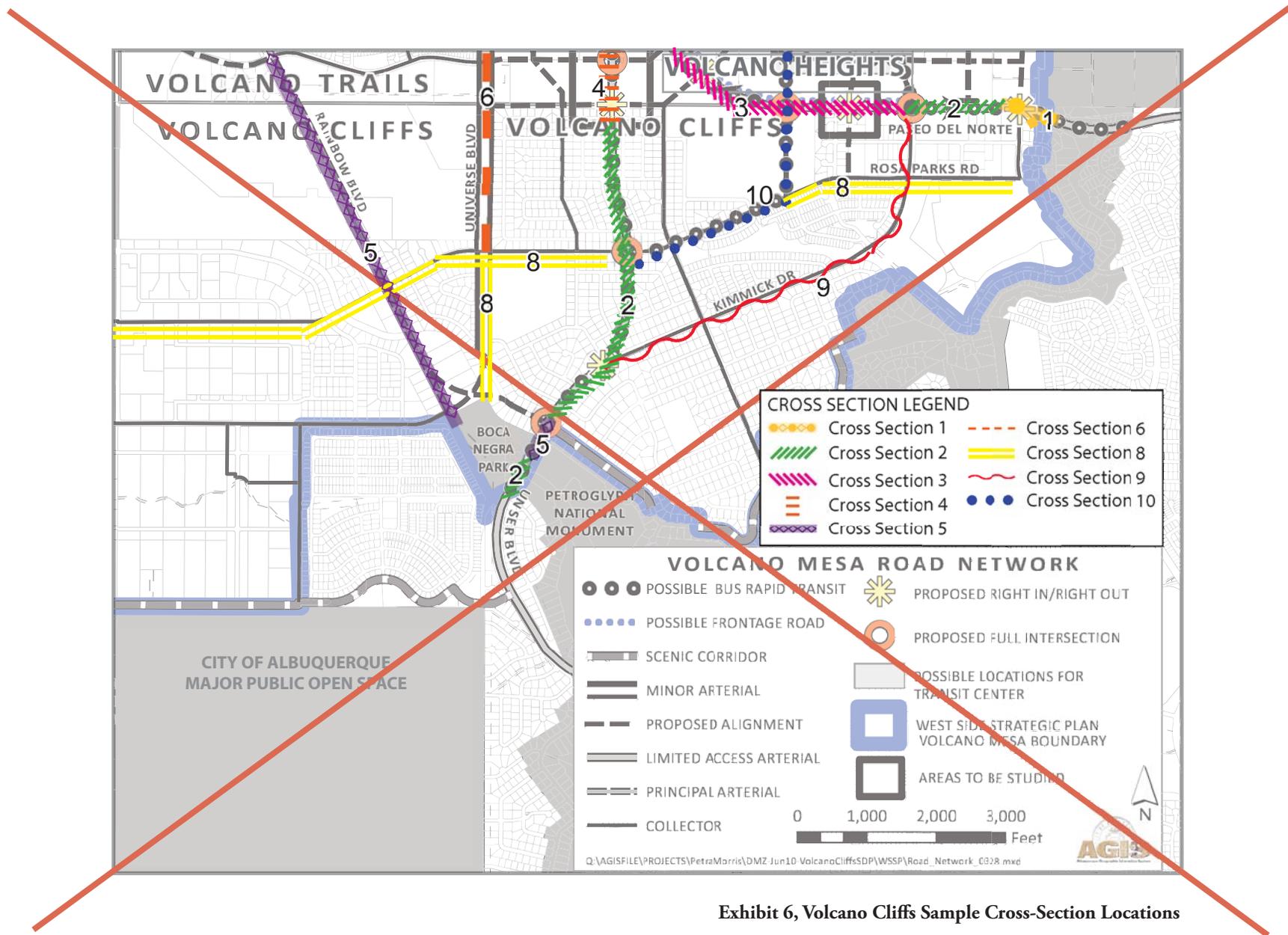


Exhibit 6, Volcano Cliffs Sample Cross-Section Locations

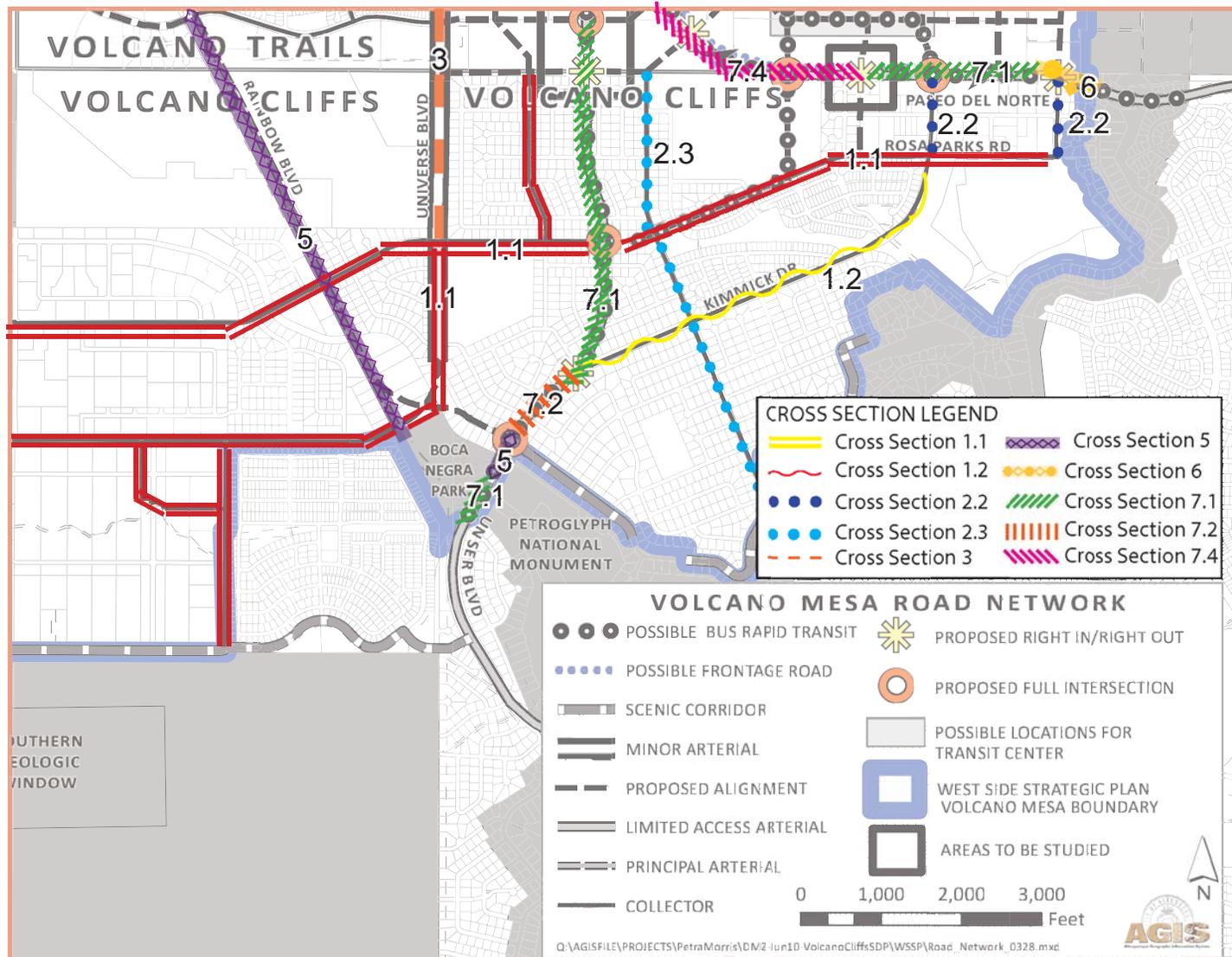


TABLE 2 – STREET TYPES AND CROSS SECTIONS

Cross Section	Programmed ROW	# Vehicular Lanes	Vehicular Travel Lane Widths / Transit Lane Widths	Bike Lane / Buffer*	On-Street Parking*	Pedestrian Sidewalk Width	Landscape / Tree Well	Applicable Sector Plan Area
ST 1.1: Typical Retail Collector  <i>Applicable Streets:</i> <ul style="list-style-type: none"> <li>Rosa Parks</li> <li>Universe Blvd. south of Rosa Parks</li> </ul>	58 feet	2	10 feet	None	7 feet	12 feet	(Within sidewalk width)	VCSDP
ST 1.2: Typical Residential Collector  <i>Applicable Streets:</i> <ul style="list-style-type: none"> <li>Kimmick Dr.</li> </ul>	58 feet	2	10 feet	None	7 feet	6 feet**	6 feet	VCSDP
ST 2.1: Neighborhood Street A	70 feet	2	11 feet	4 feet / 3 feet	7 feet	10 feet	(Within sidewalk width where required)	VHSDP
ST 2.2: Neighborhood Street B  <i>Applicable Streets:</i> <ul style="list-style-type: none"> <li>Kimmick from Paseo to Rosa Parks</li> <li>Calle Nortena from Paseo to Valiente</li> </ul>	72 feet	2 (+ 14' median/turn bay)	10 feet	None	7 feet	6 feet	6 feet	VCSDP
ST 2.3: Neighborhood Street C  <i>Applicable Street: Urraca Rd.</i>	64 feet	2	10 feet	None	7 feet	5 feet	5 feet	VCSDP

\* Includes curb and gutter dimension where element is at the edge of the paved section of the roadway.

\*\* Except where platted at 5 feet at the time of the original adoption of this Plan (May 2011), in which case the total programmed ROW is reduced by 2 feet overall.

TABLE 2 – STREET TYPES AND CROSS SECTIONS (CONT'D)

Cross Section	Programmed ROW	# Vehicular Lanes	Vehicular Travel Lane Widths / Transit Lane Widths	Bike Lane / Buffer*	On-Street Parking*	Pedestrian Sidewalk Width	Landscape / Tree Well	Applicable Sector Plan Area
ST 3: Minor Arterial <i>Applicable Street: Universe Blvd.</i>	77 feet	2 (+ 16' median/center turn bay)	11 feet	5 feet	None	7 feet	5 feet	VCSDP VHSDP
ST 4: Connector Street	84 feet	2 (+ 12' median/turn bay)	10 feet	4 feet / 3 feet	7 feet	12 feet	(optional within sidewalk width)	VHSDP
ST 5: Suburban Boulevard <i>Applicable Streets:</i> • Unser Boulevard at Escarpment • Rainbow Boulevard	128 feet	4	11 feet	7 feet	None	10 feet	10 feet	VCSDP
ST 6: Paseo del Norte at Escarpment	135 feet	4 (+2 transit lanes)	11 / 12 feet	9 feet	None	(See cross section)	None	VCSDP VHSDP

\* Includes curb and gutter dimension where element is at the edge of the paved section of the roadway.

\*\* Except where platted at 5 feet at the time of the original adoption of this Plan (May 2011), in which case the total programmed ROW is reduced by 2 feet overall.

TABLE 2 – STREET TYPES AND CROSS SECTIONS (CONT'D)

Cross Section	Programmed ROW	# Vehicular Lanes	Vehicular Travel Lane Widths / Transit Lane Widths	Bike Lane / Buffer*	On-Street Parking*	Pedestrian Sidewalk Width	Landscape / Tree Well	Applicable Sector Plan Area
<b>ST 7.1: Urban Boulevard A</b>  <i>Applicable Streets:</i> <ul style="list-style-type: none"> <li>• Paseo del Norte from Calle Nortena to Kimmick</li> <li>• Unser Boulevard from southern boundary of Volcano Cliffs to Escarpment</li> <li>• Unser Boulevard from Kimmick to Woodmont</li> </ul>	156 feet	4 (+ 50' median)	11 feet	6 feet	None	10 feet	10 feet	VCSDP
<b>ST 7.2: Urban Boulevard B</b>  <i>Applicable Streets:</i> <ul style="list-style-type: none"> <li>• Unser Boulevard from Escarpment to Kimmick</li> </ul>	156 feet	4 (+36' median)	12 feet	8 feet	None	None	None	VCSDP
<b>ST 7.3: Urban Boulevard C</b>  <i>Applicable Streets:</i> <ul style="list-style-type: none"> <li>• Unser Boulevard from Woodmont to northernmost right-in/right-out in Volcano Heights</li> </ul>	156 feet	4 (+2 slip lanes)	11 / 12 feet	4 feet / 2 feet	None	(See cross section)	(See cross section)	VHSDP
<b>ST 7.4: Urban Boulevard D</b>  <i>Applicable Street: Paseo del Norte from Kimmick to western boundary of Volcano Trails</i>	156 feet	6 (+2 transit lanes)	11 / 12 feet	6 feet / 2 feet	None	10 feet	(Within sidewalk width)	VHSDP VTSDP

\* Includes curb and gutter dimension where element is at the edge of the paved section of the roadway.

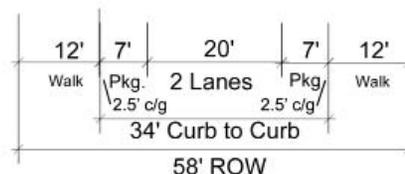
\*\* Except where platted at 5 feet at the time of the original adoption of this Plan (May 2011), in which case the total programmed ROW is reduced by 2 feet overall.

TABLE 2 – STREET TYPES AND CROSS SECTIONS (CONT'D)

Cross Section	Programmed ROW	# Vehicular Lanes	Vehicular Travel Lane Widths / Transit Lane Widths	Bike Lane / Buffer*	On-Street Parking*	Pedestrian Sidewalk Width	Landscape / Tree Well	Applicable Sector Plan Area
ST 8: Transit Boulevard	120 feet	2 (+2 transit lanes)	10 / 12 feet	4 feet / 3 feet	7 feet	12 feet	6 feet	VHSDP
ST 9: Town Center	96 feet	2	11 feet	4 feet / 3 feet	18 feet (reverse-angle)	12 feet	(Within sidewalk width)	VHSDP
ST 10.1: Park Edge – Single-loaded	76 feet	2 (+12' median/turn bay)	11 feet	6.5 feet / 2.5 feet	7 feet (one side only)	10 feet	(Within sidewalk width)	VHSDP
ST 10.2: Park Edge – Double-loaded	70 feet	2	11 feet	4 feet / 3 feet	7 feet	10 feet	(Within sidewalk width)	VHSDP
ST 11: Local Street	52 feet	2	9 feet	None	6 feet	6 feet**	5 feet	VCSDP

\* Includes curb and gutter dimension where element is at the edge of the paved section of the roadway.

\*\* Except where platted at 5 feet at the time of the original adoption of this Plan (May 2011), in which case the total programmed ROW is reduced by 2 feet overall.

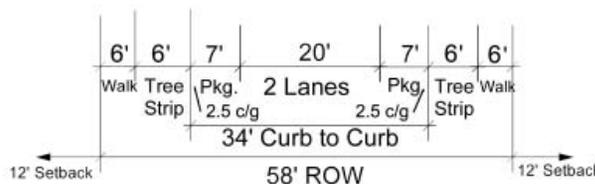
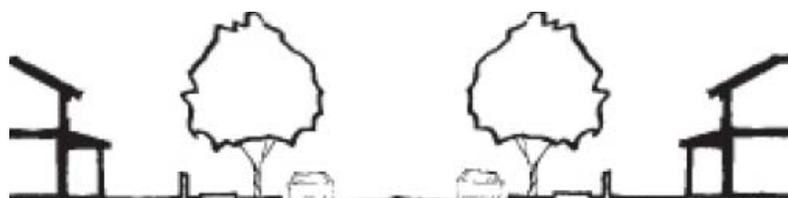


**ST 1.1: Retail Collector**

**Street Type 1.1 – Typical Retail Collector (2 Lanes)**

*Where urban uses like retail, apartment or townhouses are anticipated, parking lanes should also be provided.*

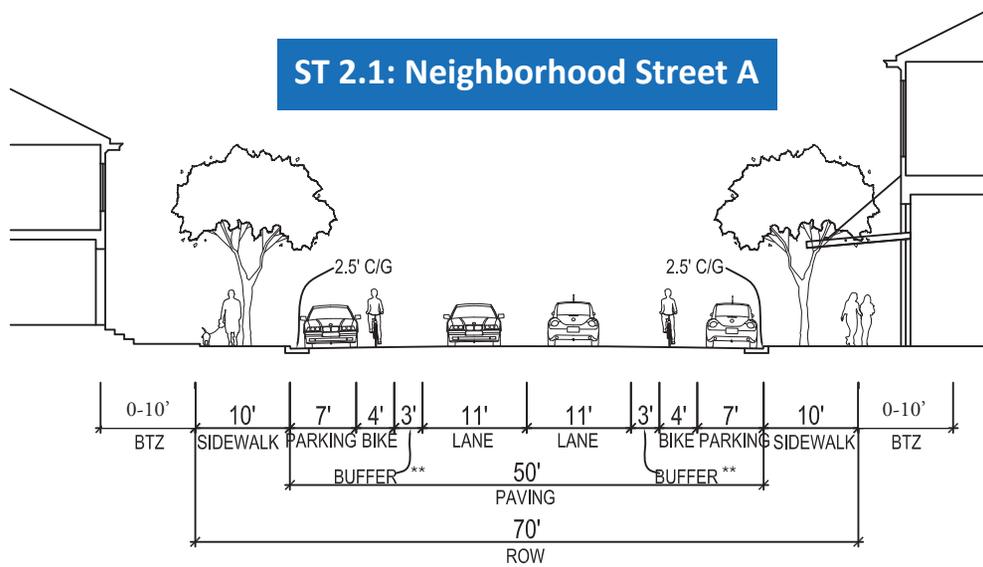
*\* Note: c/g stands for “curb and gutter”*



**ST 1.2: Residential Collector**

**Street Type 1.2 – Typical Residential Collector (2 Lanes)**

*Collectors have two 10-foot travel lanes and parking lanes as shown in Cross Sections 1.1. Collectors are key to creating an outdoor room effect in the interior of pedestrian-oriented centers.*

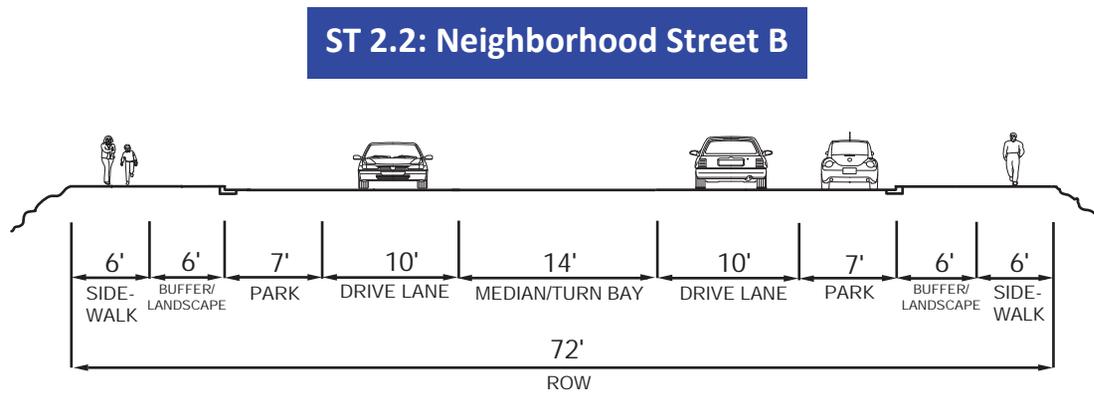


[Note: Cross Section 2.1 is not used within the Volcano Cliffs Plan area]

Street Type 2.1: Neighborhood Street A

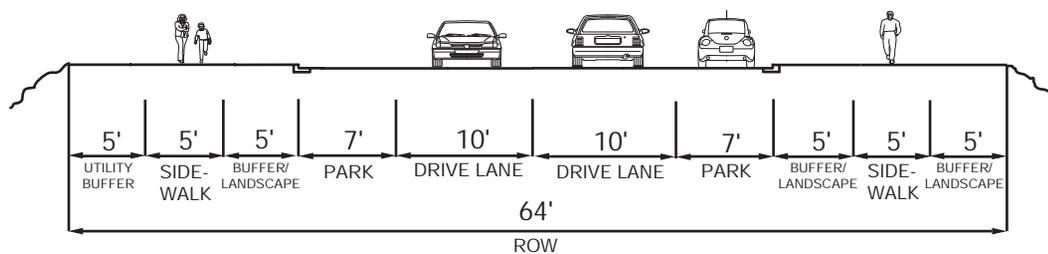
\* Note: C/G = Curb and Gutter

\*\* Note: Buffer = Separation between the bicycle and vehicle lanes.



