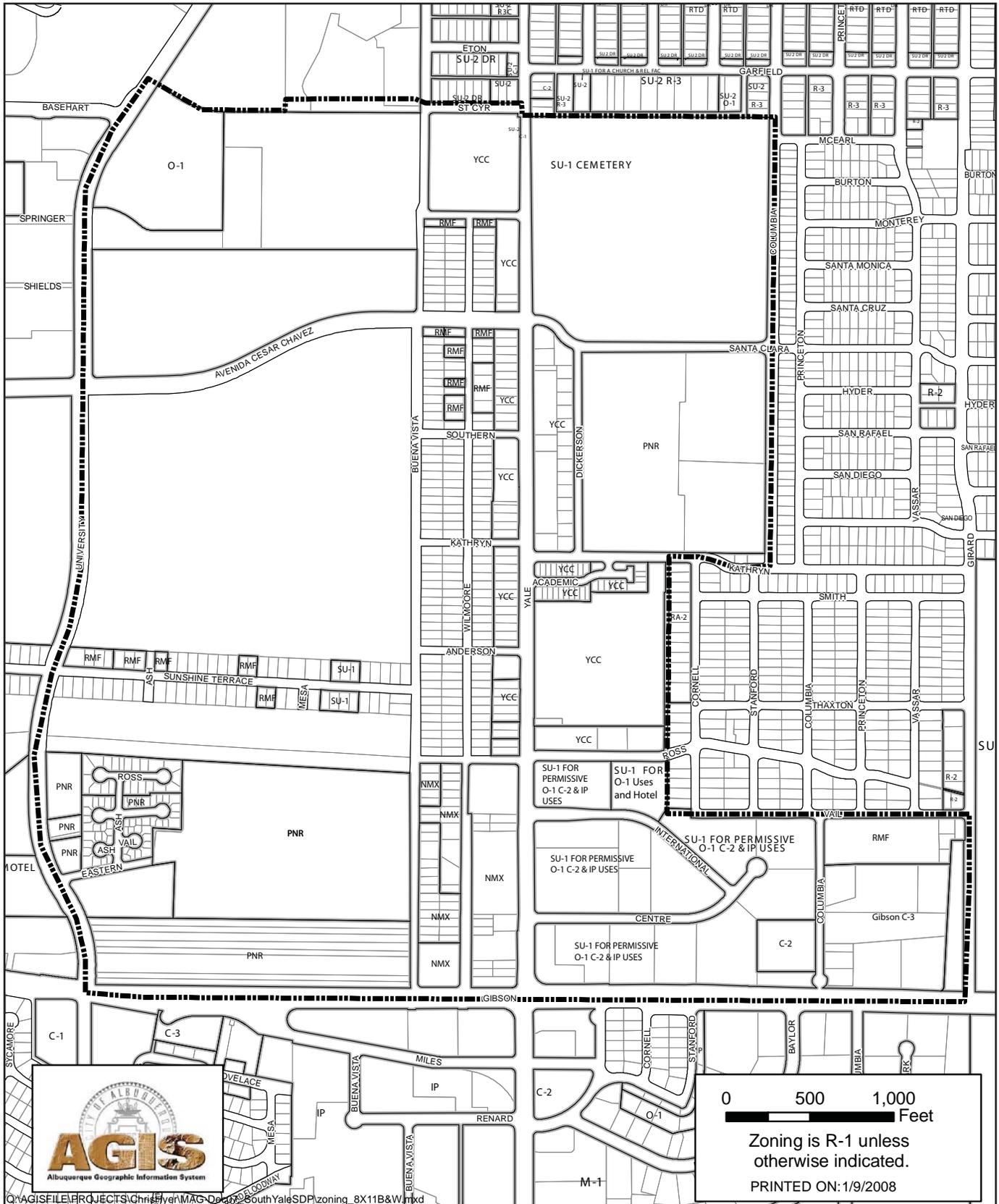


CHAPTER THREE

Plan Implementation: Development Regulations

CHAPTER THREE
REGULATORY



Proposed South Yale Plan Area Zoning

1.0 Introduction

This chapter establishes the regulatory framework to create the urban neighborhood envisioned by the community. It establishes new zoning for key properties with significant redevelopment potential within the Sector Plan boundary. The Plan adopts a form based code to regulate lot layout, building form and use, building articulation, parking, landscaping and signage for all new zones, except C-3 which remains a standard City zone with additional design guidelines. Not all properties are rezoned with this Plan. Properties zoned R-1 and some properties with SU-1 zoning (the South Yale Business Park, Veloport and Cemetery) maintain their existing zoning. No zoning changes have been proposed for UNM, CNM and APS owned properties, as these properties are not under City jurisdiction.

By adopting a form based code for the new zones established in this Plan, the Plan seeks to implement the community's vision for the area in a manner which encourages appropriate development. The intent of the form based code is to enable development outcomes which are more predictable for the developer, property owner, the City Review authorities, and community stakeholders.

2.0 Zone Descriptions

The following zones are established by this Sector Development Plan. These zones further define and describe the distinct areas which make up the Plan area.

Yale Corridor Commercial (YCC)

This zone consists of the existing C-2 zoned properties located along Yale Boulevard from St. Cyr to Ross. The intent is to allow a mixture of complimentary land uses that include retail, offices, commercial services, residential and civic uses, in a compact urban form to create economic and social vitality.

Residential Multi-family (RMF)

This zone consists of the existing multi-family residential zoning scattered throughout the Clayton Heights residential area. In anticipation of the redevelopment of these properties, this plan adopts form based code standards to ensure that multi-family redevelopment is sensitive to existing single family homes.