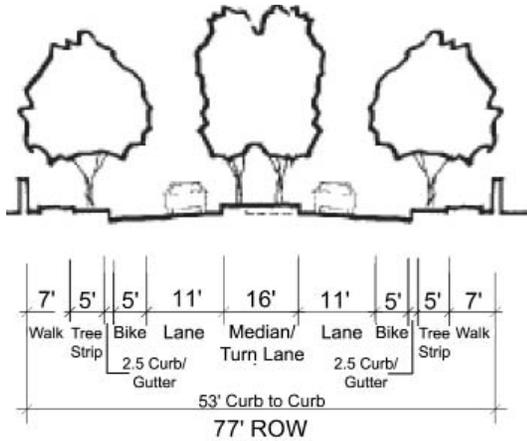
Street Type 2.2: Neighborhood Street B

ST 2.3: Neighborhood Street C



Street Type 2.3: Neighborhood Street C

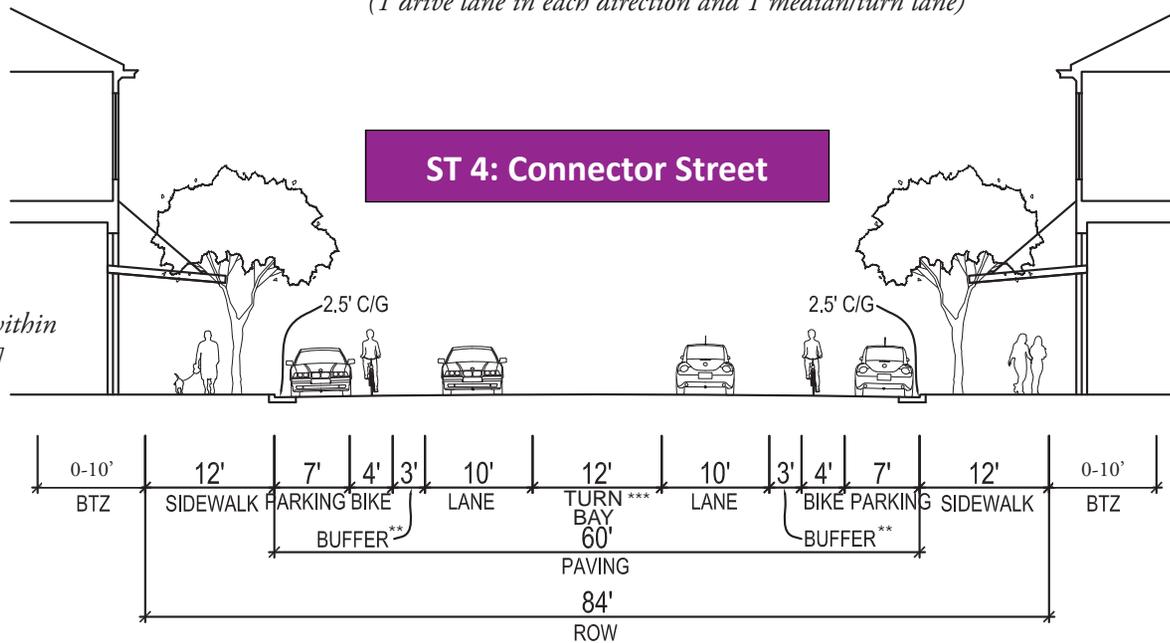
**ST 3: Minor Arterial**



**Street Type 3 – Minor Arterial**  
(1 drive lane in each direction and 1 median/turn lane)

**ST 4: Connector Street**

[Note: Cross Section 4 is not used within the Volcano Cliffs Plan area]

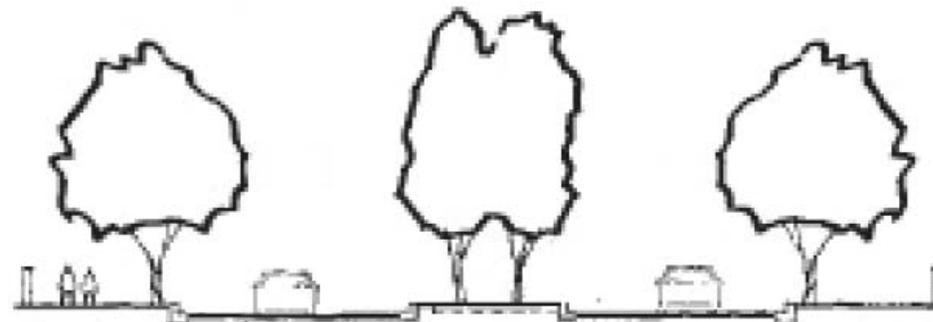


**Street Type 4 – Connector Street**

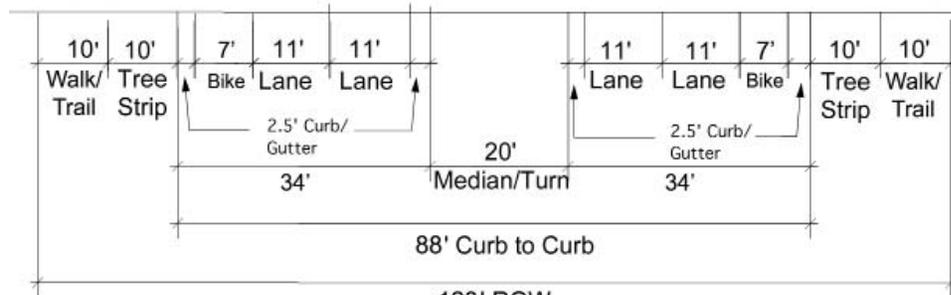
\* Note: C/G = Curb and Gutter

\*\* Note: Buffer = Separation between the bicycle and vehicle lanes.

\*\*\* Note: The center lane is a two-way left-turning lane.

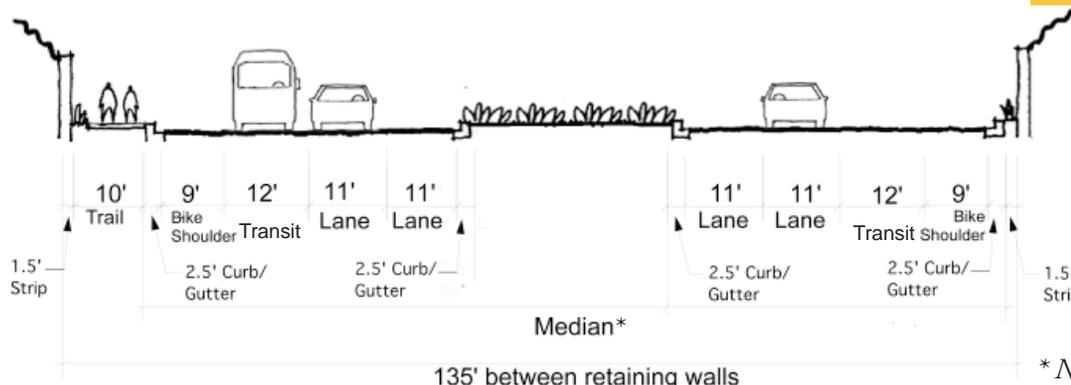


**ST 5: Suburban Boulevard**



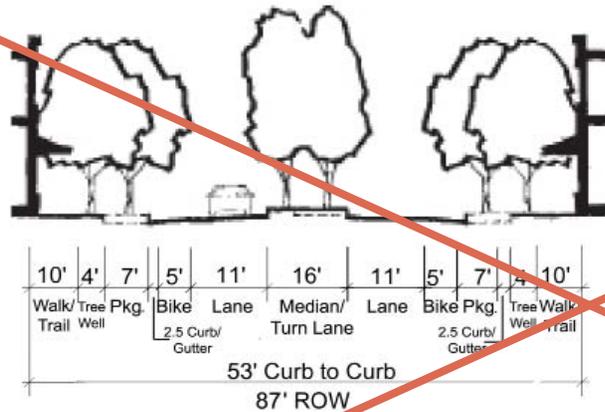
**Street Type 5 – Suburban Boulevard**

**ST 6: Paseo del Norte at Escarpment**



**Street Type 6 – Paseo del Norte at Escarpment**  
(6 lanes with Transit)

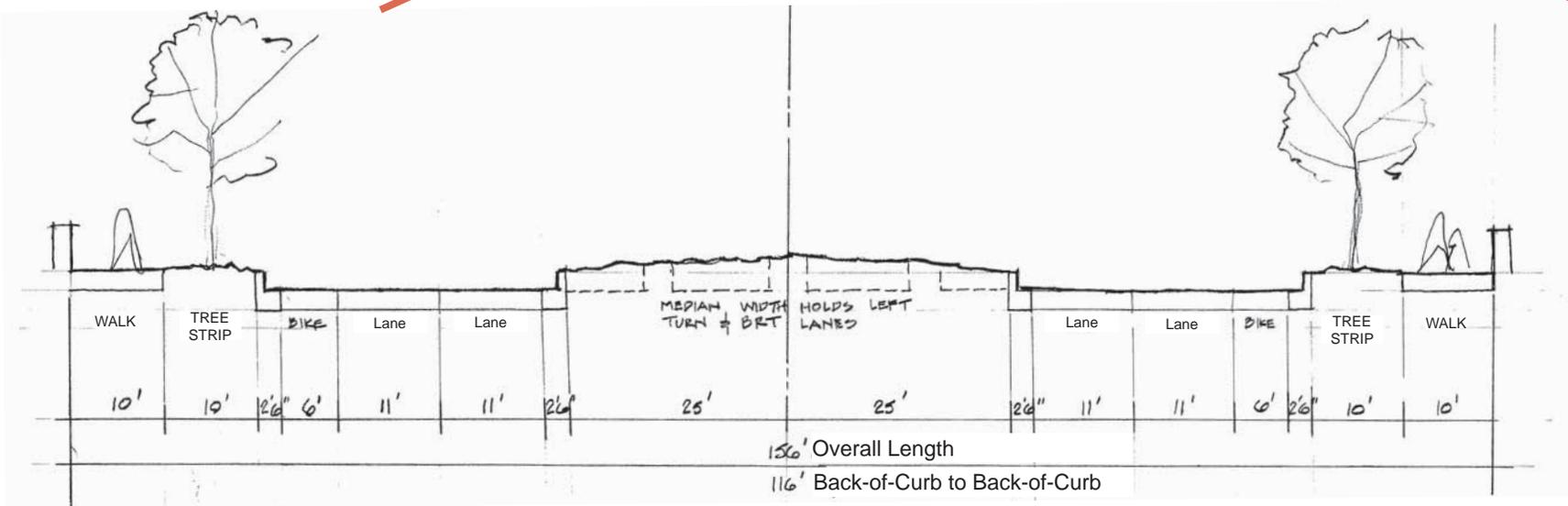
*\* Note: Median width varies according to right-of way through the Petroglyph National Monument*



**ST 7.1: Urban Boulevard A**

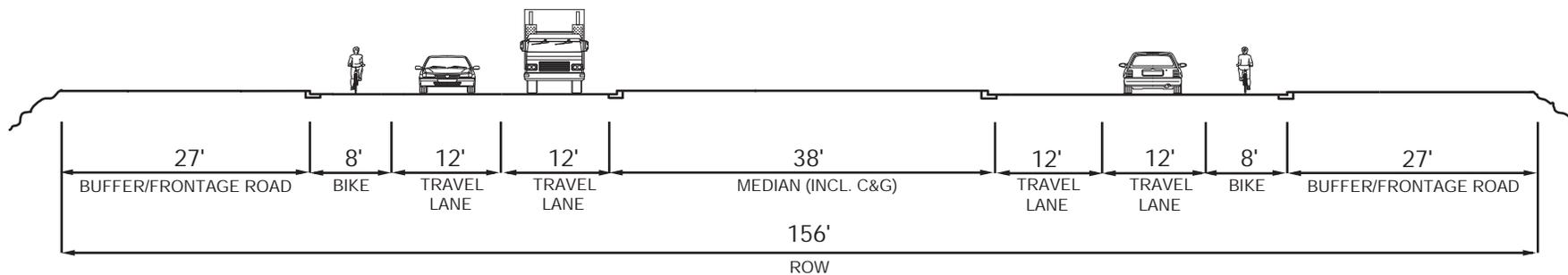
**Cross Section 7, Minor Retail Arterial\*** (With parking lanes where urban uses like retail, apartment, or townhouses are anticipated.)