Neighborhood Mixed Use (NMX)

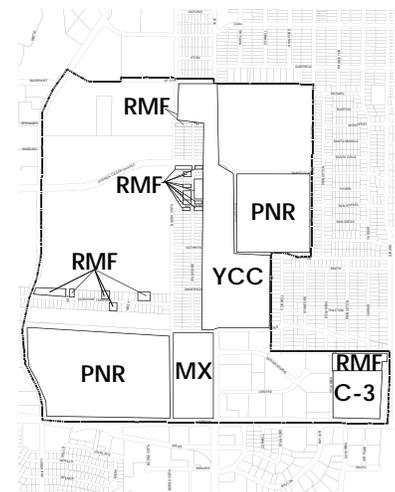
This area includes a mix of R-2 and C-2 properties at the southern end of Yale Boulevard at Gibson, extending west. The zone addresses site planning and land use issues as well as topographical constraints (sewer grade changes), to better integrate properties in existing neighborhoods while increasing opportunities for high-quality, mixed-use development.

Planned Neighborhood Residential (PNR)

This zone consists of the existing SU-1 PRD parcels located within the Plan area. This is a primarily residential zone, with limited non-residential uses, which allows for large scale site planning opportunities commensurate with a neighborhood village environment.

Gibson C-3 (C-3)

This zone consists of the existing C-3 zoned properties located at Gibson and Girard. The Gibson C-3 zone does not adopt form based code standards. Rather these properties maintain their existing C-3 zoning with additional design standards intending to create a more pedestrian friendly commercial node which embraces streetscape improvements along Girard as well as the redevelopment efforts occurring along with the Sector Plan area.



DEVELOPMENT ZONE MAP

3.0 General Regulatory Requirements

3.1 Development Review Process

All development occurring in the following zones requires approval as outlined in the matrix below.

	Yale Corridor Commercial (YCC)	Planned Neighborhood Residential (PNR)	Neighborhood Mixed Use (NMU)	Multi-Family Residential (MFR)	Gibson C-3
Compliant on Use and Form	Planning Director	DRB	Building Permit	Building Permit	Building Permit
	Public Notification Required	Public Notification Required	No Public Notification Required	No Public Notification Required	No Public Notification Required
Conditional Use and Compliant on Form	ZHE and Planning Director	ZHE and Planning Director	ZHE and Planning Director	ZHE and Planning Director	ZHE and Planning Director
	Public Notification Required	Public Notification Required	Public Notification Required	Public Notification Required	Public Notification Required
Non Compliant	EPC*	EPC*	EPC*	EPC*	EPC*

*Per City Zoning Code, all cases heard by the EPC are publicly notified.

3.2 General Submittal Compliance

All submittals shall comply with the policies and design regulations for the South Yale Sector Development Plan.

Existing structures and parcels in the new development zones shall be non-conforming uses until such time as the existing structures are rehabilitated or reconstructed, such that those modifications require a building permit. Tenant Improvements shall be exempt.

3.3 Site Development Plan Approval Term

Upon approval granted for a Site Development Plan, the plan shall be valid for two years and subject to an extension by the Planning Director of no more than five years from the expiration of the two year period. This term limitation applies to all approvals granted prior to the adoption of this Plan.

3.4 Phasing

No vertical phasing shall be allowed. If development within a Planned Neighborhood Residential is phased, a phasing plan is required. Developments over 45,000 sf shall supply a phasing plan.

4.0 How to use this Document

The regulatory section of the Yale Sector Development Plan is predicated on a form based code model which emphasizes prescriptive policies to guide development in the South Yale area. A two part system has been design for the South Yale area: the Zones and the Building Components. This two part system is intended to ensure predictability in building use, placement, form and character.

4.1 Zones

The zones are the overall regulatory structure for specific areas within the Plan. Five Zones have been established for the Plan area. Each Zone provides specific regulation on not only land use, but also building placement, height, parking and landscape requirements and lists allowable Building Components such as Building and Frontage Types, and General Building, Parking and Landscaping standards . All development shall adhere to the standards of the Zone.

4.2 Building Components

The Building Components provide descriptions of the elements prescribed for each Zone. The Building Components include: Building Types, Frontage Types, and General requirements for Buildings, Parking and Landscaping. These Building Components describe the general shape and appearance of a building.



Step 1.

Locate property and its Zone on the South Yale zone map and read the zone description on pages 12 and 13.

Step 2.

Locate Zone regulation pages. Follow the Zone's regulation standards for setbacks, heights, uses, encroachments, allowable building and frontage types, parking, landscape.

Step 3.

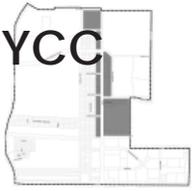
Select a building type and face permitted by Zone.

Step 4.

Follow General Standards for Building, Landscape and Parking, pages 36-45.

Step 5.

Follow 3.0 General Regulatory requirements on page 14 for development review process, site plan compliance, duration of approval and phasing requirements.