*\* Note: Cross Section 7 is not used within the Volcano Cliff Plan area*

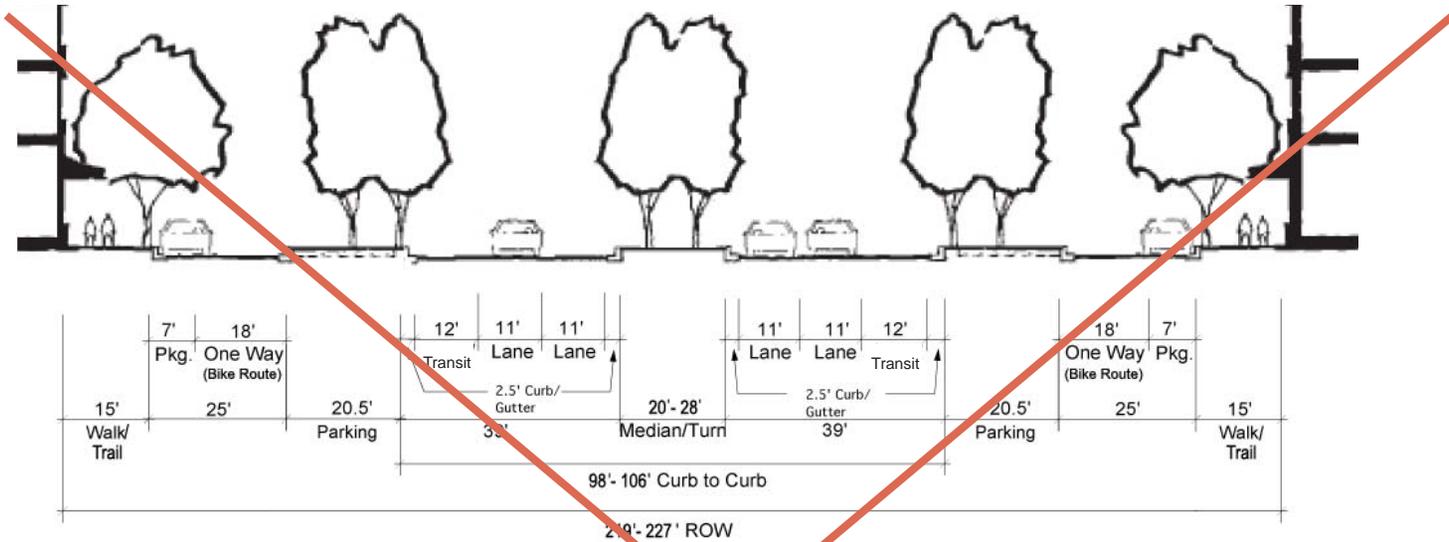


Street Type 7.1 – Urban Boulevard A

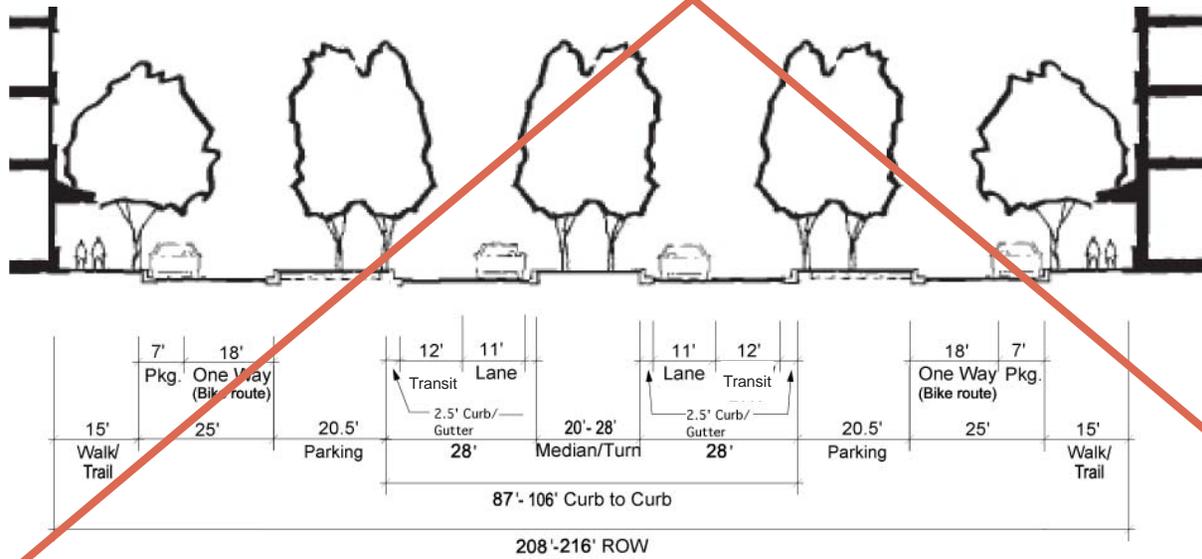
**ST 7.2: Urban Boulevard B**



**Street Type 7.2 – Urban Boulevard B**

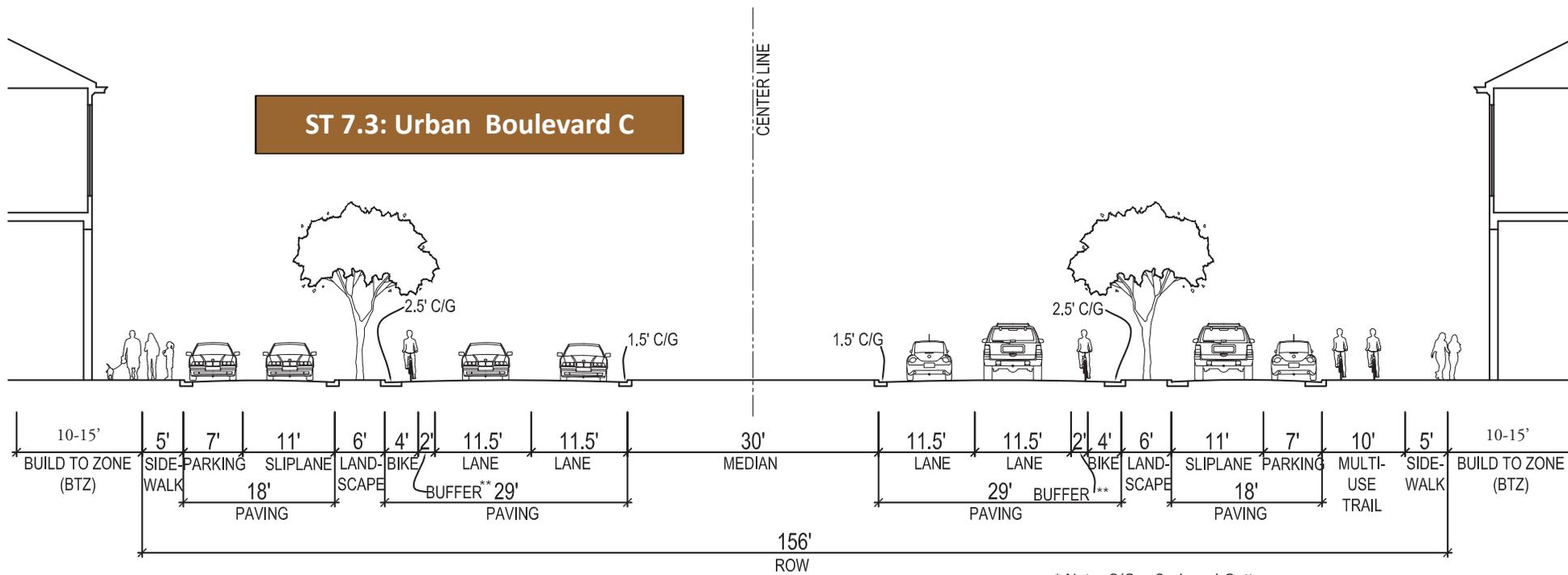


**Cross Section 3, Urban Boulevard – Paseo del Norte** (access/frontage lane on both sides, one-way bike route in access lane)



**Cross Section 4, Urban Boulevard – Unser Blvd.** (access/frontage lane on both sides, one-way bike route in access lane)

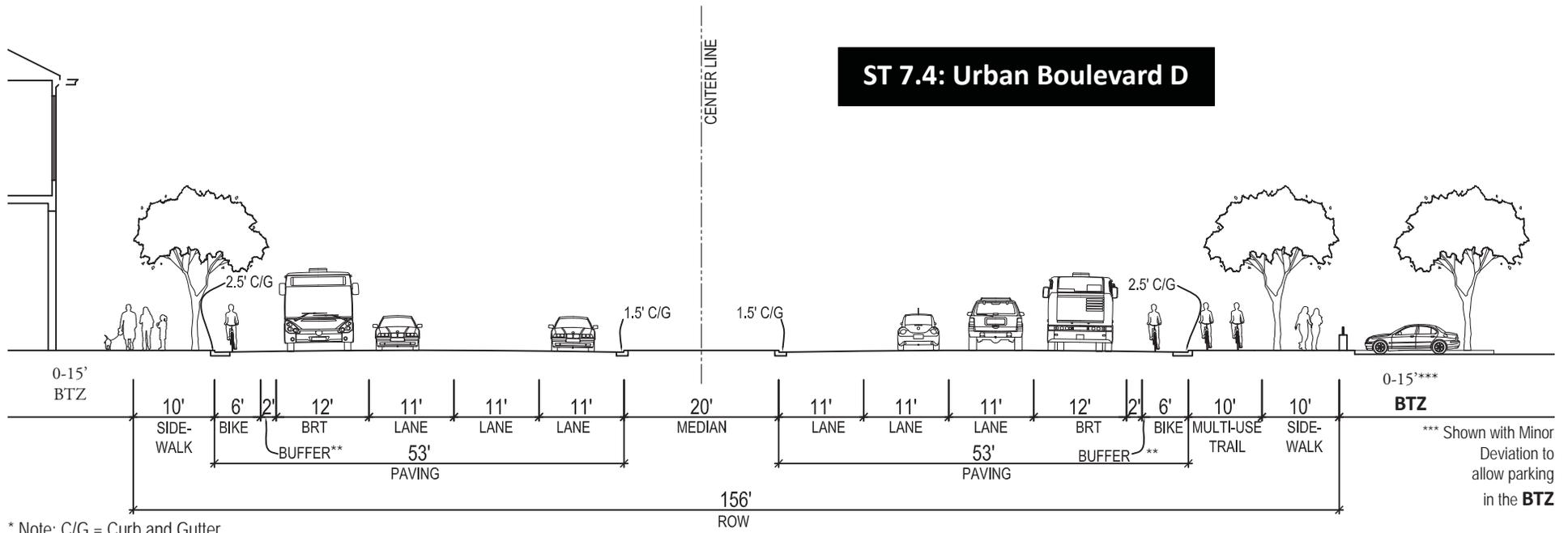
[Note: Cross Section 7.3 is not used within the Volcano Cliffs Plan area]



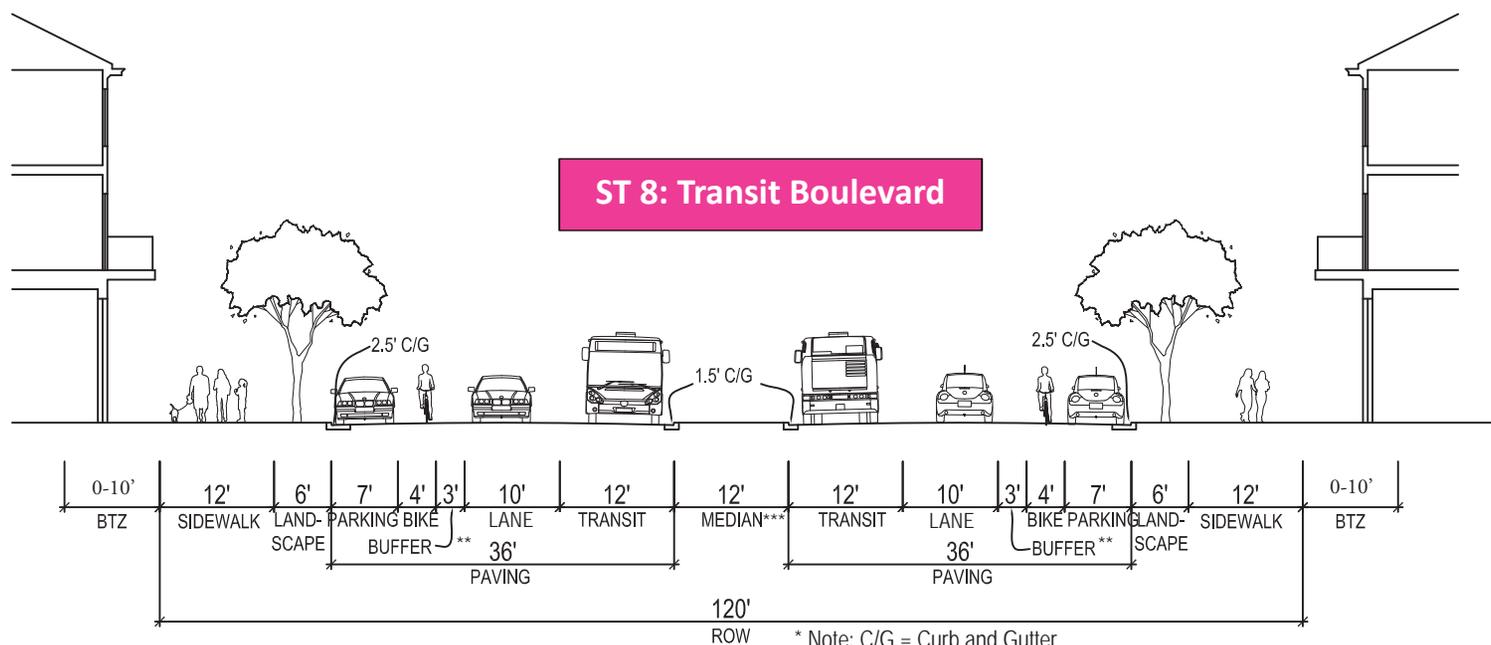
\* Note: C/G = Curb and Gutter

\*\* Note: Buffer = Separation between the bicycle and vehicle lanes.

**Street Type 7.3: Urban Boulevard C**  
(slip lanes both sides)



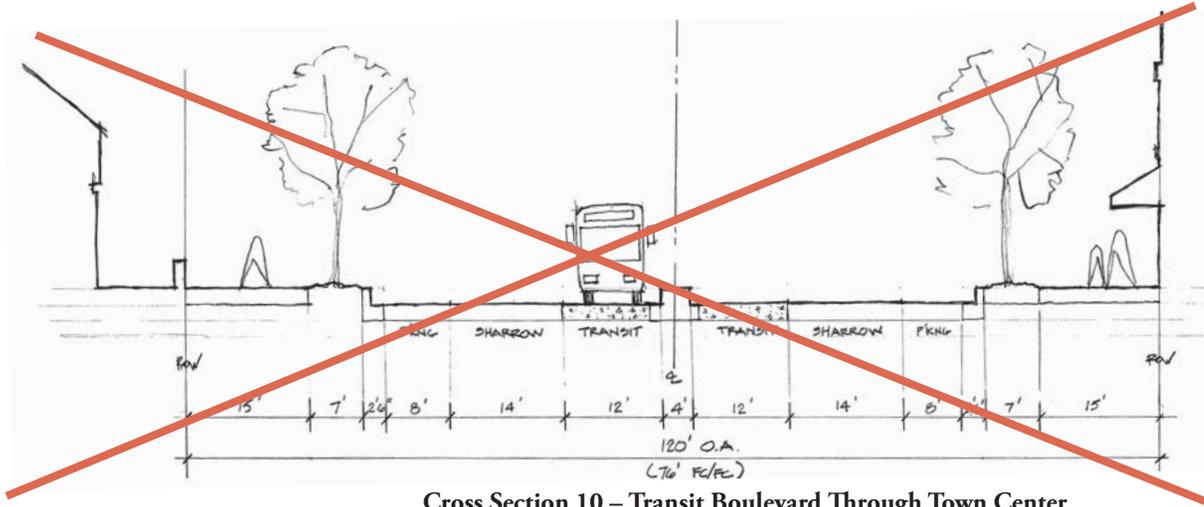
Street Type 7.4: Urban Boulevard D



Street Type 8: Transit Boulevard

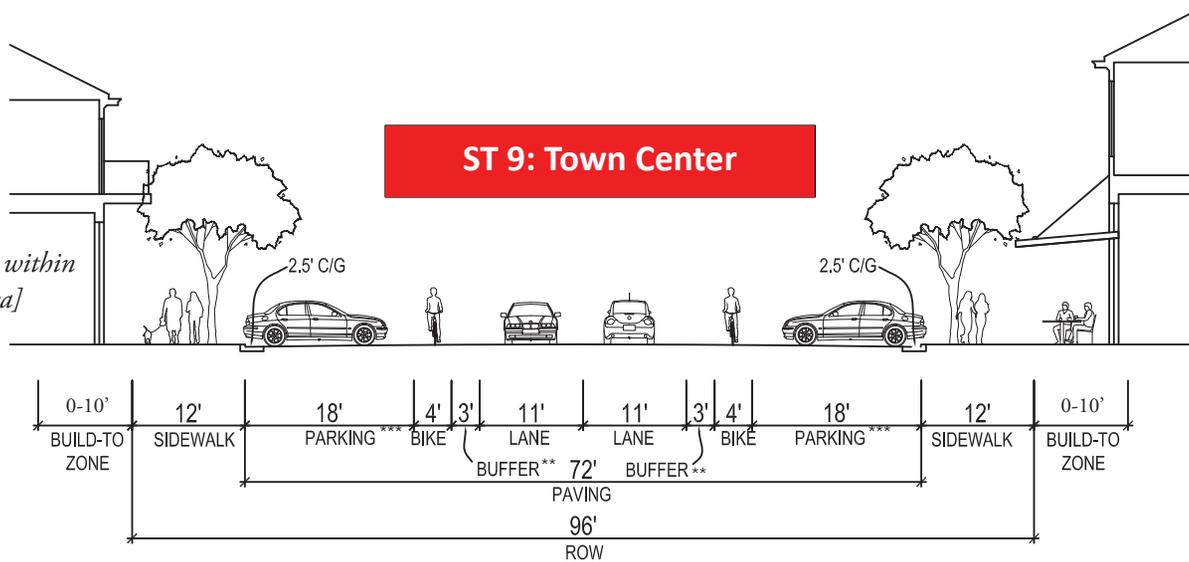
- \* Note: C/G = Curb and Gutter
- \*\* Note: Buffer = Separation between the bicycle and vehicle lanes.
- \*\*\* Note: Median becomes Turn Bay or equivalent in 'B' Street segments.

*[Note: Cross Section 8 is not used within the Volcano Cliffs Plan area]*



Cross Section 10 – Transit Boulevard Through Town Center

[Note: Cross Section 9 is not used within the Volcano Cliffs Plan area]



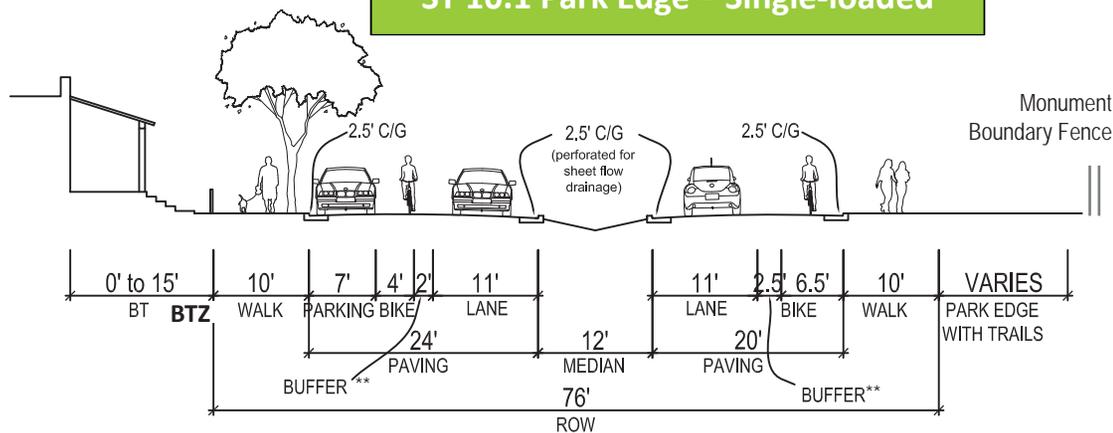
Street Type 9: Town Center

\* Note: C/G = Curb and Gutter

\*\* Note: Buffer = Separation between the bicycle and vehicle lanes.

\*\*\* Note: Parking shown is reverse-angle parking.

**ST 10.1 Park Edge – Single-loaded**



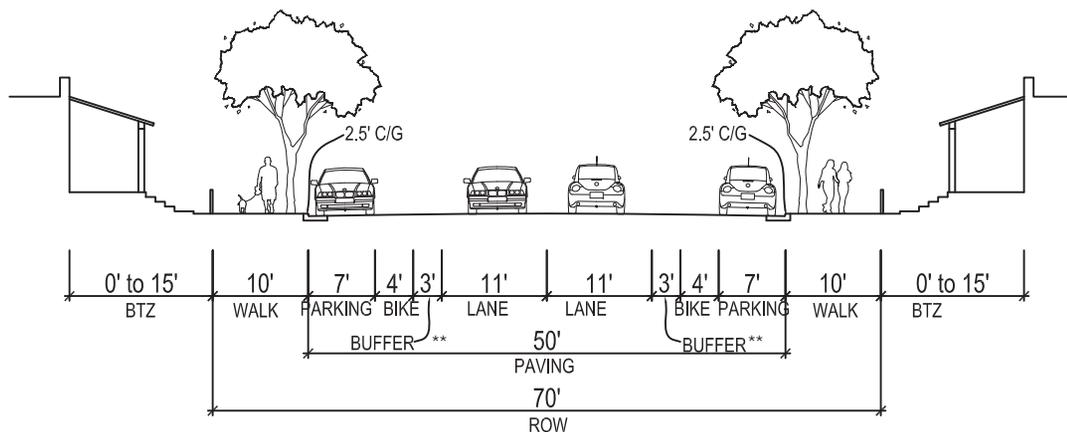
\* Note: C/G = Curb and Gutter

\*\* Note: Buffer = Separation between the bicycle and vehicle lanes.

Street Type 10.1: Park Edge – Single-loaded

*[Note: Cross Section 10 is not used within the Volcano Cliffs Plan area]*

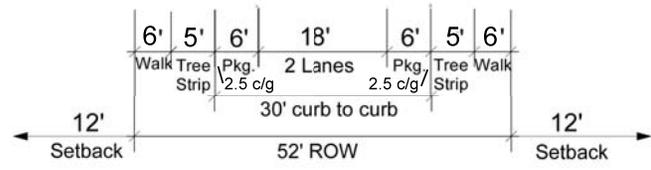
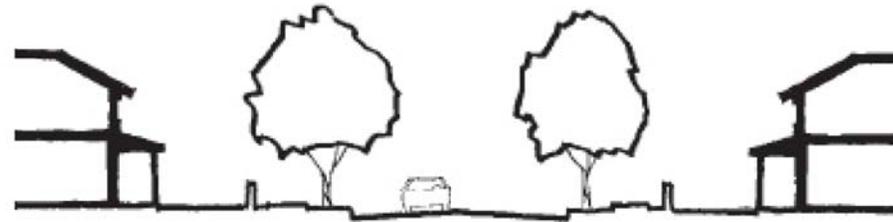
**ST 10.2 Park Edge – Double-loaded**



\* Note: C/G = Curb and Gutter

\*\* Note: Buffer = Separation between the bicycle and vehicle lanes.