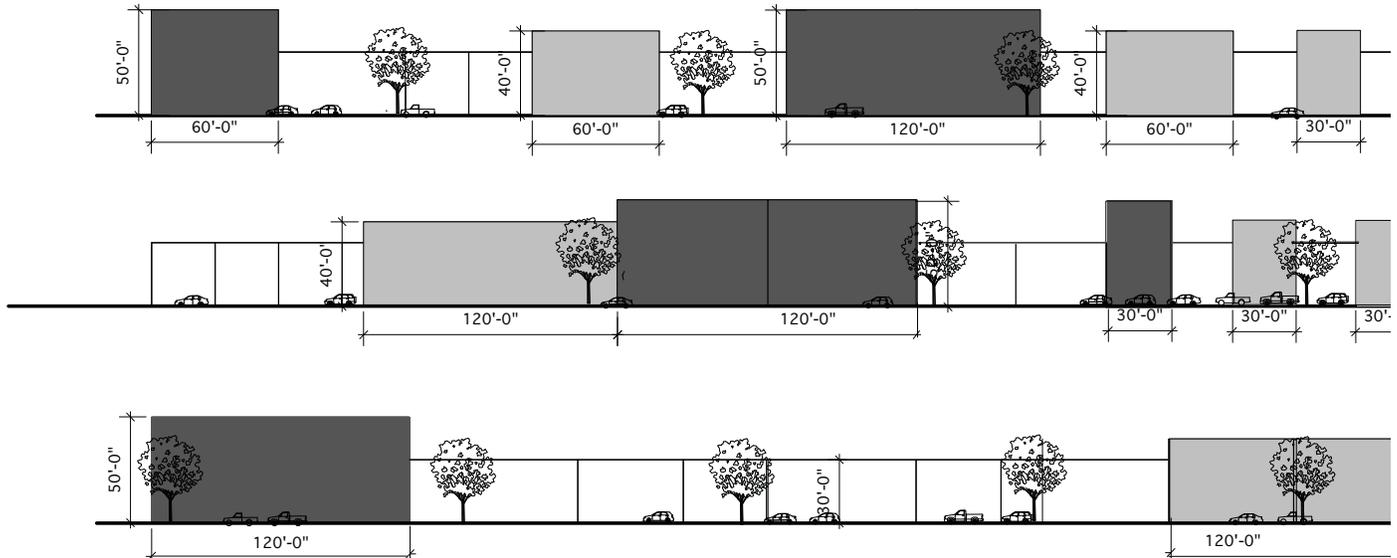
Block Organization

YALE CORRIDOR COMMERCIAL (YCC)

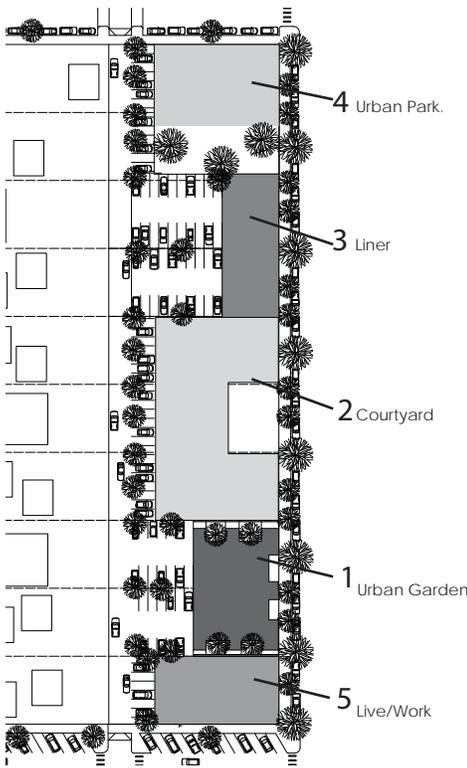
Intent: The Yale Corridor Commercial zone identifies land parcels which shall develop to accommodate business and housing to service neighborhood needs. Development shall be compact in scale and contribute to a rich and active pedestrian street life.

Block Organization

Block Organization pertains to development at the block level. The intent is to manage the overall character of the block while permitting the greatest amount of design flexibility at the lot level. All development in the YCC Zone shall comply with the Block Organization Standards.



POSSIBLE SCENARIOS FOR BLOCK ELEVATIONS ALONG YALE BLVD.



POSSIBLE SCENARIOS FOR BUILDING LAYOUT ON A BLOCK ALONG YALE BLVD.

HEIGHT LIMITS PER BLOCK - YCC

(To create a variety in building height along a block)

1. Building heights are limited to percentages of the block.
2. Building heights are allowed on a first come basis.
3. For building heights above 30', no more than 120' continuous linear feet along the block face shall be permitted without a minimum building height change of 5'.
4. Minimum building height shall be 26'

Building Height	Height Limits
26' - 30'	up to 100% of block face
40'	30% Max of block face
50'	30% Max of block face

BUILDING TYPE LIMITS PER BLOCK - YCC

Building Types are limited per block along Yale Blvd. to preserve the pedestrian scale and to provide visual interest and variety. The following building types are limited in the Yale Commercial Corridor zone:

Building Type	Allowable Number/ 600' or less Block	Allowable Number/ Greater than 600' Block
1. Urban Garden	1	2
2. Courtyard	1	2
3. Lined Parking Structure	1	2
4. Urban Park	1	2
5. Live/Work	2	2

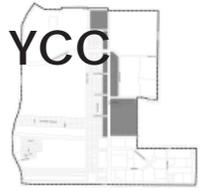
Building Types which are not listed above are not limited in number.

YALE CORRIDOR COMMERCIAL (YCC)

LOT SIZE LIMITS - YCC

Lot sizes in the Yale Commercial Corridor are limited to the following.

	Lot Width	Lot Depth
Maximum	120'	150'
Minimum	15'	45'



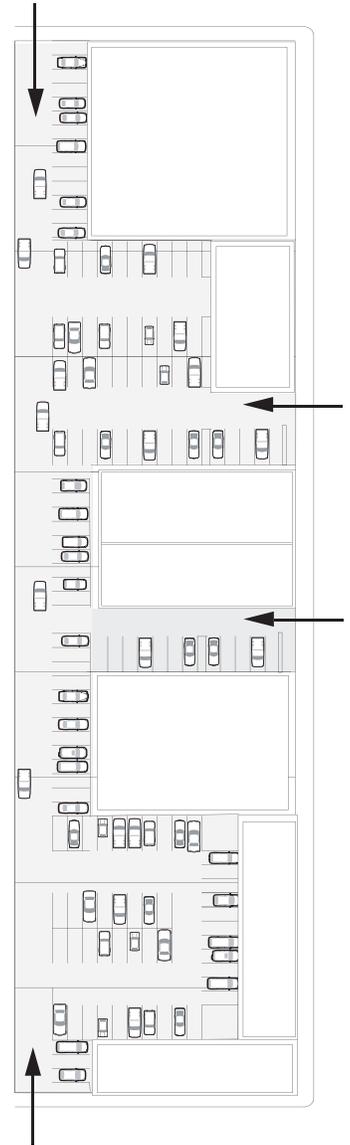
Lot Organization

LOT ACCESS - YCC

Service and parking access shall be via rear access easement, mid block access points, or shared side drive aisles. No new curb cuts shall be permitted along Yale except for shared side drive aisles. See Transportation section.