Street Type 10.2: Park Edge Double-loaded



\* Note: c/g stands for "curb and gutter"

Street Type 11 – Local Street

**Standard 7: Adopt Street Cross Sections that Ensure Safe Multimodal Design.**

Appropriate street design is critical for providing direct routes to local destinations, disbursing traffic volumes, and ensuring that streets and pedestrian routes are more direct and intimate in scale. Continuous street connections may be accompanied by offset intersections and other traffic-calming features to discourage cut-through traffic on local streets.

- a. **Street Cross Section Diagrams.** The following street cross sections and design shall be adopted with this plan. (See **Exhibit 6**, Volcano Cliffs Sample Cross-Section Locations and subsequent **Cross Sections 1-11**.) It should be noted that the right-of-way (ROW) for each cross section will encompass the stated functions, but the functions may be re-arranged within the right-of-way to meet functional requirements. In addition, each arterial cross-section in this Plan is shown with dedicated transit lanes among its many functions. The actual placement of the transit lanes within the right-of-way, the design of actual routes, and the actual placement of transit stops and centers in or on those rights-of-way is dependent on future specific design.
- b. **On-Street Parking.** On-street parking buffers pedestrians from vehicular traffic and supports sidewalk and abutting activity.
  - i. Where abutting uses have a commercial, industrial, cultural, or educational component, and where residential uses exceed a density of 5 dwellings per **gross net** acre, parking shall be provided on both sides of the local street (except where elimination of a parking lane can help avoid the disturbance of significant natural or archaeological resources). **In this case, on-street parking is intended to serve local uses, buffer pedestrians from moving traffic, and lower vehicular travel speeds to calm traffic.**
  - ii. Where abutting uses are residential with a density of 2-5 dwellings per **gross net** acre, parking shall be provided on only one side of the local street. **Removing unneeded parking and reducing the overall ROW of the road is intended to lower vehicular speeds to calm traffic. In this case, the cross section shown as Street Type 11 shall be adjusted to remove parking on one side, retain curb and gutter, and increase the tree strip width to 6.5 feet in order to result in a total ROW width of 50 feet.**
  - iii. Where density is less than 2 dwellings per **gross net** acre, no on-street parking is required. **Removing unneeded parking and reducing the overall ROW of the road is intended to lower vehicular speeds to calm traffic. In this case, the cross section shown as Street Type 11 shall be adjusted to remove parking on both sides, while retaining curb and gutter on both sides, to result in a total ROW width of 45 feet.**

**Development Process**

1. Individual sites 5 acres in size or greater shall have site development plan submittals reviewed and approved by the Development Review Board (DRB) prior to issuance of any permits.
2. Subdivision of sites 5 acres in size or greater shall be as per a DRB-approved site development plan.
3. Sites less than 5 acres in size shall have a site development plan reviewed and approved administratively by the Planning Director or his/her designee prior to issuance of any permits.
4. All site development plan submittals shall be in accordance with applicable sections of the City Zoning Code, the Volcano Cliffs SDP, and all submittal requirements.

**Development Densities**

Both FAR and dwelling unit (du)/acre need to be addressed in a mixed-use development.

Development densities shall be as follows:

1. Minimum: 0.30 FAR
2. Maximum: None

3. Floor Area Ratio (FAR) shall be defined as the gross floor area of all buildings at all levels, divided by the total site area of the project, minus undevelopable land\* (i.e. gross floor area/[total site area - undevelopable areas]). Parking structures shall not be counted toward the gross floor area.
4. Residential densities:
  - a. Minimum average: 10 dwelling unit (du)/acre
  - b. Maximum average: 40 du/acre
  - c. Residential densities apply to gross developable area for residential uses, exclusive of site constraints such as undevelopable land\* and parks and inclusive of streets and parking.

\* Undevelopable land shall be defined as land that is not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings, as defined in Chapter 5 General Regulation A – Definitions.

**Lot Sizes**

1. No minimum lot size.
2. Lot sizes shall be a maximum of 300 feet wide and 300 feet deep.
3. Lots may exceed 90,000 square feet if a pedestrian street a minimum of 12 feet wide connects a minimum of two public streets through the lot at least every 300 feet measured along the street façade.

**B. BUILDING PLACEMENT AND DESIGN  
Setback and Frontage**

1. Building setbacks (measured from the property line) shall be as follows:
  - a. Front setback:
    - i. Minimum: None
    - ii. Maximum: 10 feet; however, 50% of the building frontage may be set back farther than 10 feet to accommodate patios and courtyards and need not be continuous.
  - b. Side setback:
    - i. Attached: No minimum
    - ii. Non-attached: 5 feet minimum
  - c. Rear setback: 15 feet minimum
  - d. Residential garage setbacks:
    - i. Side setback: No minimum
    - ii. Rear setback: No minimum
    - iii. Property owners seeking to construct a garage on the property line shall obtain a signed maintenance easement from the abutting property owner prior to issuance of a building permit.
    - iv. See Section II-General Standards B.5 for additional requirements.

## SU-2/VCMX. Mixed-Use.

*Mixed-Use zones provide for small offices, shops, community facilities, or townhouses with ground-floor home occupations including office, retail, and service activities at the neighborhood scale extending goods and services to locations that may not be able to support major retail.*

### A. GENERAL

#### Permitted Uses:

SU-1 MX, C-1, and R-2 with the following additions and exceptions:

1. Parking structures shall be permitted with ground floor level uses along the street façade.
2. Single-family detached development is prohibited.
3. Gated and/or walled developments are prohibited.

#### Mixed-Use Requirement

1. In order to develop a well functioning mixed-use environment, all development over 10,000 square feet shall contain two or more of the following uses:
  - Residential
  - Retail/Service
  - Office
  - Civic
  - Entertainment
2. Compliance shall be demonstrated by Master Development or Site Plans. The Planning Director may grant exceptions to property owners with parcels that are a half acre or smaller.

### Development Process

1. Individual sites 5 acres in size or greater shall have site development plan submittals reviewed and approved by the Development Review Board (DRB) prior to issuance of any permits.
2. Subdivision of sites 5 acres in size or greater shall be as per a DRB-approved site development plan.
3. Sites less than 5 acres in size shall have a site development plan reviewed and approved administratively by the Planning Director or his/her designee prior to issuance of any permits.
4. All site development plan submittals shall be in accordance with applicable sections of the Zoning Code, the Volcano Cliffs SDP, and all submittal requirements.

### Development Densities

**Both FAR and dwelling unit (du)/acre need to be addressed in a mixed-use development.**

Development densities shall be as follows:

1. Minimum: 0.3 FAR
2. Maximum: None
3. Floor Area Ratio shall be defined as the gross floor area of all buildings at all levels, divided by the total site area of the project, minus undevelopable land\* (i.e. gross floor area/[total site area - undevelopable areas]). Parking structures shall not be counted toward the gross floor area calculations.

4. Residential densities:
  - a. Minimum: 8 du/acre
  - b. Maximum average: 20 du/acre
  - c. Residential densities apply to gross developable area for residential uses, exclusive of site constraints such as undevelopable land\* and parks and inclusive of streets and parking.
  - d. Minimum lot size is 2,200 square feet.

\* Undevelopable land shall be defined as land that is not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings, as defined in **Chapter 5 General Regulation A – Definitions**.

## B. BUILDING PLACEMENT AND DESIGN

### Setback and Frontage

1. Building setbacks (measured from the property line) shall be as follows:
  - a. Front setback: No minimum  
10 feet maximum; however, 50% of the building frontage may be set back further than 10 feet to accommodate patios and courtyards.
  - b. Side setback:
    - i. Attached: No minimum
    - ii. Non-attached: 5 feet minimum
  - c. Rear setback: 15 feet minimum

- d. Residential garage setbacks:
  - i. Side setback: No minimum
  - ii. Rear setback: No minimum
  - iii. Property owners seeking to construct a garage on the property line shall obtain a signed maintenance easement from the abutting property owner prior to issuance of a building permit
  - iv. See **Section II-General Standards B.5** for additional requirements.

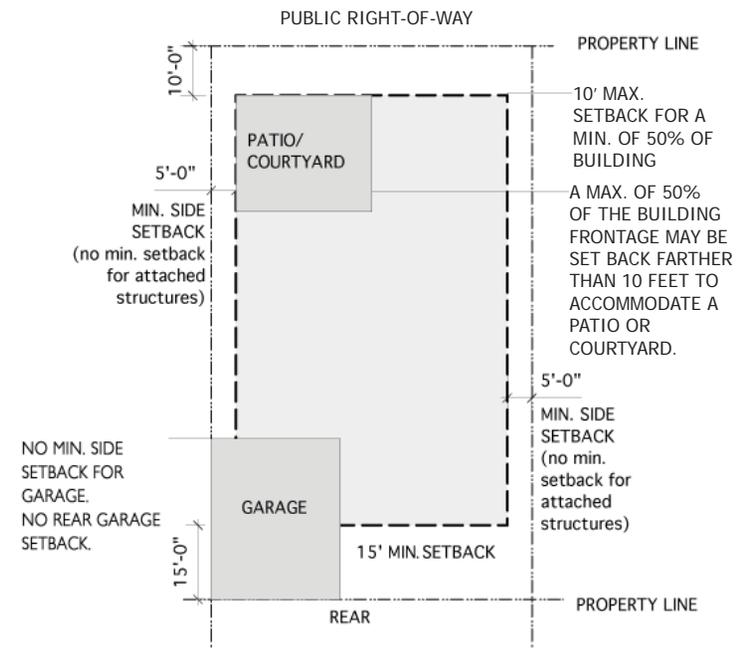


Figure 3, SU-2/VCMX Building Placement Diagram

## SU-2/VOLCANO CLIFFS URBAN RESIDENTIAL (VCUR)

**SU-2/VCUR. Urban Residential.**

Urban Residential areas provide for a variety of urban housing types within a network of livable, pedestrian-friendly streets, including: courtyard housing, loft apartments, patio homes, townhouses, duplexes and detached single-family homes on small lots.

**A. GENERAL****Permitted Uses**

R-T, R-G, and R-2, with the following additions and exceptions:

1. A minor second dwelling unit up to 650 square feet associated with a single-family detached dwelling unit shall be permitted except in the front yard.
2. Parking structures shall be permitted underground.
3. Gated and/or walled developments are prohibited.

**Development Process**

1. Individual sites 5 acres in size or greater shall have site development plan submittals reviewed and approved by the Development Review Board (DRB) prior to issuance of any permits.
2. Subdivision of sites 5 acres in size or greater shall be as per a site development plan administratively approved by the Planning Director or his/her designee prior to issuance of any permits.
3. Sites less than 5 acres in size shall proceed directly to Building Permit.

4. All site development plan submittals shall be in accordance with applicable sections of the Zoning Code, the Volcano Cliffs SDP, and all submittal requirements.

**Development Densities**

Development densities are as follows:

1. Minimum: 8 du/acre
2. Maximum: 20 du/acre
3. Minimum lot size: 2,200 square feet
4. Residential densities apply to gross developable area for the primary dwelling unit, exclusive of site constraints such as undevelopable land and parks, exclusive of minor secondary dwelling unit, and inclusive of streets and parking. **Undevelopable land shall be defined as land that is not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings, as defined in Chapter 5 General Regulation A – Definitions.**

**B. BUILDING PLACEMENT AND FORM**  
**Setback and Frontage**

1. Building setbacks (measured from the property line) and shall be as follows:
  - a. Front setback: 5 feet minimum  
15 feet maximum
  - b. Side setback:
    - i. Attached: No minimum
    - ii. Non-attached: 5 feet minimum

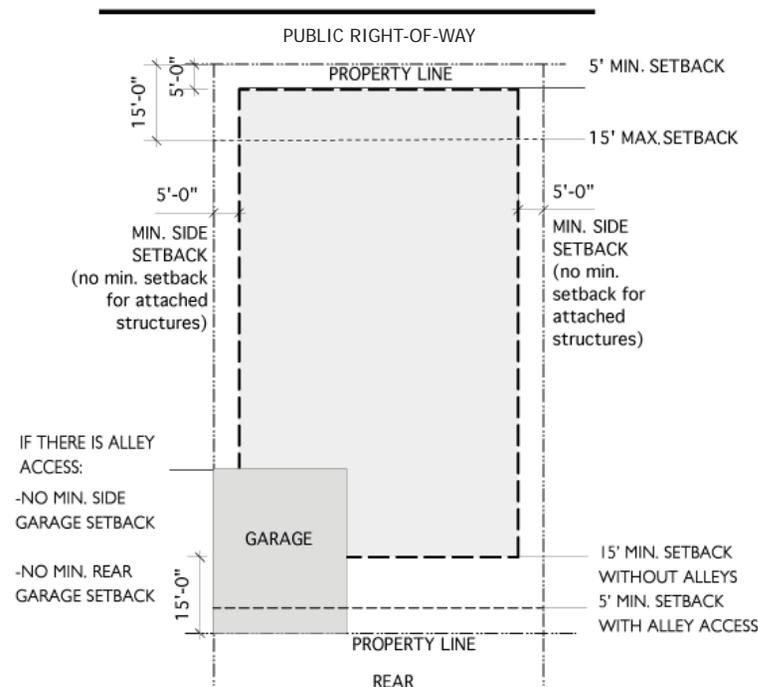


Figure 4, SU-2/VCUR Building Placement Diagram

## SU-2/VOLCANO CLIFFS LARGE LOT (VCLL)

**SU-2/VCLL. Large Lot.**

*Large Lot areas consist of single family homes on lots larger than typical single family development, respecting the existing Volcano Cliffs residential platting, built in a way that complements the natural environment, preserves significant view corridors, and contains visible private open space.*

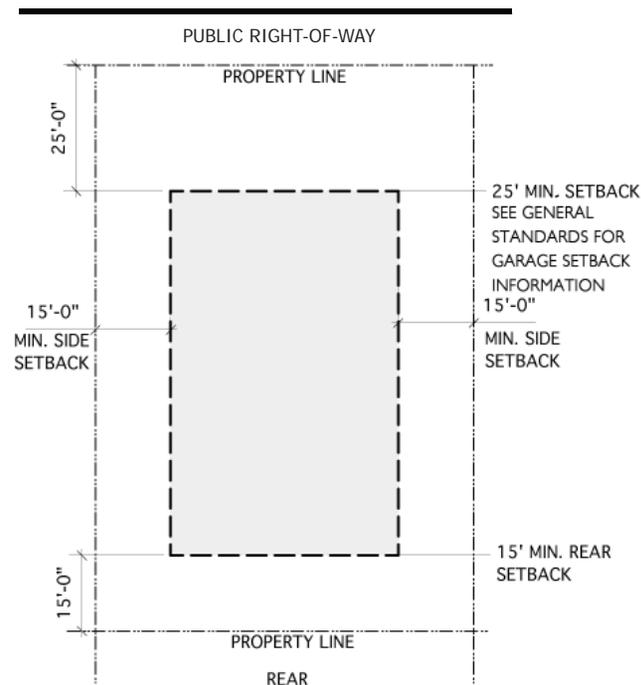


Figure 5, SU-2/VCLL Building Placement Diagram

**A. GENERAL****Permitted uses**

R-1 with the following additions and exceptions:

1. A minor second dwelling unit up to 650 square feet associated with a single-family detached dwelling unit shall be permitted except in the front yard.
2. Gated and/or walled developments are prohibited.

**Development Densities**

Development densities are as follows:

1. Minimum: None
2. Maximum: 5 du/acre
3. Platted lots existing at the time of adoption of this Plan that do not meet these standards are allowed to develop with 1 dwelling unit per lot.
4. Residential densities apply to gross developable area for the primary dwelling unit, exclusive of site constraints such as undevelopable land and parks, exclusive of minor secondary dwelling unit, and inclusive of streets and parking. **Undevelopable land shall be defined as land that is not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings, as defined in Chapter 5 General Regulation A – Definitions.**

**B. BUILDING PLACEMENT AND FORM****Setback and Frontage**

1. Building setbacks (measured from the property line) and shall be as follows:
  - a. Front setback: 25 feet minimum
  - b. Side setback: 15 feet minimum
  - c. Rear setback: 15 feet minimum
  - d. Residential garages shall be set back from the front façade. (See **Section II-General Standards B.5** for additional requirements.)
2. See **Section II-General Standards A and B** for additional requirements.

**Height**

1. Building height limits are as follows:
  - a. Minimum: None
  - b. Maximum: 18 feet; however, height can be increased to 26 feet on a maximum of 50% of the building footprint.
2. See **Section II-General Standards A and B** for additional requirements.

**Building Articulation**

1. Transparency: At least 25% of the area of the street-facing elevations shall be comprised of windows and/or entrances.
2. Each dwelling unit shall address the street with one of the following three options. In the case of a developer constructing 3 or more dwelling units, at least 2 of every 3 shall incorporate a porch. (See **Section II-General Standard B.8** for additional requirements.)

Options:

- a porch or stoop at least 5 feet in depth
- a walled courtyard with entrance easily visible from the public right-of-way
- a window on the front façade that directly faces the street

3. See **Section II-General Standards B** for additional requirements.

**C. LANDSCAPE REQUIREMENTS**

**Residential Landscape**

1. Minimum one tree and 40% vegetative cover in front of all single-family lots.
2. Residential landscape by individual landowners shall require approximately 30% of the lot area to be private open space.
3. Landscape plants used in private open space are to be species from **Chapter 5 General Regulation C** – Plant List A and/or Plant List B. 2. (See **Section II-General Standards C.9** for additional requirements.)
4. Xeriscaping must use a permeable weed barrier, not plastic, to optimize permeability.
5. The private open space may include active utility easements and side yard utility easements that contain maintenance roads.
6. See **Section II-General Standards C** for additional requirements.

**Walls and Fences**

1. Perimeter wall and fence heights shall be per City Zoning Code Section 14-16-3-19.
2. Walls and fences shall be in colors consistent with the approved colors in **Chapter 5 General Regulation B**. ~~Split rail, rail and post, or similar view fencing in colors consistent with the approved colors in **Chapter 5 General Regulation B** shall be used for corrals or yards on the perimeter of any conservation area or Major Public Open Space boundary.~~

3. On the perimeter of any conservation area or Major Public Open Space boundary, only post and wire or view fencing shall be used. ~~In the Rural Residential area post and wire, or view fencing shall be used on the perimeter of any conservation area or Major Public Open Space boundary.~~
4. See **Section II-General Standards C.1** for additional requirements.

**Review Process**

1. No extraordinary review necessary if SU-2/VCLL regulations and General Standards are met.
2. A landscape plan for the front yard, meeting these Landscape Requirements and the General Standards, shall be submitted with building permit application.

**D. USABLE OPEN SPACE REQUIREMENTS**

None required.

**E. PARKING**

1. Parking Calculations are as follows:
  - a. Residential: 1/dwelling unit minimum
2. See **Section II-General Standards E** for additional requirements.

## SU-2/VOLCANO CLIFFS RURAL RESIDENTIAL (VCRR)

**SU-2/VCRR. Rural Residential.**

*Rural Residential areas provide for bigger homes on larger lots consistent with the current platting. Clustered housing is encouraged to conserve the area's natural terrain and beauty. The Rural Residential area is surrounded on three sides by the Petroglyph National Monument. This unique location deserves appropriate development standards that reflect the distinctive context.*

**A. GENERAL****Permitted Uses**

R0-1, RA-1, RA-2, and R-1 with the following exceptions:

1. A minor second dwelling unit up to 650 square feet associated with a single-family detached dwelling unit shall be permitted except in the front yard.
  - i. Minor second dwelling units are not permitted if developed as Private Commons Development.
2. Multiple single family houses are permitted on a single lot.
3. Gated and/or walled developments are prohibited.

**Development Densities**

Development densities are as follows:

1. Minimum: None
2. Maximum: 1 du/gross acre
3. If developed as Private Commons Development (PCD)/Cluster Development per City Zoning Code Section 14-16-3-16, dwelling units shall be clustered on a minimum of 2 acres to a maximum density of 3 du/gross acre.
  - i. Minimum lot size for PCD: 2 acres
  - ii. Maximum: 3 du/gross acre
  - iii. Process and standards are as outlined in City Zoning Code Section 14-16-3-16.
4. Residential densities apply to gross developable area for the primary dwelling unit, exclusive of site constraints such as undevelopable land and parks, exclusive of minor secondary dwelling unit, and inclusive of streets and parking. **Undevelopable land shall be defined as land that is not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings, as defined in Chapter 5 – General Regulations A. Definitions.**
5. Lots less than 1 gross acre platted prior to adoption of this plan may have 1 dwelling unit, regardless of size, but must be developed as per the SU-2/VCRR regulations and General Standards.

**C. LANDSCAPE REQUIREMENTS****Residential Landscape**

1. Minimum one tree and 40% vegetative cover in front of all single-family lots.
2. Residential landscape by individual landowners shall require approximately 30% of the lot area to be private open space.
3. Landscape plants used in private open space are to be species from **Chapter 5 General Regulation C** – Plant List A and/or Plant List B.
4. Xeriscaping must use a permeable weed barrier, not plastic, to optimize permeability.
5. The private open space may include active utility easements and side yard utility easements that contain maintenance roads.
6. See **Section II-General Standards C** for additional requirements.

**Walls and Fences**

1. Perimeter wall and fence heights shall be per City Zoning Code Section 14-16-3-19.
2. **Only** split rail, rail and post, or **similar** view fencing in colors consistent with the approved colors in **Chapter 5 General Regulation B** shall be used for corrals or yards, **or portions thereof, not sharing a boundary with on the perimeter of** any conservation area or Major Public Open Space boundary.

3. ~~On the perimeter of any conservation area or Major Public Open Space boundary, only post and wire or view fencing shall be used. In the Rural Residential area post and wire, or view fencing shall be used on the perimeter of any conservation area or Major Public Open Space boundary.~~
4. See **Section II-General Standards C** for additional requirements.

**Review Process**

1. No extraordinary review necessary if VCRR regulations and General Standards are met.
2. Private Commons Development requires DRB review and approval as outlined in City Zoning Code Section 14-16-3-16.
3. A landscape plan for the front yard, meeting these Landscape Requirements and the General Standards, shall be submitted with building permit application.

**D. USABLE OPEN SPACE REQUIREMENTS**

1. None required unless land is developed as Private Commons Development, in which case development must follow City Zoning Code Section 14-16-3-16.

**E. PARKING**

1. Parking Calculations:  
Residential: 1/dwelling unit minimum.
2. See **Section II-General Standards E** for additional requirements.

**A. GENERAL DESIGN STANDARDS**

Where the Volcano Cliffs Sector Development Plan and the Northwest Mesa Escarpment Plan (NWMEP) conflict, the more restrictive regulation applies, unless otherwise stated in this Plan. Within applicable boundaries, where one plan is silent, the other prevails, unless otherwise stated in this Plan. (See **Exhibit 8** for the relevant NWMEP boundaries affecting the Volcano Mesa.)

The General Regulations of City Zoning Code Section 14-16-3 shall apply with the following additions and exceptions.

**Heights and Setbacks**

Building heights and setbacks beyond those set by zoning shall be limited adjacent to the Escarpment face, the Petroglyph National Monument, Major Public Open Space, and arroyos in order to preserve views, reduce visual impact, and minimize the environmental impacts of development. Building heights and setbacks shall be established by zoning with the following exceptions for areas adjacent to the Escarpment face, the Petroglyph National Monument, Major Public Open Space, and arroyos:

1. **Height Restrictions near for areas within 200 feet of the Escarpment Face.** Per Policy 12-1 of the NWMEP, For those areas designated Impact in the NWMEP and/or within 200 feet of the Escarpment face, structure height shall not exceed 15 feet. There shall be no exception to the 15 foot height limit. **Exhibit 9**, Volcano Mesa Escarpment Map shows the lots within 200 feet of the Escarpment face, while **Exhibit 8** shows the area designated Impact in the NWMEP.
2. **Setbacks from the Escarpment Face.** No structure shall be placed within 50 feet of the top or the base of the Escarpment face; fences shall be allowed at a distance of greater than 30 feet of the Escarpment face. No irrigation systems, construction, or alteration of the natural terrain shall occur within 50 feet of the top or base of the Escarpment face. Fences shall not be allowed within 30 feet of the Escarpment face. Any construction within the setback area shall be certified geotechnically sound by the City Engineer, so as not to cause a threat to the public safety. (See **Exhibit 9**, Volcano Mesa Escarpment Map.)
3. **Setbacks from Petroglyphs.** Development, trails, and recreation areas shall be set back at least 50 feet from prehistoric petroglyphs or other sites with high archaeological value, unless approved by Planning Director (or his/her designee).
  - a. No petroglyph shall be defaced, altered, or moved without approval of a National Park Service representative from the Petroglyph National Monument in consultation with City of Albuquerque Open Space Division staff.

- b. All other archaeological sites shall be protected or mitigated per City Zoning Code §14-16-3-20. Site treatment shall include preservation, avoidance, testing, or documentation of surface and/or subsurface remains and/or artifacts.
- c. All rock outcroppings containing petroglyphs shall be protected per City Zoning Code §14-16-3-20.

4. **Arroyo Easements.** No development shall occur within the drainage right-of-way of the North and the Middle Forks of the Boca Negra Arroyo. These drainage corridors shall remain as undisturbed desert with natural vegetation, rock formation, and drainage-ways intact. Naturalistic channel design shall retain as much undisturbed desert vegetation insofar as practicable. Streets shall be located outside of the drainage easement. There are no additional height restrictions for properties adjacent to arroyos; heights are per the zoning of the site. (See **Exhibit 4** for arroyo locations and **Figure 1** for Naturalistic Arroyo Cross Section Diagram.)

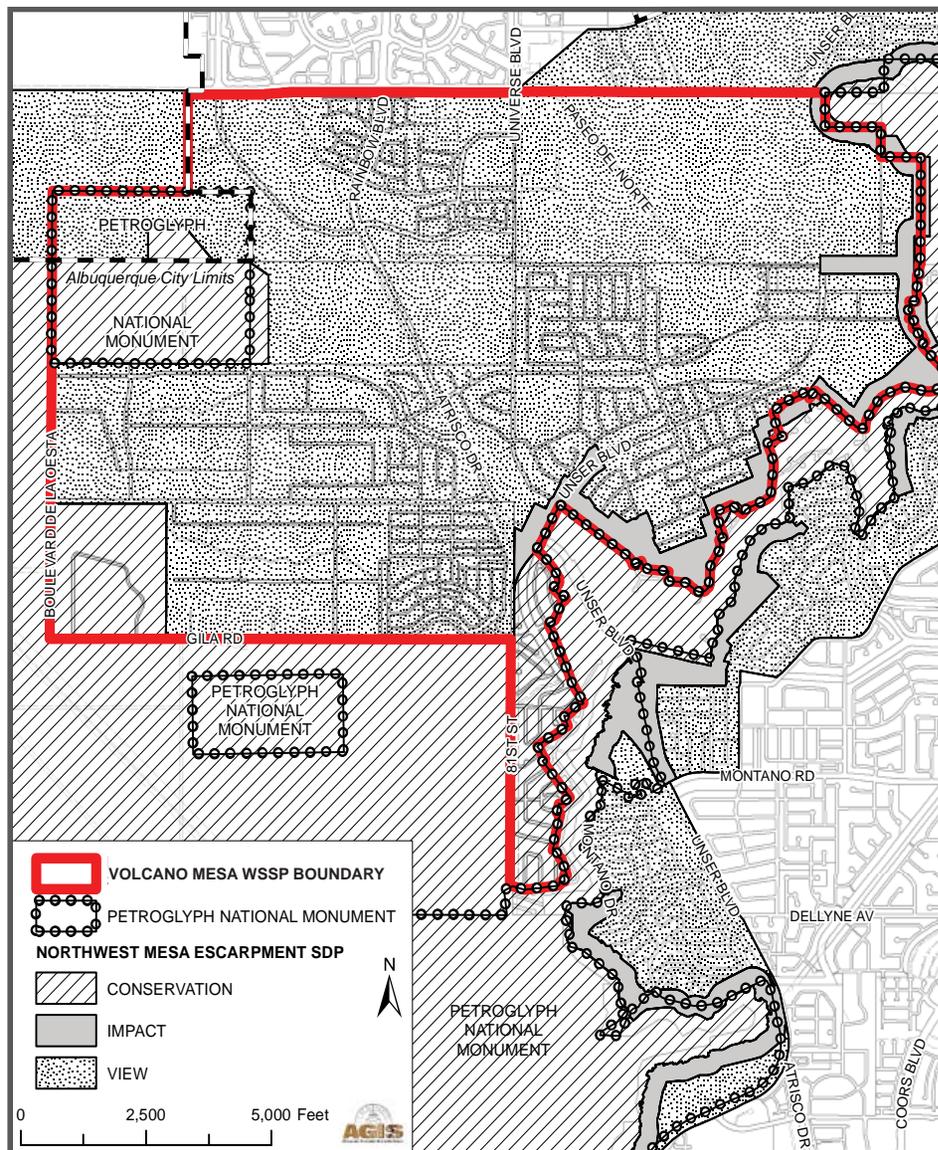


Exhibit 8, Northwest Mesa Escarpment Plan and Volcano Mesa Boundaries

**Utilities**

1. **Easements.** In the SU-2/VCLL-Large Lot and SU-2/VCRR-Rural Residential zones, 10-foot utility easements for electric, gas, telephone, and cable shall be dedicated in street-facing setbacks behind the curb on private property. In all other zones, 10-foot utility easements shall be located in alleys, if available. Where there is no alley, utility infrastructure shall be placed in a planting strip a minimum of 4 feet wide between the back of the curb and the sidewalk or pedestrian pathway, provided it does not encroach upon the pedestrian realm and is located on the edge or side of property and as far away from the main entrance and pedestrian access paths as possible.
  - a. In order to facilitate pedestrian movement and maintain accessibility, utility infrastructure such as poles, transformers, boxes, and access panels shall be planned for minimal visual intrusion and mobility impediment to pedestrians not be located in the sidewalk or pedestrian realm.
  - b. Overhead and underground electric distribution lines are typically located within public utility easements (PUE) or private easements. They are compatible with other “dry” utilities such as cable, telephone, and fiber optic facilities. The width of the PUE is typically 10 feet in order to provide necessary clearances for safety.
  - c. Water lines, sewer lines and storm water drainage or “wet” utilities are not compatible with “dry” utilities, and separation is required for safety purposes. Dry utility easements (e.g., electric, cable, phone, fiber optics) and wet utility easements (e.g., water, sewer) are located subject to provisions of all applicable codes including the New Mexico Electrical Safety Code for safety reasons.
2. **Clearance.** ~~Ground-mounted transformers and utility pads shall allow 5 feet of clearance on 3 sides, and 10 feet of clearance on the access side, including screening and vegetation.~~
  - a. Any screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5 feet of clearance on the remaining 3 sides for access and to ensure work crew and public safety during maintenance and repair.
  - b. Non-permanent use of clearance, such as for parking, is permitted. All uses shall require an encroachment agreement with PNM.
  - c. Aesthetic improvements, such as painting, are encouraged to minimize visual impact of ground-mounted utility equipment. PNM may have guidelines for the most appropriate types of paint and/or other materials to use. Any identifying numbers shall not be obscured. All improvements are subject to removal as necessary for repair and/or maintenance.
  - d. Trees and shrubs planted in the PUE should be planted to minimize impacts on facilities maintenance and repair. They are subject to removal as necessary for repair and/or maintenance.



**B. BUILDING DESIGN STANDARDS**

The following standards apply to all development within the Plan area.

1. **Exterior Finishes.** Wall finishes may be stucco, masonry, adobe, and/or native stacked stone (or synthetic equivalent). Plain block, wood, and reflective panels shall not be used as an exterior finish. Veneer materials shall extend around exterior corners at least one foot. Brick coping and trims as per traditional New Mexico architectural styles are encouraged. Steel and synthetic wood substitutes are permitted for trim and detailing. (For freestanding walls see **Section II.C.1. Walls & Fences**).
2. **Massing and Articulation.** Building massing and articulation shall be developed so that no more than 60 feet of wall may occur without a change in material and/or an offset vertically or horizontally of at least 24 inches.
3. **Roofs.** Reflective and Mansard roofs are prohibited. Parapets shall hide flat roofs. Solar panels are allowed.
4. **Color.** Colors used on building walls and roofs shall be earth tones and meet reflectivity standards consisting of “Approved Colors” specified in **Chapter 5 General Regulation B** in this Plan. Other colors may only be used as accents. Buildings throughout shall not use highly reflective surfaces. Mechanical devices, roof vents, screening materials, fences and walls are also subject to this regulation. Trim materials constituting less than 10% of the façade’s opaque surface may be any color.
5. ~~**Residential Garages.** Garages shall not dominate the front façade. Street fronting garages shall be per the requirements of **Table 2**. Garages shall not exceed 50% of the total front façade.~~
  - a. ~~Garage doors shall be set back a minimum of 2 feet from the garage facade to create a “shadow box” that minimizes the prominence of the garage door.~~
  - b. ~~Three-car garages are not permitted on lots less than 48 feet wide. Three-car garages on lots greater than 48 feet wide shall have a third garage setback of 3 feet minimum from the primary garage façade.~~
  - c. ~~On lots less than 48 feet, property owners intending to build garages on the property lot line shall submit a platted and filed maintenance easement agreement signed by the adjacent property owner prior to being issued a building permit.~~
  - d. ~~The color of garage doors shall blend with or complement the exterior wall color in order to minimize the prominence of the garage door. (See **B. Building Design Standards 9. Color** for additional requirements.)~~
  - e. ~~See **Table 2** for additional garage requirements.~~

II – GENERAL STANDARDS

LOT WIDTH	ALLOWABLE GARAGE TYPES	FRONT GARAGE SETBACK	SIDE GARAGE SETBACK	REAR GARAGE SETBACK
GREATER THAN 48 FEET	A, B, C, D, E, F	20' MINIMUM	5' MINIMUM	2' MINIMUM 5' MAXIMUM
40 FEET TO 48 FEET	A, B, C, D, E	20' MINIMUM	NONE	2' MINIMUM 5' MAXIMUM
LESS THAN 40 FEET	A, B, C, E	20' MINIMUM	NONE	2' MINIMUM 5' MAXIMUM

NOTE: 1. Garage Type D shall have a minimum of 5 linear feet of fenestration on the street façade and be articulated to resemble main structure.

NOTE: 2. Garage Type F may be accessed from either front or side.

NOTE: 3. Driveway access from street, including curb cut, is limited to 12 feet for Garage Types A, B, C, D, E, and F except where providing access from alleys.

NOTE: 4. On streets designated Collector or lower, residential garages on corner lots shall be accessed from an alley or side street.

TABLE 2, GARAGE TYPES.

## 5. Residential Garages

### a. Access

- i. Where alleys are available, residential garages shall be accessed via the alley. On streets designated Collector or lower, residential garages on corner lots shall be accessed from an alley or side street.
- ii. Where allowed, townhouses and courtyard apartments shall use rear-loaded garages.
- iii. Front-loaded garages on residential lots less than 40 feet wide shall be prohibited. Garages on these lots shall be either Garage Type A or D in **Figure 7** per the standards in **Table 2**.
- iv. Lots equal to or greater than 40 feet shall use any of the garage types in **Figure 7** per the requirements in **Table 2**.
- v. Front-loaded three-car garages are not permitted on lots equal to or less than 70 feet wide.
- vi. Garage Types D and F may be accessed from either front or side.
- vii. Driveway access, including drive pad but exclusive of wings, is limited to 12 feet for Garage Types B, C, D, E, and F except where providing access from alleys.
- viii. Where allowed, property owners intending to build garages on the property lot line shall submit a platted and filed maintenance easement agreement signed by the abutting property owner prior to being issued a building permit.

### b. Design

- i. The garage façade shall not exceed 50% of the total front façade area, inclusive of porches, so that garages shall not dominate the front façade.
- ii. Three-car garages on lots greater than ~~48~~ 70 feet wide shall have a third garage setback of three (3) feet minimum from the primary garage façade.
- iii. Where there is no setback from the property line, gutters and downspouts shall drain to the street or water harvesting area to avoid impact to abutting lots.