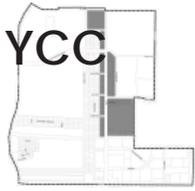
OPEN SPACE REQUIREMENTS - YCC

There are no open space requirements for residential uses in the Yale Commercial Corridor zone, due to the proximity of significant open space and parks in the area.



PARKING AND SERVICE ACCESS
VIA SIDE DRIVE AISLES ALONG YALE
BLVD.

YALE CORRIDOR COMMERCIAL (YCC)



Lot Organization

YCC KEY CHARACTERISTICS:

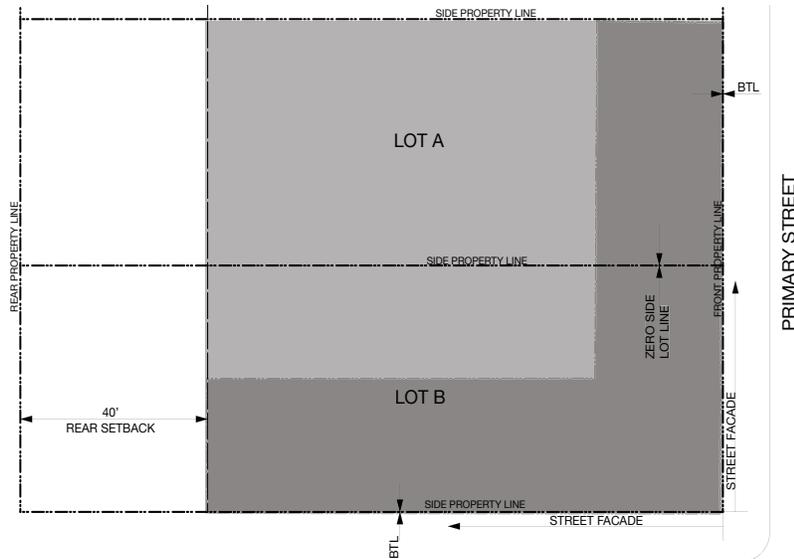
- Buildings oriented to the street
- Buildings attached and aligned, providing continuous street frontage on the sidewalk
- Building heights vary along each block to protect views and provide visual interest
- Awnings and balconies articulate the front facade and provide shade for pedestrians along the sidewalk
- No residential uses are permitted on ground level

YCC PERMITTED BUILDING TYPES

- Urban Standard
- Urban Garden
- Urban Park
- Liner
- Lined Parking Structure
- Civic
- Courtyard Building
- Terrace Apartment
- Stacked Flats
- Live/Work

YCC PERMITTED FRONTAGE TYPES

- Department Store
- Hotel
- Shop Front
- Office
- Lobby
- Cafe
- Portal
- Patio



Minimum Lot Build Out Maximum Lot Build Out
YCC BUILDING PLACEMENT DIAGRAM

BUILDING PLACEMENT - YCC

Build-to-Line (BTL) (Measured from property line)

Front	0'
Side	0'

Setback (Measured from property line)

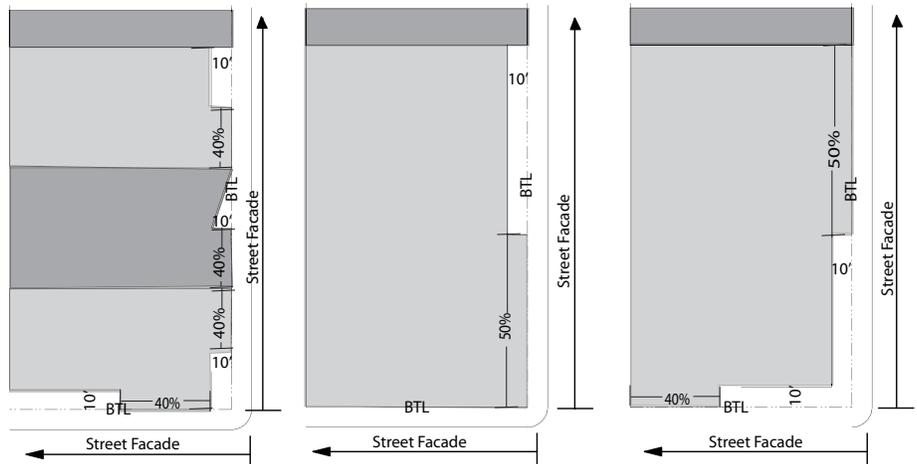
Rear	40'
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BUILDING FRONTAGE - YCC