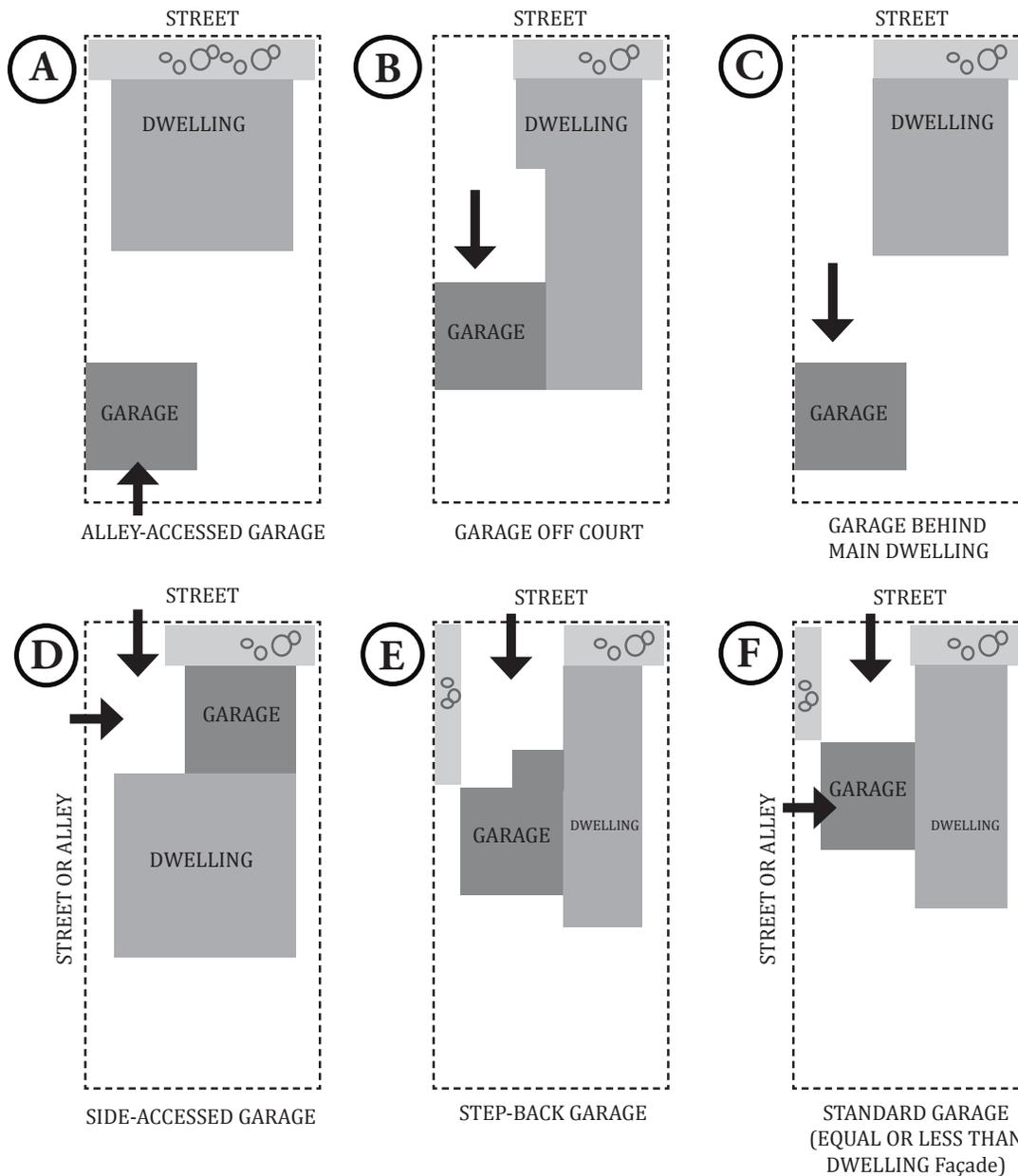
- iv. Individual garage bays shall be no greater than 12 feet wide. For garages with multiple bays, all garage doors shall be divided into single bays separated by at least a 16-inch pier or column.
- v. The color of garage doors shall blend with or complement the exterior wall color in order to minimize the prominence of the garage door.
- vi. Garage Type D shall have a minimum of 5 linear feet of fenestration on the street façade and be articulated to resemble the main structure.

**TABLE 2, GARAGE TYPES\***

Lot Width	Allowable Garage Types*	Front Garage Setback from Main Façade <i>(Front-loaded)</i>	Side Garage Setback from Property Line <i>(Side-accessed)</i>	Rear Garage Setback from Property Line <i>(Rear-loaded)</i>
40+ Feet	A,B,C,D,E,F	10 ft. Minimum	5 ft. Minimum	2 ft. Minimum
Less than 40 Feet	A,D	10 ft. Minimum	5 ft. Minimum	2 ft. Minimum

\* See **Figure 7** – Garage Type Diagrams

*Note: Garage setbacks are minimums only. Building setbacks set by the underlying zone prevail.*



*Note: Diagrams are for illustration only. Diagrams are not to scale. Setbacks are regulated first by zone and secondarily by minimums set in Table 2.*

Figure 7, Garage Type Diagrams

II – GENERAL STANDARDS

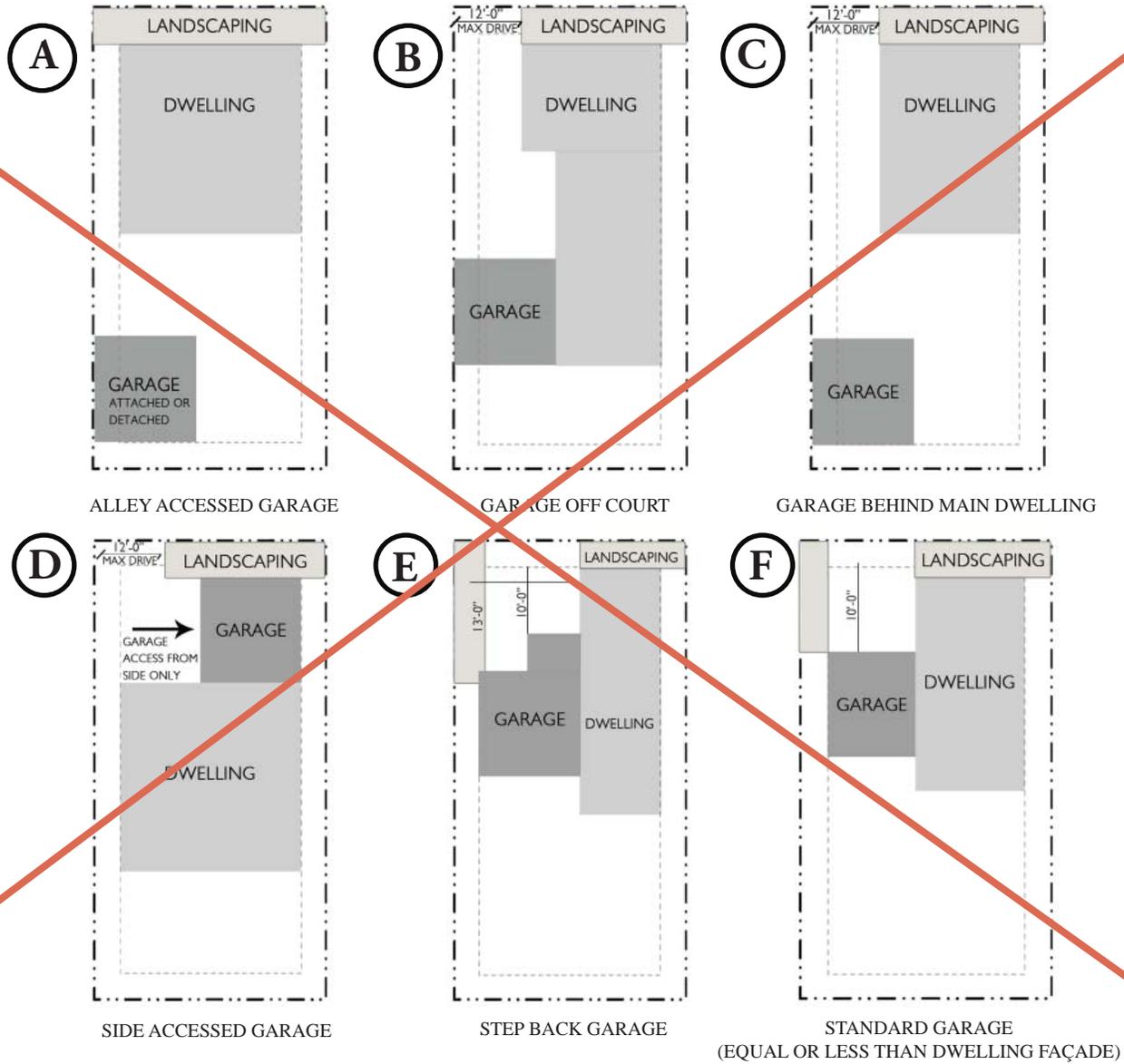


Figure 7, Garage Type Diagrams

9. **Appropriate Plant Lists.** The purpose of regulating plants is to reduce water use, maintain the character of native plants now existing in the Petroglyph National Monument, and provide a harmonious landscape image. Two Plantings from the plant list provided in Chapter 5 General Regulation C shall guide landscaping within the Plan Area. Shrubs and trees shall be nursery grown. Table 3, Permitted Plant List identifies the appropriate plant type – native or xeric – list by area and land use. Land disturbed in development shall be re-vegetated using the appropriate Plant List per Table 3.
- a. **Native Plants List A – Petroglyph National Monument Plant List.** These are plant species selected as appropriate from an inventory of species within the Petroglyph National Monument by the National Park Service in 1994-1995 and represent almost 200 plants (amended). This Plants listed as native in the plant list in Chapter 5 General Regulation C shall be used in specified areas as identified in Table 3.
  - b. **List B – Xeric Plants List.** These plant species were selected as appropriate for Volcano Cliffs from the official xeric or low-water use plant list of the Albuquerque Bernalillo County Water Utility Authority (ABCWUA). The majority of the list is low and medium water-use plants. Some high-water use plants are also listed in order to classify them as such in implementation of the water conservation program. This xeric plant list is extensive and updated periodically by the ABCWUA. Contact the ABCWUA to obtain the most current information. (See contact information provided in Plants listed as xeric in the plant list in Chapter 5 General Regulation C shall be used in specified areas as identified in Table 3.

Areas/Zoning	Native	Xeric
Open Space Areas, Arroyos, Conservation Easements	*	
SU-2/VCVC, SU-2/VCMX SU-2/VCUR, SU-2/VCLL SU-2/VCRR	*	*
Scenic Corridors	*	
Other Roads		*
<i>* allowed</i>		

TABLE 3, PERMITTED PLANT LIST

Areas/Zoning	Plant List A, Native	Plant List B, Xeric
Open Space Areas, Arroyos, Conservation Easements	*	
SU2-VC, SU2-MX, SU2-UR, SU2-LL, SU2-RR	*	*
Scenic Corridors	*	
Other Roads		*
<i>* allowed</i>		

## CHAPTER 5 – GENERAL REGULATIONS

### A – DEFINITIONS

**Private Commons Development** – A residential development of at least two acres that meets the requirements of the City Zoning Code Section 14-16-3-16 for such development. It may contain houses and townhouses on any size lot; it must include a Private Commons Area.

**Public Improvement Districts (PID)** – A designated taxing entity that can finance, construct, or maintain public improvements.

**Ranked Plan** – A hierarchical system of adopted plans used by the City of Albuquerque to ensure that all plans follow the same vision and policies found in the Rank I Albuquerque/Bernalillo County Comprehensive Plan. Rank II plans set policy for large but distinct areas within the City. Rank III plans are for smaller areas and can contain both policy (i.e., guidance) and regulation (i.e., law), per City Zoning Code Section 14-13-2-1.

**Right-of-Way (ROW)** – The total area of land deeded, reserved by plat, or otherwise acquired by the city, the county, or the state, primarily for the use of the public for the movement of people, goods, and vehicles.

**Scenic Corridors** – A corridor pertaining to natural features of the landscape that is visually significant or unique.

**(Building) Setbacks** – The shortest distance between a building and a lot line or future street line.

**Shall** – When the word “shall” is used in this Plan, it is regulatory and a required standard or action.

**Should** – When the word “should” is used in this Plan, it is advisory and/or guidance for future planning and/or development and is not a required standard or action.

**Significant Rock Outcropping** – Bedrock or other stratum a minimum of 6 feet high on its steepest side as measured from the adjacent 10% slope line and in excess of 500 square feet in surface area.

**Special Assessment Districts (SAD)** – An area where an Assessment or tax is imposed against properties within the area because of a public project that benefits the owners in the defined area.

**Street Frontage** – The boundary between a premises and a public right-of-way, whether or not direct access is allowed from the public right-of-way segment to the premises.

# CHAPTER 5 – GENERAL REGULATIONS

## B – APPROVED COLORS

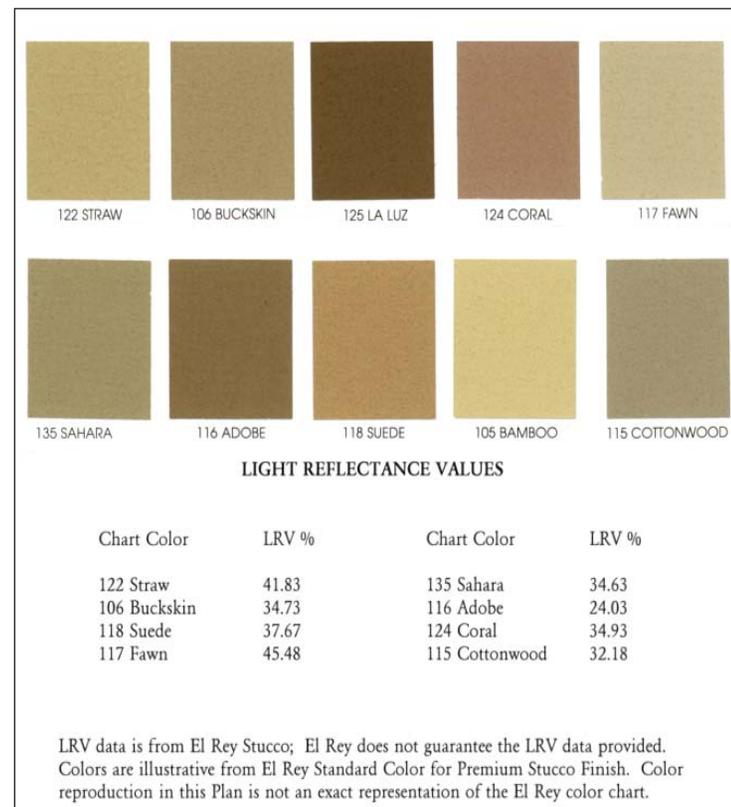
### *Exterior color and reflectivity standards for buildings. residential areas*

~~In any residential area,~~ Exterior building colors shall have a “light reflective value” (LRV) within the 20% to 50% range. Stucco and other materials with colors similar to those illustrated in **Exhibit 11** may be used, as long as they have integral color and meet the standards for reflectivity and harmony with the natural landscape. (See **Chapter 4 Section II - General Standard B.1** for more details about Exterior Finishes permitted by the Plan.)

In keeping with New Mexico tradition, accent colors on front doors, window sash, and other incidental elements up to 20% of a façade area are allowed as long as the accent color does not overwhelm the building’s basic color or create a visual distraction from the adjacent streets, lots, or public areas.

The sample colors illustrated in **Exhibit 11** are stucco with integrated color as manufactured by El Rey traditional cementitious stucco in Albuquerque. El Rey Premium Stucco Finish is a compound of cement, hydrated lime, sand aggregates, and iron oxide pigments. Since the stucco is integrally colored, it will never need to be painted. Like many natural landscapes, the traditional cement stucco is breathable and appears slightly different during each season and at alternate times of the day.

### APPROPRIATE COLORS FROM THE NATURAL LANDSCAPE



**Exhibit 11, Sample Colors within Approved LRV Range**

TABLE 3 – PLANT LIST (TREES)

Scientific Name	Common Name	Native or Xeric	Deciduous or Evergreen	Approx. Height x Width at Maturity (in ft.)
<i>Cercocarpus ledifolius</i>	Curlleaf mountain mahogany	Xeric	Evergreen	12 x 8
<i>Chilopsis linearis</i>	Desert willow	Native	Deciduous	20 x 20
<i>Juniperus monosperma</i>	Oneseed juniper	Native	Evergreen	15 x 15
<i>Juniperus scopulorum</i>	Rocket Mountain juniper, female	Xeric	Evergreen	40 x 20
<i>Juniperus virginiana</i>	Juniper, female	Xeric	Evergreen	20 x 10
<i>Leucana retusa</i>	Golden ball leadtree	Xeric	Deciduous	15 x 15
<i>Melia azedarach</i>	Chinaberry	Xeric	Deciduous	25 x 20
<i>Prosopis glandulosa</i>	Honey mesquite	Xeric	Deciduous	25 x 30
<i>Prosopis pubescens</i>	Screwbean mesquite	Xeric	Deciduous	20 x 20
<i>Prosopis torreyana</i>	Western honey mesquite	Xeric	Deciduous	18 x 20
<i>Prosopis velutina</i>	Velvet mesquite	Xeric	Deciduous	20 x 25
<i>Quercus grisea</i>	Gray oak	Xeric	Evergreen	30 x 30
<i>Quercus suber</i>	Cork oak	Xeric	Evergreen	30 x 30
<i>Quercus turbinella</i>	Shrub live oak	Xeric	Evergreen	18 x 20
<i>Sambucus mexicana</i>	Mexican elder	Xeric	Deciduous	20 x 25
<i>Sapindus drummondii</i>	Western soapberry	Xeric	Deciduous	30 x 30
<i>Zizyphus jujuba</i>	Jujube	Xeric	Deciduous	25 x 25

TABLE 3 - PLANT LIST (SHRUBS)

Scientific Name	Common Name	Native or Xeric	Deciduous or Evergreen	Approx. Height x Width at Maturity (in ft.)
Agave sp.	Agave	Native	Evergreen	varies
Artemisia filifolia Torr	Sand sage	Native	Evergreen	3 x 3
Atriplex canescens	Fourwing saltbrush	Native	Deciduous	5 x 5
Brickellia californica	California brickellbush	Native	Deciduous	3 x 3
Dalea sp.	Purple sage	Native	Deciduous	5 x 5
Dasyilirion sp.	Sotol	Xeric	Evergreen	5 x 5
Fallugia paradoxa	Apache plume	Native	Deciduous	5 x 5
Fouquieria splendens	Ocotillo	Xeric	Deciduous	15 x 10
Krascheninnikovia lanata	Winterfat	Native	Deciduous	5 x 5
Nolina microcarpa	Beargrass	Xeric	Evergreen	5 x 6
Opuntia sp.	Prickly pear	Native	Evergreen	varies
Rhus trilobata	Skunkbush sumac	Native	Deciduous	3 x 3
Ribes sp.	Gooseberry	Native	Deciduous	5 x 3
Yucca sp.	Yucca	Native	Evergreen	varies

TABLE 3 – PLANT LIST (FORBS, GRASSES, AND GROUNDCOVERS)

Scientific Name	Common Name	Native or Xeric	Approx. Height x Width at Maturity (in inches)
<i>Abronia villosa</i>	Sand verbena	Native	1 x 4
<i>Andropogon saccharoides</i>	Silver beardgrass	Native	2.5 x 2
<i>Aristida purpurea</i>	Purple threeawn	Native	1 x 1
<i>Artemisia ludoviciana</i>	Prairie sage or white sagebrush	Native	3 x 3
<i>Asclepias speciosa</i>	Showy milkweeds	Native	2 x 3
<i>Baileya multiradiata</i>	Desert marigold	Native	varies
<i>Bouteloua curtipendula</i>	Sideoats grama	Native	2 x 1
<i>Bouteloua gracilis</i>	Blue grama	Native	1 x 1
<i>Bouteloua eriopoda</i>	Black grama	Native	1 x 1
<i>Elymus elymoides</i>	Bottlebrush squirreltail	Native	varies
<i>Eriogonum annuum</i>	Annual buckwheat	Xeric	1-5 x 2
<i>Gaillardia pulchella</i>	Firewheel	Native	varies
<i>Hilaria jamesii</i>	Galleta	Native	2 x 1
<i>Linum perenne lewisii</i>	Blue flax	Xeric	2 x 2
<i>Mirabilis</i> sp.	Four o'clock	Native	1 x 4
<i>Muhlenbergia porteri</i>	Bush muhly	Native	varies
<i>Oenothera</i> sp.	Evening primrose	Native	1.5 x 4
<i>Oryzopsis hymenoides</i>	Indian ricegrass	Native	varies
<i>Parthenium incanum</i>	Mariola	Native	varies
<i>Penstemon ambiguous</i>	Beardtongue	Native	2 x 1
<i>Phacelia integrifolia</i>	Scorpionflower	Native	1 x 1
<i>Philostrophe taetina</i> (also <i>Psilostrophe taetina</i> )	Paperflower	Native	3 x 3
<i>Sporobolus cryptandrus</i>	Sand dropseed	Native	varies
<i>Zinnia grandiflora</i>	Desert zinnia	Xeric	varies

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## C – NATIVE PLANT LIST A &amp; XERIC PLANT LIST B

**Native Plant List A**

List of Plant Species of Petroglyph National Monument - Plants found by Bleakly during survey from August 1994 through September 1995. One hundred and ninety-two (192) plants from 40 families were identified. Arrangement is alphabetical by family, genus, and species with some synonyms and common names. An asterisk (\*) before the name indicates plants listed in Barlow-Trick (1993). Nomenclature according to Kartesz (1994). Common names from various sources. Number of species in each family are in parentheses after family name. A "pound sign" (#) indicates that a voucher is housed at the UNM Herbarium.

**ADIANTACEAE** Maidenhair Fern Family (1)

*Cheilanthes feei* T. Moore SLENDER LIPFERN #

**AGAVACEAE** Agave or Yucca Family (1)

*Yucca glauca* Nutt. SMALL SOAPWEED

**AMARANTHACEAE** Pigweed Family (3)

*Amaranthus acanthochiton* Sauer GREENSTRIPE #

*Amaranthus wrightii* S. Wats. WRIGHT'S AMARANTH #

*Tidestromia lanuginosa* (Nutt.) Standl. WOOLLY TIDESTROMIA

**ANACARDIACEAE** Sumac Family (1)

*Rhus trilobata* Nutt. SKUNKBUSH, SKUNKBUSH SUMAC

**APIACEAE** (=UMBELLIFERAE) Parsley or Carrot Family (1)

*Cymopterus acaulis* (Pursh) Raf. var. *fendleri* (Gray)

Goodrich (*Cymopterus fendleri* Gray) FENDLER SPRINGPARSLEY #

**ASCLEPIADACEAE** Milkweed Family (1)

*Asclepias subverticillata* (Gray) Vail WHORLED MILKWEED

**ASTERACEAE** (=COMPOSITAE) Sunflower Family (42)

*Acourtia nana* (Gray) Reveal & King (*Perezia nana* Gray) DWARF

DESERT HOLLY, DWARF DESERTPEONY #

*Aphanostephus ramosissimus* DC. PLAINS DOZEDAISY #

*Artemisia bigelovii* Gray BIGELOW'S SAGEBRUSH #

*Artemisia filifolia* Torr. SANDSAGE, SAND SAGEBRUSH

*Artemisia frigida* Wild. FRINGED SAGE

*Artemisia ludoviciana* Nutt. ssp. *albula* (Woot.) Keck WHITE SAGEBRUSH #

\* *Bahia absinthifolia* Benth. #

\* *Bahia dissecta* (Gray) Britt.

*Bahia pedata* Gray BLUNTSCALE BAHIA #

*Baileya multiradiata* Harvey & Gray ex Gray DESERT MARIGOLD #

\* *Berlandiera lyrata* Benth.

*Brickellia californica* (Torr. & Gray) Gray CALIFORNIA BRICKELLBUSH #

*Chaetopappa ericoides* (Torr.) Nesom (*Leucelene ericoides* (Torr.) Greene)

WHITE ASTER

\* *Chrysothamnus nauseosus* (Pallas ex Pursh) Britt. ssp. *bigelovii* (Gray)

Hall & Clements #

*Chrysothamnus pulchellus* (Gray) Greene ssp. *pulchellus*

SOUTHWESTERN RABBITBRUSH #

*Conyza canadensis* (L.) Cronq. CANADIAN HORSEWEED

\* *Gaillardia pinnatifida* Torr. #

*Gaillardia pulchella* Foug. FIREWHEEL

*Gutierrezia sarothrae* (Pursh) Britt. & Rusby BROOM SNAKEWEED #

*Helianthus petiolaris* Nutt. PRAIRIE SUNFLOWER

*Hymenopappus flavescens* Gray var. *canotomentosus* Gray YELLOW-FLOWERED

WHITE RAGWEED, COLLEGEFLOWER #

*Machaeranthera canescens* (Pursh) Gray HOARY TANSYASTER #

\* *Machaeranthera gracilis* (Nutt.) Shinn. (*Haplopappus gracilis*

(Nutt.) Gray) #

*Machaeranthera pinnatifida* (Hook.) Shinn. (*Haplopappus spinulosus*

(Pursh) DC.) LACY TANSYASTER

*Malacothrix fendleri* Gray FENDLER DESERTDANDELION #

*Melampodium leucanthum* Torr. & Gray PLAINS BLACKFOOT #

\* *Microseris* sp. *Palafoxia sphacelata* (Nutt. ex Torr.) Cory OTHAKE #

*Parthenium incanum* Kunth MARIOLA #

*Pectis angustifolia* Torr. var. *angustifolia* NARROWLEAF PECTIS #

*Psilostrophe tagetina* (Nutt.) Greene WOOLLY PAPERFLOWER

*Sanvitalia abertii* Gray ABERT'S CREEPING ZINNIA #

## CHAPTER 5 – GENERAL REGULATIONS

### C – ~~NATIVE PLANT LIST A & XERIC PLANT LIST B~~

~~Senecio flaccidus Less. var. flaccidus (Senecio douglasii DC. ssp. longilobus (Benth.) L. Benson THREADLEAF GROUNDSEL #  
Senecio multicapitatus Greenm. ex Rydb. RAGWORT GROUNDSEL #  
Senecio riddellii Torr. & Gray RIDDELL'S RAGWORT OR GROUNDSEL #  
Stephanomeria pauciflora (Torr.) A. Nels. BROWNPLUME WIRELETTUCE #  
Thelesperma megapotamicum (Spreng.) Kuntze HOPI TEA, GREENTHREAD  
Thymophylla acerosa (DC.) Strother (Dysodia acerosa DC.) PRICKLYLEAF DOGWEED #  
Verbesina enceliodes (Cav.) Benth. & Hook. f ex Gray GOLDENCROWNBEARD, COWPEN DAISY  
Xanthium strumarium L. COCKLEBUR  
Zinnia grandifolia Nutt. ROCKY MOUNTAIN ZINNIA #~~

#### ~~BIGNONIACEAE Bignonia Family (1)~~

~~Chilopsis linearis (Cav.) Sweet DESERT WILLOW~~

#### ~~BORAGINACEAE Borage Family (4)~~

~~Cryptantha cinerea (Greene) Cronq. var. cinerea (C. jamesii Payson var. multicaulis (Torr.) Payson) JAMES' CATSEYE #  
Cryptantha crassisejala (Torr. & Gray) Greene var. elachantha I.M. Johnston. THICKSEPAL CATSEYE #  
Heliotropium convolvulaceum (Nutt.) Gray PHLOX HELIOTROPE  
Lappula occidentalis (S. Wats.) Greene var. occidentalis (L. redowskii (Hornem.) Greene) FLATSPINE STICKSEED #~~

#### ~~BRASSICACEAE (=CRUCIFERAE) Mustard Family (7)~~

~~Descurainia pinnata (Walt.) Britt. WESTERN TANSYMUSTARD #  
Dimorphocarpa wislizenii (Dirklyrea wislizenii)~~

#### ~~SPECTACLE POD: TOURISTPLANT~~

~~Lepidium lasiocarpum Nutt. var. lasiocarpum SHAGGYFRUIT PEPPERWEED #~~

~~\* Lepidium montanum Nutt.~~

~~Lesquerella fendleri (Gray) S. Wats. FENDLER BLADDERPOD #~~

#### ~~CACTACEAE Cactus Family (6)~~

~~Echinocereus fendleri (Engelm.) F. Seitz PINKFLOWERED HEDGEHOG CACTUS  
Escobaria vivipara (Nutt.) Buxbaum (Coryphantha vivipara (Nutt.) Britt. & Rose) SPINYSTAR  
Opuntia clavata Engelm. CLUB CHOLLA  
Opuntia imbricata (Haw.) DC. TREE or WALKINGSTICK CHOLLA  
Opuntia phaeacantha Engelm. BROWNSPINE PRICKLYPEAR  
Opuntia polyacantha Haw. PLAINS PRICKLYPEAR~~

#### ~~CAPPARACEAE Caper Family (1)~~

~~Polanisia dodecandra (L.) DC. ssp. trachysperma (Torr. & Gray) Ilitis SANDYSEED CLAMMYWEED #~~

#### ~~CHENOPODIACEAE Goosefoot Family (5)~~

~~Atriplex canescens (Pursh) Nutt. FOURWING SALTBUCH  
\* Chenopodium desiccatum A. Nels. #  
Chenopodium fremontii S. Wats. FREMONT'S GOOSEFOOT #  
Krascheninnikovia lanata (Pursh) Guldenstaedt (Ceratooides lanata (Pursh) J.T. Howell; Eurotia lanata (Pursh) Moq.) WINTERFAT~~

#### ~~CUCURBITACEAE Gourd Family (1)~~

~~Cucurbita foetidissima Kunth COYOTE or MISSOURI GOURD~~

#### ~~CUPRESSACEAE Cypress Family (1)~~

~~Juniperus monosperma (Engelm.) Sarg. ONESEED JUNIPER~~

#### ~~EPHEDRACEAE Jointfir Family (1)~~

~~Ephedra torreyana S. Wats. TORREY JOINTFIR or MORMON TEA #~~

#### ~~EUPHORBIACEAE Spurge Family (7)~~

~~Chamaesyce parryi (Engelm.) Rydb. PARRY'S SANDMAT or SPURGE #  
Chamaesyce serpyllifolia (Pers.) Small THYMELEAF SANDMAT or SPURGE #  
Chamaesyce serrula (Engelm.) Woot. & Standl. SAWTOOTH SANDMAT or SPURGE #  
Croton texensis (Klotzsch) Muell.-Arg. TEXAS CROTON #  
Euphorbia dentata Michx. TOOTHED SPURGE #~~

## C – NATIVE PLANT LIST A &amp; XERIC PLANT LIST B

\* *Tragia ambylodonta* (Muell.-Arg.) Pax & K. Hoffmann  
*Tragia ramosa* Torr. BRANCHED NOSEBURN

**FABACEAE** (=LEGUMINOSAE) Bean or Pea Family (14)

*Astragalus amphioxys* Gray var. *amphioxys* CRESCENT MILKVETCH #  
*Astragalus ceramicus* Sheld. var. *ceramicus* PAINTED MILKVETCH #  
*Astragalus lentiginosus* Dougl. var. *diphysus* (Gray) Jones SPECKLEDPOD MILKVETCH #  
*Astragalus nuttallianus* DC. SMALLFLOWERED MILKVETCH #  
*Caesalpinia jamesii* (Torr. & Gray) Fisher JAMES' HOLDBACK  
*Dalea compacta* Spreng. var. *compacta* COMPACT PRAIRIECLOVER #  
*Dalea formosa* Torr. FEATHERPLUME  
*Dalea lanata* Spreng. var. *terminalis* (Jones) Barneby WOOLLY PRAIRIECLOVER #  
*Dalea nana* Torr. ex Gray var. *carnescens* Kearney & Peebles DWARF PRAIRIECLOVER #  
*Dalea scariosa* S. Wats. (*Petalostemon scariosa* (S. Wats.) Wemple) ALBUQUERQUE PRAIRIECLOVER #  
*Hoffmannsegia glauca* (Ortega) Eifert INDIAN RUSHPEA  
*Pediomelum hypogaeum* (Nutt.) Rydb. (*Psoralea hypogaea* Nutt.) SCURFPEA #  
*Psoralea scoparius* (Gray) Rydb. (*Dalea scoparia* Gray) BROOM

**DALEA**; PURPLE SAG**FUMARIACEAE** Fumitory Family (1)

*Corydalis aurea* Willd. GOLDEN CORYDALIS, SCRAMBLED EGGS,  
 GOLDENSMOKE, BUTTER AND EGGS

**GROSSULARIACEAE** Gooseberry Family (1)

*Ribes* sp. GOOSEBERRY

**HYDROPHYLLACEAE** Waterleaf Family (4)

*Nama hispidum* Gray BRISTLY NAMA  
*Phacelia crenulata* Torr. var. *crenulata* CLEFTLEAF WILDHELIOLOTROPE #  
*Phacelia integrifolia* Torr. GYPSUM SCORPIONWEED #  
*Phacelia ivesiana* Torr. IVES PHACELIA #

**LINACEAE** Flax Family (2)

*Linum aristatum* Engelm. BRISTLE FLAX

\* *Linum australe* Heller #

**LOASACEAE** Stickleleaf Family (2)

*Mentzelia albicaulis* (Dougl.) Dougl. WHITESTEM BLAZINGSTAR

*Mentzelia pumila* (Nutt.) Torr. & Gray DWARF MENTZELIA #

**MALVACEAE** Mallow Family (5)

*Sida abutilifolia* P. Mill. (*Sida filicaulis* Torr. & Gray)

SPREADING FANPETALS #

\* *Sida neomexicana* Gray

*Spheralcea angustifolia* (Cav.) G. Don ssp. *lobata* (Woot.) Kearney

COPPER GLOBEMALLOW #

*Spheralcea hastulata* Gray (*Spheralcea subhastata* Coult.)

SPEAR GLOBEMALLOW #

*Spheralcea incana* Torr. ex Gray GRAY GLOBEMALLOW #

**NYCTAGINACEAE** Four O'clock Family (7)

*Allionia fragrans* Nutt. ex Hook. FRAGRANT WHITE SAND VERBENA

\* *Allionia choysia* Standl. #

*Allionia incarnata* L. TRAILING WINDMILLS #

*Boerhavia spicata* Choisy (*B. torreyana* (S. Wats.) Standl.) CREEPING SPIDERLING #

\* *Mirabilis glabra* (S. Wats.) Standl. (*Oxybaphus glaber* S. Wats.) #

*Mirabilis linearis* (Pursh) Heimerl NARROWLEAF FOUR O'CLOCK

*Selinocarpus diffusus* Gray SPREADING MOONPOD #

**OLEACEAE** Olive Family (1)

*Menodora scabra* Gray ROUGH MENODORA

**ONAGRACEAE** Evening Primrose Family (2)

*Gaura coccinea* Nutt. ex Pursh SCARLET BEEBLOSSOM

*Oenothera pallida* Lindl. PALE EVENINGPRIMROSE #

**OROBANCHACEAE** Broomrape Family (1)

## CHAPTER 5 – GENERAL REGULATIONS

### C – NATIVE PLANT LIST A & XERIC PLANT LIST B

*Orobancha ludoviciana* Nutt. (*O. multiflora* Nutt.) LOUISIANA  
BROOMRAPE #

#### **PEDALIACEAE** Sesame Family (1)

*Proboscidea louisianica* (P. Mill.) Thelleng COMMON DEVILSCLAW,  
DEVILSHORN, RAMS HORN

#### **PLANTAGINACEAE** Plantain Family (1)

*Plantago patagonica* Jacq. (*P. purshii* Morris) WOOLLY PLANTAIN #  
*Plantago lanceolata* L. NARROWLEAF PLANTAIN

#### **POACEAE** (=GRAMINAE) Grass Family (42)

*Aristida adscensionis* L. SIXWEEKS THREEAWN #  
\* *Aristida arizonica* Vasey  
*Aristida havardii* Vasey HAVARD'S THREEAWN #  
\* *Aristida pansa* Woot. & Standl.  
*Aristida purpurea* Nutt. var. *fendleriana* (Steud.) Vasey  
FENDLER'S THREEAWN #  
\* *Aristida purpurea* Nutt. var. *neallyi* (Vasey) Allred #  
\* *Aristida purpurea* Nutt. var. *purpurea* #  
\* *Bothriochloa barbinodis* (Lag.) Herter #  
*Bothriochloa laguroides* (DC.) Herter ssp. *torreyana* (Steud.) Allred & Gould  
(*Andropogon saccharoides* Sw.) SILVER BEARDGRASS or SILVER  
BLUESTEM #  
*Bouteloua aristoides* (H.B.K.) Griseb. var. *aristoides* NEEDLE GRAMA #  
*Bouteloua barbata* Lag. var. *barbata* SIXWEEKS GRAMA #  
*Bouteloua curtipendula* (Michx.) Torr. SIDEOATS GRAMA  
*Bouteloua eriopoda* (Torr.) Torr. BLACK GRAMA #  
*Bouteloua gracilis* (Willd. ex Kunth) Lag. ex Griffiths BLUE GRAMA  
*Bouteloua hirsuta* Lag. HAIRY GRAMA  
\* *Cenchrus carolinianus* Walt. (*Cenchrus incertus* M.A. Curtis)  
\* *Digitaria californica* (Benth.) Henr.#  
*Elymus elymoides* (R.) Swezey (*Sitanion hystrix* (Nutt.) J.G. Sm.; *Elymus*  
*longifolius* (J.G. Sm.) Gould) SQUIRRELTAIL #  
*Enneapogon desvauxii* Beauv. NINEAWN PAPPUSGRASS #  
*Eriopogon pulchellum* (Kunth) Tateoka (*Dasyochloa pulchella* (Kunth) Willd.  
ex Rydb.) FLUFFGRASS, LOW WOOLLYGRASS #  
*Hilaria jamesii* (Torr.) Benth. (*Pleuraphis jamesii* Torr.) GALLETA #