Frontage

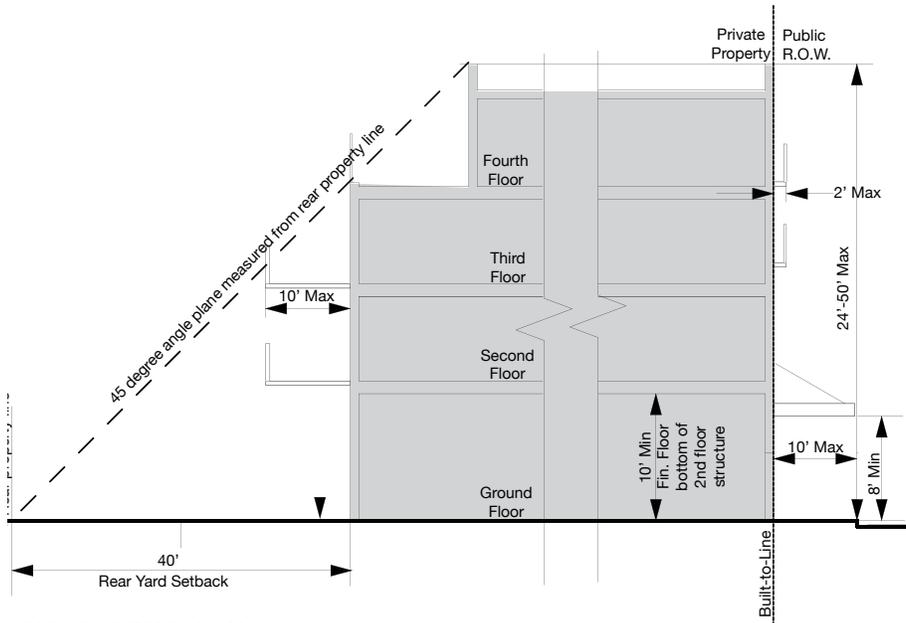
- Maximum Building frontage length without a change in height, material or articulation: 120'
- Required Building Frontage at BTL:

Frontages less than 60'	40% Min
Frontages greater than 60'	50% Min
- Allowable Street Frontage setback distance: 10' Max from BTL



YCC STREET FRONTAGE SETBACK DIAGRAMS

YALE CORRIDOR COMMERCIAL (YCC)



YCC BUILDING SECTION DIAGRAM

BUILDING HEIGHT - YCC

(Building height shall be measured from sidewalk elevation)

Minimum Building Height	26'
Maximum Building Height	50'
Finish Floor	at sidewalk elevation
Ground Floor Height	10' Min
Awning Height	10' Min Clear
Balcony Height	10' Min

BUILDING STEPBACK - YCC

The rear portion of building shall stepback in order to fit within a 45 degree angle plane measured from the rear property line.

BUILDING USES - YCC

(See side column specific Land Uses)

Ground Floor	Commercial/Office
Upper Floor (s)	Residential/Office/Commercial

PARKING REQUIREMENTS - YCC

- Parking shall be accessed via shared side drives where rear access easements are prohibitive. See Transportation section for details.
- Parking shall be located behind buildings in rear portion of lot.
- Corner lots may have access to parking from side street.
- Compact Spaces are permitted as defined in the City Zoning Code.
- Required Spaces:

Ground Floor	less than 1000 sqft	none
	greater than 1000 sqft	1/1000
Upper Floors	Residential	1/unit
	Non-Residential	1/1000 sqft
Live/work		1.5/unit
- Parking Landscape requirements: 1 tree min. per parking area and 1 tree per 6 additional spaces.
- Parking is permitted along shared side drives. Width of side drive with parking shall not exceed 36' and is limited to parking along only one side for perpendicular or angled parking. Parallel parking is permitted on both sides. Parking on shared side access aisle shall be on a first come bases.

YCC LAND USE:

R-2 and C-2 Permissive Uses with the following additions and exceptions:

Additional Uses:

Alcohol sales for off-premise consumption in conjunction with a full service grocery store.

Prohibited Uses:

- Antenna
- Adult Store
- Drive-in Restaurant
- Drive-up Service Window
- Gasoline, oil and liquefied petroleum gas retailing
- Package Liquor Stores
- Parking lot
- Off-premise signs
- Vehicle sales, rental, service, repair, and storage, both indoor and outdoor
- Vehicle washing, unless located in parking structure
- Warehousing
- Wireless Telecommunications Tower

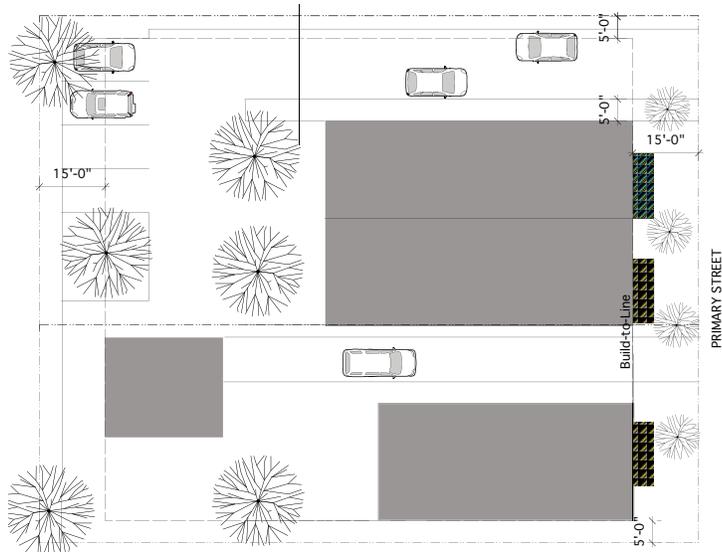
Conditional Uses

- C-2 Conditional Uses
- Package Liquor Stores



RESIDENTIAL MULTIFAMILY (RMF)

Intent: The Multi-Family Residential zone identifies land parcels that are currently zoned R-2, RT, RG, and R-3. The intent of the RMF zone is to provide consistent guidelines for multi-family housing which are sensitive to adjacent single family homes.



RMF BUILDING PLACEMENT DIAGRAM

RMF KEY CHARACTERISTICS

- Complement adjacent R-1, single family housing
- Reflect scale of existing neighborhood
- Buildings oriented to the street
- Allowable uses complementary to single family uses
- Parking located behind buildings

RMF PERMITTED BUILDING TYPES

- Duplex/Triplex/Fourplex
- Row House
- Sideyard Row House
- Courtyard Apartment
- Stacked Flats
- Terrace Apartment
- Patio House
- Casita Court
- Single Family

RMF PERMITTED FRONTAGE TYPES

- Courtyard
- Patio
- Portal
- Porch
- Stoop

LOT SIZE LIMITS - RMF

Lot sizes in the Residential Multi-Family Zone are limited to the following:

	Lot Width	Lot Depth
Maximum	120'	150'
Minimum	50'	150'

USABLE OPEN SPACE REQUIREMENTS - RMF

Open Space requirements shall be as defined in the City Zoning Code for R-2.

BUILDING PLACEMENT - RMF

Build-to-Line (BTL)

Front	15'
Side	none
Rear	none

Setback (Measured from property line)

Front	15'
Side	5'
Rear	15'
Corner	20'
Garage setback	10' min from Front BTL.

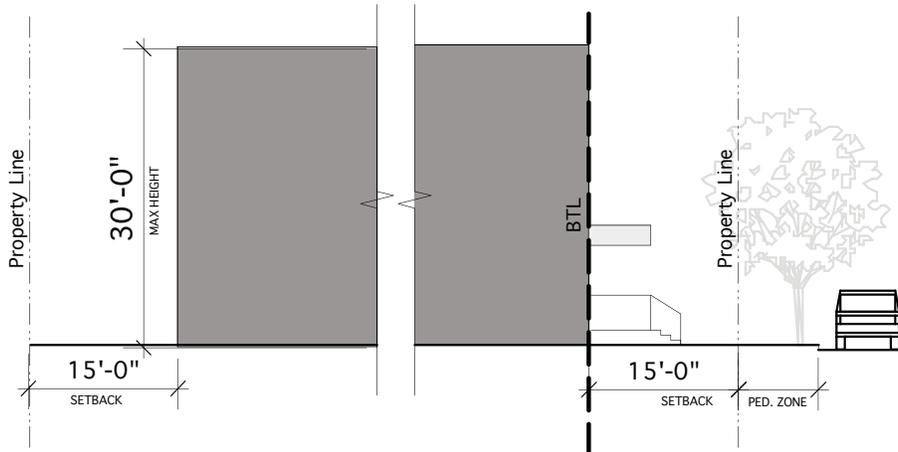
BUILDING FRONTAGE - RMF

Maximum Street frontage length with out a change in height, depth, material or articulation. 60'

Street Frontage Setback

Required Street frontage at BTL*	50% Min
*Except Courtyard Building Type	

RESIDENTIAL MULTIFAMILY (RMF)



RMF BUILDING SECTION DIAGRAM

BUILDING HEIGHT - RMF

(Building height shall be measured from sidewalk elevation)

Maximum Building Height	30'
Finish Floor	at sidewalk elevation
Balcony Height	10' Min

BUILDING USES - RMF

(See side column for specific Land Uses)

Uses	Residential/Home Office
------	-------------------------

RMF LAND USE

R-2 Permissive Uses
Accessory living quarters

Conditional Uses

1. Day care
2. Public Library
3. Recreational Facility

PARKING REQUIREMENTS - RMF

1. Parking shall be located behind buildings in rear portion of lot.
2. Corner lots may have access to parking from side street.
3. Compact Spaces are permitted as defined in the City Zoning Code.
4. Required Spaces:

Residential	less than 1000 sqft	1/unit
	greater than 1000 sqft	2/unit
5. Parking Landscape requirements; 1 tree min. per parking area and a min. of 1 tree per 4 additional parking spaces.

LANDSCAPING REQUIREMENTS - RMF

Landscape requirements shall be per City of Albuquerque Zoning Code for R-2.



Lot Organization

NMX KEY CHARACTERISTICS:

- Mixed Used Development
- Buildings oriented to the street
- On street parking
- Higher density residential
- Parking located behind buildings accessed via shared drive or alley where permissible

NMX PERMITTED BUILDING TYPES

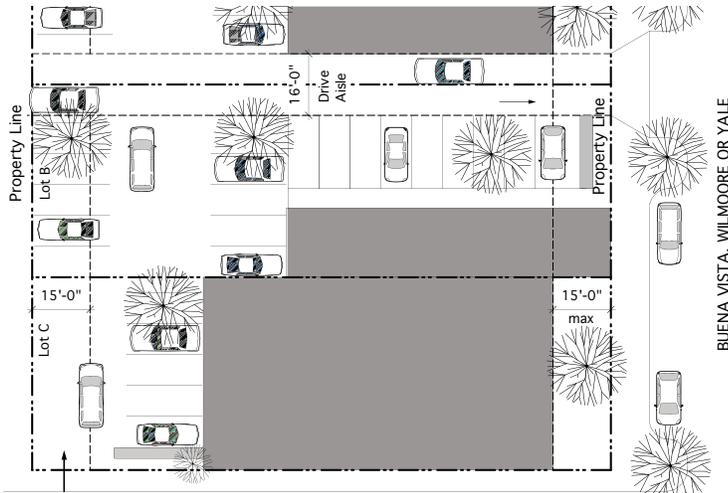
- Duplex/Triplex/Fourplex
- Row House
- Sideyard Row House
- Courtyard Apartment
- Stacked Flats
- Terrace Apartment
- Live/Work
- Civic
- Urban Garden
- Urban Standard
- Liner
- Courtyard Building

NMX PERMITTED FRONTAGE TYPES

- Cafe
- Storefront
- Lobby
- Office
- Patio
- Portal
- Porch
- Stoop

NEIGHBORHOOD MIXED USE (NMX)

Intent: The Neighborhood Mixed Use zone identifies an area of land parcels that are a mix of R-2 and C-2 zoned properties located south of Ross between Buena Vista and Yale. The goal of the NMX zone is to encourage integration of residential and commercial uses and to connect this area to the larger South Yale community.