\* *Koeleria macrantha* (Ledeb.) J.A. Schultes  
(*Koeleria cristata* auct. p.p. non Pers.)  
\* *Lycurus phleoides* Kunth  
*Monroa squarrosa* (Nutt.) Torr. (*Munroa squarrosa* (Nutt.) Torr.)  
FALSE BUFFALOGRASS #  
\* *Muhlenbergia arenacea* (Buckl.) A.S. Hitchc.  
*Muhlenbergia arenicola* Buckl. SAND MUHLY #  
*Muhlenbergia porteri* Scribn. BUSH MUHLY #  
*Muhlenbergia pungens* Thurb. SANDHILL MUHLY #  
*Muhlenbergia torreyi* (Kunth) A.S. Hitchc. ex Bush RING MUHLY  
*Oryzopsis hymenoides* (Roemer & J.A. Schultes)  
Ricker ex Piper INDIAN RICEGRASS  
\* *Poa bigelovii* Vasey & Scribn.  
*Scleropogon brevifolius* Phil. BURROGRASS #  
*Setaria leucopila* (Scribn. & Merr.) K. Schum.  
STREAMBED BRISTLEGRASS #  
\* *Setaria lutescens* (Weigel) F.T. Hubbard ?  
*Sporobolus contractus* A.S. Hitchc. SPIKE DROPSEED  
*Sporobolus cryptandrus* (Torr.) Gray SAND DROPSEED #  
\* *Sporobolus flexuosus* (Thurb. ex Vasey) Rydb. #  
*Sporobolus giganteus* Nash GIANT DROPSEED #  
*Stipa comata* Trin & Rupr. var. *comata* NEEDLEANDTHREAD #  
\* *Stipa neomexicana* (Thurb. ex Coult.) Scribn.  
*Stipa spartea* Trin. PORCUPINEGRASS #  
*Vulpia octoflora* (Walt.) Rydb. (*Festuca octoflora* Walt.)  
SIXWEEKS FESCUE #

#### **POLEMONIACEAE** Phlox Family (1)

*Ipomopsis pumila* (Nutt.) V. Grant DWARF GILIA #

#### **POLYGONACEAE** Knotweed Family (4)

*Eriogonum abertianum* Torr. var. *abertianum* ALBERT BUCKWHEAT #  
\* *Eriogonum effusum* Nutt.  
*Eriogonum polycladon* Benth. SORREL BUCKWHEAT #  
*Eriogonum rotundifolium* Benth. ROUNDLEAF BUCKWHEAT #  
*Rumex hymenosepalus* Torr. CANAIGRE; DOCK #

#### **PORTULACACEAE** Purslane Family (1)

*Portulaca* sp. PURSLANE

C – NATIVE PLANT LIST A & XERIC PLANT LIST B

**RANUNCULACEAE** Crowfoot Family (1)  
Delphinium sp. LARKSPUR

**ROSACEAE** Rose Family (1)  
Fallugia paradoxa (D. Don) Endl. ex Torr. APACHE PLUME

**SALICACEAE** Willow Family  
Salix sp. WILLOW

**SCROPHULARIACEAE** Figwort Family (3)  
Epixiphium wislizenii (Engelm. ex Gray) Munz (Maurandya wislizenii Engelm. ex Gray) BALLOONBUSH #  
Penstemon ambiguus Torr. GILIA PENSTEMON or BEARDTONGUE  
\* Penstemon sp.

**SOLANACEAE** Potato Family (6)  
Chamaesaracha coronopus (Dunal) Gray GREENLEAF FIVE EYES #  
Datura inoxia P. Mill. THORNAPPLE; JIMSONWEED #  
Lycium pallidum Miers PALE WOLFBERRY  
Nicotiana trigonophylla Dunal DESERT TOBACCO #  
Physalis acutifolia (Miers) Sandw. (P. wrightii Gray) SHARPLEAF  
GROUNDCHERRY #  
Solanum elaeagnifolium Cav. SILVERLEAF NIGHTSHADE

**VERBENACEAE** Vervain Family (2)  
Aloysia wrightii Heller ex Abrams WRIGHT'S BEEBRUSH #  
\* Tetradlea coulteri Gray #

**ZYGOPHYLLACEAE** Caltrop Family (2)  
Kallstroemia sp. CALTROP

**Xeric Plant List B**

A list of official xeric or low-water plant species periodically updated by the Albuquerque Bernalillo County Water Utility Authority (ABCWUA).

To obtain the most current information, contact ABCWUA:

Telephone: 505-842-WATR

Website: <http://www.abcwua.org/pdfs/xeriplantlist.pdf>

For additional information, see ABCWUA's How-To Guide to Xeriscaping:  
<http://www.abcwua.org/content/view/73/63/>

### D – CONSTRUCTION MITIGATION

Any damage to the vegetation, slope, or placement of boulders due to or related to construction shall be mitigated as provided herein.

**Standard CM-1:** ~~Grading permits shall only be issued concurrently with building permits for all non-residential and mixed-use developments, as well as residential developments over two lots. Grading permits for commercial lot developments in the Volcano Cliffs Sector Development Plan Area will be issued concurrently with the respective commercial building permits.~~ Grading permits for residential developments greater than 10 acres shall require soil stabilization, approved by the Environmental Health Department, which shall be applied to the disturbed area within three months after grading of the site commences. Grading within public rights-of-way or public drainage easements is exempt.

**Standard CM-2:** Prior to beginning construction, the property owner shall construct a temporary silt fence at the site boundary adjacent to sensitive lands (i.e., the Escarpment Buffer, Major Open Space Area, archaeological site, or public or private conservation area to be maintained in natural desertscape) to effectively protect them from heavy equipment and vehicles. Photographs of the site in its original condition shall be submitted with the application for building permit and subdivision and/or site development plan. Development must comply with the joint Albuquerque and Bernalillo County Fugitive Dust Ordinance found in the New Mexico Administrative Code 20.11.20.

**Standard CM-3:** Prior to beginning construction the property owner shall construct a temporary fence at the parcel boundary within the SU-2/VCLL-Large Lot and SU-2/VCRR-Rural Residential zones to protect the natural desertscape.

**Standard CM-4:** Public- and private-sector projects within the Conservation Area and the Impact Area facing the Escarpment and adjacent to archaeological sites must include geotechnical data and analysis that demonstrates to the satisfaction of the City Engineer that proposed trenching or blasting will not affect the face of the Escarpment, potentially causing erosion or caving of the slopes and boulders and thereby threatening the public safety or welfare or otherwise damage archaeological resources.

**Standard CM-5:** In the selection of alignment and in site design, grading plans shall demonstrate that cut and fill has been kept to a minimum consistent with the standards in this Plan. Generally, the overall topography of the site is not to be substantially altered.

## **Attachment B – Public Comments**



# **Volcano Cliffs Property Owners Association, Inc.**

**P.O. Box 27666, Albuquerque, New Mexico 87125**

January 29, 2014

Mikaela J. Renz-Whitmore  
Planning Department  
City of Albuquerque

sent by email

Subject: Volcano Cliffs SDP Amendment

Dear Mikaela:

As a follow up to our discussion about the amendments to VCSDP we request that one item be added. You probably have to use different wording but here's our thoughts on the amendment.

In the VCRR zone the current amendment allows open view fencing which is appropriate for perimeter, yard or corrals.

Please add text that would allow Patio-Pool-Courtyard walls that meet these standards:

- a.) Must be attached to a dwelling
- b.) Must not infringe on any of the front, side or rear setbacks
- c.) Must be made of materials similar to or complementary to the dwelling
- d.) The total enclosed wall area (any combination of a Patio, Pool, Courtyard) per dwelling unit may be 1000 sq.ft. or 50% of the dwelling square footage whichever is greater. (If a home owner wanted a small walled area in front this would then be deducted from the remaining space allowed in the side or rear.)

Purpose:

Protect and provide privacy for patio and pool areas adjacent to dwellings in a zone that could have significant distances between houses and otherwise requires open view fencing.

Provide security for the home and a secure area for children to play. The Rural Residential area with its low density and openness encourages the roaming of wildlife including coyotes.

Protect areas close to homes from dust and tumbleweeds.

We studied several house plans and discussed with realtors to come up with a size recommendation. A Pool or grass area of 20' X40' would be 800 sq.ft. A homeowner would then need some space for bar-b-que and patio furniture. In this example an area of 1200-1400 sq.ft. would seem reasonable.

This is what the Patio area to home size would look like.

1600 sq.ft. (smallest per some covenants) home could have 1000 sq.ft. walled Patio area

2000 sq.ft. home could have 1000 sq.ft. walled Patio area

2500 sq.ft. home could have 1250 sq.ft. walled Patio area

3000 sq.ft. home could have 1500 sq.ft. walled Patio area

4000 sq.ft. home could have 2000 sq.ft. walled Patio area

Contact information for the VCPOA includes email: [volcanocliffs@hotmail.com](mailto:volcanocliffs@hotmail.com) or free phone message line 1-877-793-8173, or board member phone numbers are listed below.

Sincerely  
Volcano Cliffs Property Owners Association Board

*Dave Heil*

Board of Directors:

Joe Archbold (505) 328-1331, Blake Thompson (Sec.) (505) 328-3117, Patrick Chapman (505) 897-0337, Ralph Davis (Treas) (505) 899-1705, Dave Heil (Pres.) (505)228-7189, Barbara Mueller (505) 898-7755, Bill Wright (505) 872-0523, Kyle Falls (V.P.) (505) 459-3638, Ivan Santestivan (505) 350-3324, Markku Koskelo (505)898-7875, Jim Wiegmann (505) 881-4597, Keith Perry (505) 298-2547

## **Renz-Whitmore, Mikaela J.**

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**From:** Hoffman, Jim <jim.hoffman@alcon.com>  
**Sent:** Thursday, January 30, 2014 2:06 PM  
**To:** Renz-Whitmore, Mikaela J.; Webb, Andrew  
**Subject:** Public Comment - Volcano Mesa Plan Amendments for EPC 2/13/14

Attached are my comments regarding the three Volcano Mesa sector plan updates to be heard at EPC on 2/13/14.

### Volcano Trails

1. Page 7 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed. A reference to TCC resolution 13-03 should also be included either on the map of the sector plan text.

### Volcano Cliffs

2. Page 29 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed. A reference to TCC resolution 13-03 should also be included either on the map of the sector plan text.
3. Page 34 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed. Cross section 7.1 does not make sense for Paseo del Norte. Specifically, why would BRT lanes on Paseo del Norte transition from being outside lanes in cross section 7.4, to median lanes in cross section 7.1, and then back to outside lanes in cross section 6?
4. Page 48 - Which side of the road is the multi-use trail on in cross section 7.4 for Paseo del Norte?
5. Page 84 – Align terminology for “significant rock outcropping” in the VCSDP with “rock outcropping” in the VHSDP

### Volcano Heights

6. Page 49 - Align terminology for “rock outcropping” in the VHSDP with “significant rock outcropping” in the VCSDP
7. Other definitions – Add definitions for “Leapfrog Development” and “Urban Infill”.

Leapfrog Development – Development that does not occur contiguously to existing development

Urban Infill – New development within an existing community that is enclosed by other types of development

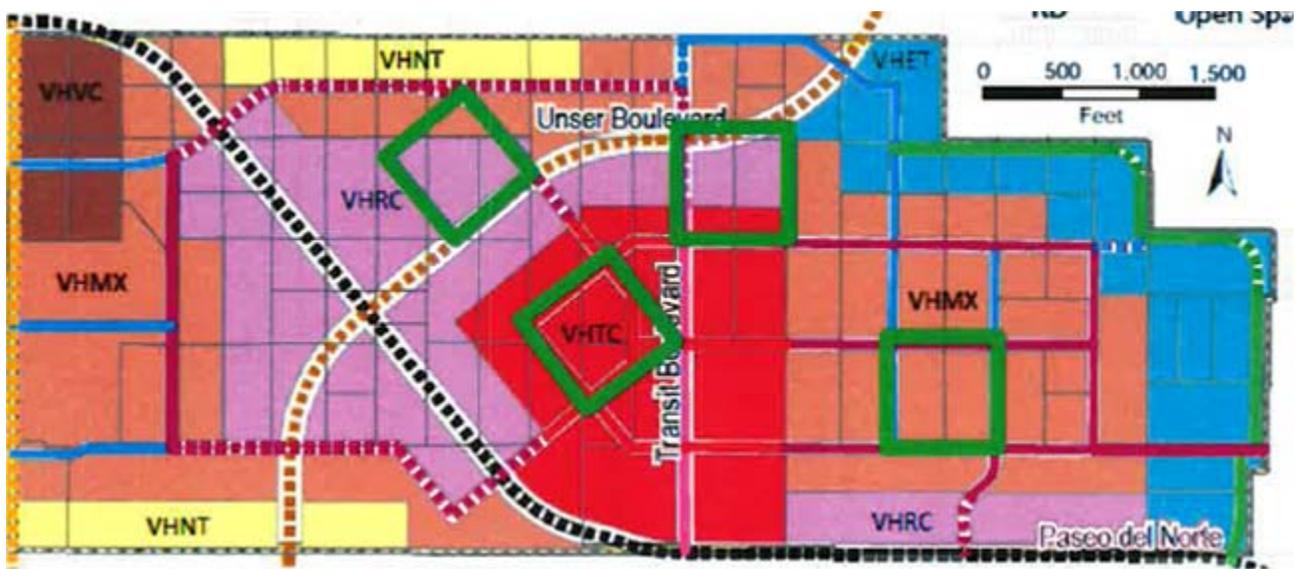
The plan should reference that Volcano Heights is urban infill due to previous leapfrog development that occurred in the past 15 years.

8. Pages 163 / 164 - Cross section ST7.1 does not make sense for Paseo del Norte. Specifically, why would BRT lanes on Paseo del Norte transition from being outside lanes in cross section 7.4, to median lanes in cross section 7.1, and then back to outside lanes in cross section 6?
9. Page 187 / 188 - Which side of the road is the multi-use trail on in cross section ST7.3 for Unser Blvd. and ST7.4 for Paseo del Norte? What is the purpose of the multi-use trails as they are not part of the other cross-sections for Unser Blvd. and Paseo del Norte.

10. Page 197 – I do not agree with section 10.7.2 and table 10.2. Please refer to the figure below that shows four different square ~10 acre parcels (~660' x 660'). Two parcels contain regional center zoning that is supposed to allow more auto oriented use, one parcel is mixed use, and one parcel is town center. If one looks at the two parcels with regional center zoning the corner adjacent to the two "B" streets (Unser Blvd and transit Rd / Loop Rd) would be the most desirable corner for auto oriented uses. However, one is to access this corner via an internal "B" street, then any other internal street within the regional center would need to be an "A" street with the associated "A" streetscape to meet the requirements of table 10.2. Conversely, if one looks at the mixed use or town center parcel which are completely surrounded by "A" streets, internal auto oriented "B" streets can divide these parcels into four smaller parcels (each ~330' x 330') while meeting the requirements of table 10.2. It is counter-intuitive that the more pedestrian oriented town center can be built out with more auto-oriented "B" street flexibility than the regional center zones which are supposed to be more auto-oriented.

This situation arises because Unser Blvd. and Paseo del Norte are classified as "B" streets. While these two regional highways are definitely auto-oriented, they are limited access roadways that do not provide direct site access. Both Unser Blvd. and Paseo del Norte also have "A" street characteristics such as bike lanes and multi-use trails.

I fully support that the entire plan area should incorporate features to create a walkable environment; however, in order to avoid the problems cited above, Unser Blvd. and Paseo del Norte should be classified as "A" streets for determining the percentages in table 10.2.



11. Page 225 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed.

Additional Comment

I would also like to comment that I fully support Policy 13.3.1 / 13.3.1 i on page 216 regarding Regionally Significant Roads, section 14.1 regarding Priority Capital Improvement Projects on page 234, and the inclusion of the Fiscal Impact Analysis (Appendix E), in the adopted VHSDP. Policy 13.3.1 originated from condition 96 in the previous EPC notice of decision dated December 10, 2012 following public comment regarding regional infrastructure needs. I would like to ask for EPC's re-affirmation of this policy as there is a continued need for constructive dialogue between the City and landowners to plan both the build out of the regional transportation infrastructure of the two regional highways (Unser Blvd. and Paseo del Norte), along with associated "backbone" utility infrastructure to be located along the right-of-way of these highways, while landowners concurrently plan for the secondary roadway and utility infrastructure in the VHSDP plan area.

Respectfully,

James Hoffman

817-551-4335 (work)

817-568-6971 (fax)

817-689-4897 (cell)

## **Attachment C – Fugitive Dust Amendment**

## **Fugitive Dust Amendment**

In order to minimize opportunities for fugitive dust during site development and construction, development shall comply with the following standards:

- a. All development over  $\frac{3}{4}$  acres must comply with the joint Albuquerque and Bernalillo County Fugitive Dust Ordinance found in the New Mexico Administrative Code 20.11.20.
- b. All development must comply with the City Drainage Control Ordinance and the Flood Hazard Control Ordinance, including a requirement for an approved Erosion and Settlement Control Plan prior to being issued a grading permit.
- c. Due to the area's proximity to the Petroglyph National Monument and the importance of protecting petroglyphs from fugitive dust, preferred methods for soil stabilization should be incorporated where appropriate.
- d. For all non-residential and mixed-use developments, grading permits shall only be issued concurrently with building permits. For developments over  $\frac{3}{4}$  of an acre, applicants shall provide proof of a 20.11.20 NMAC Fugitive Dust Control Permit from the Environmental Health Department prior to being issued a building permit.
- e. For exclusively residential developments, a grading permit shall only be issued after a preliminary plat and an Erosion and Sediment Control Plan have been approved.
- f. Grading within public rights-of-way or public easements is exempt.

**Volcano Cliffs:** On page 92, Chapter 5 – General Regulations D – Construction Mitigation, replace Standard CM 1 with the language above. In Standard CM-2, delete the final sentence, which has been incorporated in the language above.

**Volcano Heights:** On page 116, Section 6.5.3, delete the final sentence, which has been incorporated in the language above. Add a new Section 6.5.4 with the language above. Delete 6.6.2 in its entirety and renumber subsequent sections accordingly.

**Volcano Trails:** On page 62, Chapter 4 – General Regulations C – Construction Mitigation, replace Standard CM-1 with the language above. In Standard CM-4, delete the final sentence, which has been incorporated in the language above.