NMX CONCEPTUAL SITE PLAN DIAGRAM

LOT SIZE LIMITS - NMX

Lot sizes in the NMX Zone are limited to the following.

	Lot Width	Lot Depth
Maximum	120'	150'
Minimum	15'	45'

OPEN SPACE REQUIREMENTS - NMX

There are no open space requirements for residential uses in the Neighborhood Mixed Use zone due to the proximity of significant open space and parks in the area.

BUILDING PLACEMENT - NMX

Build-to-Line (BTL)

Front	5'-15'
Side	none
Rear	none

Setback (Measured from property line)

Front	none
Side	none
Rear	15'
Garage setback	10' min from Front BTL.

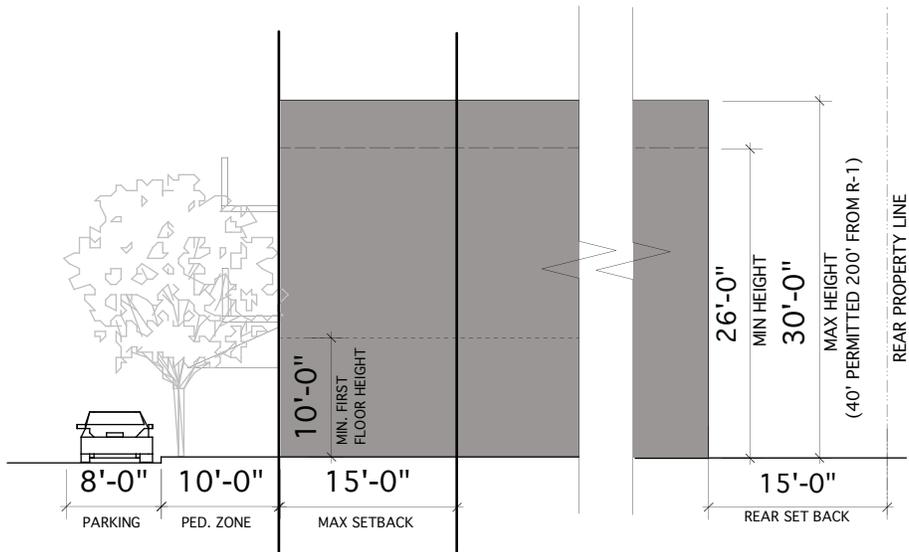
BUILDING FRONTAGE - NMX

Maximum Street frontage length without a change in height, material or articulation. 120'

Frontage Setback

Required Street Frontage at BTL 50% Min

NEIGHBORHOOD MIXED USE (NMX)



NMX BUILDING SECTION DIAGRAM

BUILDING HEIGHT - NMX

(Building height shall be measured from sidewalk elevation)

Minimum Building Height	26'
Maximum Building Height	40' (30' within 200' of R-1)
Finish Floor	at sidewalk elevation
First Floor Ceiling Plate Height	10' Min
Awning Height	10' Min Clear
Balcony Height	10' Min Clear

BUILDING USES - NMX

(See side column for specific Land Uses)

Ground Floor	Residential, Commercial, Office
Upper Floor (s)	Residential, Commercial, Office

PARKING REQUIREMENTS - NMX

- Parking shall be accessed via shared side driveways where rear access easements are prohibitive.
- Parking shall be located behind buildings in rear portion of lot.
- Corner lots may have access to parking from side street.
- Compact Spaces are permitted as defined in the City Zoning Code.
- Required Spaces:

Residential	less than 1000 sqft	1
	greater than 1000 sqft	2
Non Residential	less than 3000 sqft	none
	greater than 3000 sqft	1/add. 1000
Live/work		1.5/unit
- Parking Landscape requirements; 1 tree min. per parking area and a min. of 1 tree per 4 additional parking spaces.

LANDSCAPING REQUIREMENTS - NMX

- Front setback area to be landscaped with a minimum of 1 tree and 5 shrubs/grasses for every 20 sf. See general landscaping standards for plant sizes.
- No asphalt is permitted in the front setback.

MX LAND USE
R-2 and C-2 Permissive Uses with the following additions and exceptions:

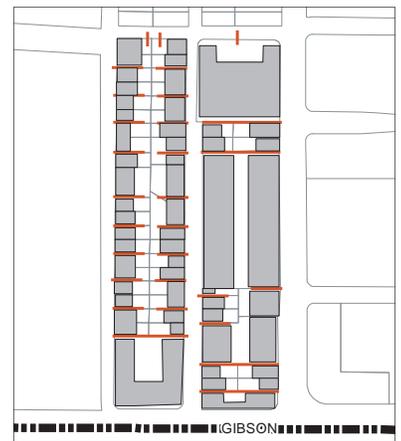
Additional Uses:
Alcohol sales for off-premise consumption in conjunction with a full service grocery store.

Prohibited Uses:

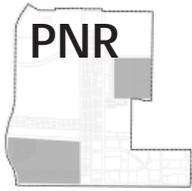
- Antenna
- Adult Store
- Convenience Stores
- Drive-in Restaurant
- Drive-up Service Window
- Gasoline, oil and liquefied petroleum gas retailing
- Package Liquor Stores
- Parking lot
- Off-premise signs
- Vehicle sales, rental, service, repair, and storage, both indoor and outdoor
- Vehicle washing, unless located in parking structure
- Warehousing
- Wireless Telecommunications Tower

Conditional Uses

- C-2 Conditional Uses
- Package Liquor Stores



DRIVE AISLE ACCESS FOR PARKING

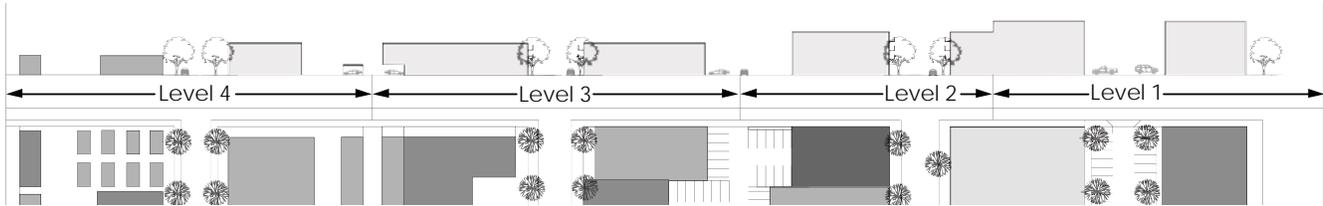


OVERVIEW

PLANNED NEIGHBORHOOD RESIDENTIAL (PNR)

Description: The Planned Neighborhood Residential zone identifies large land parcels currently zoned SU-1 PRD (Special Use for Planned Residential Development). Each of these large tracts of land represent a future opportunity for the creation of mixed use neighborhoods which increase pedestrian activity and social interaction in an identifiable and interconnected way.

PNR development is appropriate for parcels of land 5 acres and over. If an area which is designated PNR is subdivided to a parcel less than 5 acres the zoning shall be changed to MX and follow guidelines in the MX zone of this sector plan.



PNR STREET LEVEL DIAGRAM

Development guidelines for the Planned Neighborhood Residential zone (PNR) are based on a classification system. Six development levels have been identified as appropriate for the South Yale area. Each designated level integrates building and lot components into a comprehensive tool for development.

The PNR section begins with a general overview of the Levels summarizing the different Level characteristics on pages 25. Each Level is further defined and illustrated in the following pages.

PNR KEY CHARACTERISTICS:

- Compact development in a planned community setting
- Efficient and effective circulation patterns for streets and pedestrian pathways
- Buildings oriented to the street
- On street parking
- Outdoor gathering spaces and public open space
- Higher density residential
- Parking located behind buildings and access via alleys

How to use this section:

Determine which development level is appropriate for desired development characteristics and densities on page 25. Once Levels for a PNR area have been determined proceed to the specific section for each Level for development guidelines on allowable building and frontage types, building placement, heights, land uses and other design guidelines. Information on specific building types, frontage types and general standards can be found beginning on page 36.

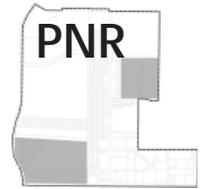
General PNR requirements

1. Block lengths shall be limited to 660' on north/south streets measured from center of the block to center of the block and 330' on east/west streets measured from center of the block to center of the block.
2. Pedestrian realm shall be at least 10' with 6' feet clear for the pedestrian zone. See transportation section for definitions.
3. On street parking is recommended on all streets to provide a buffer for pedestrians and to create additional parking in the area.
4. Designated bike lanes shall be a minimum of 6' and clearly marked.
5. Street trees shall be a minimum of 30' on center in tree wells that are a minimum of 5' x 7.'

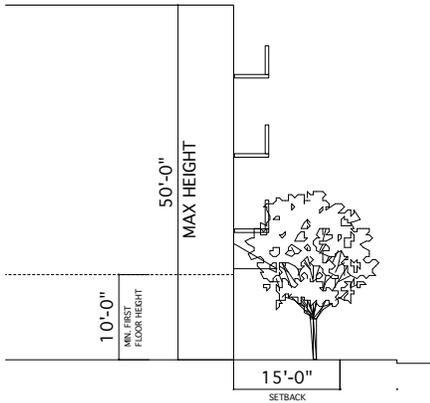
PLANNED NEIGHBORHOOD RESIDENTIAL (PNR)

Development Levels

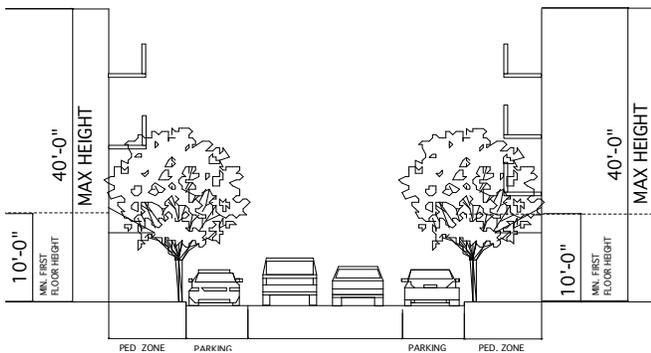
The following classification system has been developed to facilitate development in the South Yale area. All buildings and lots which are zoned PNR shall adhere to the guidelines outline herein. Development levels only apply to parcels zoned PNR.



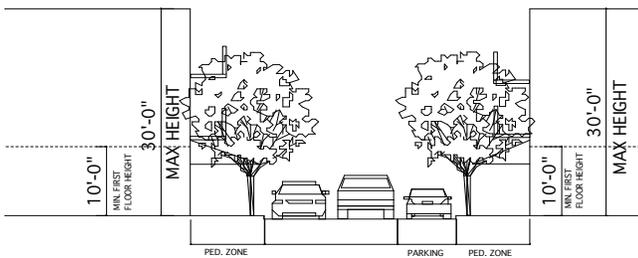
OVERVIEW



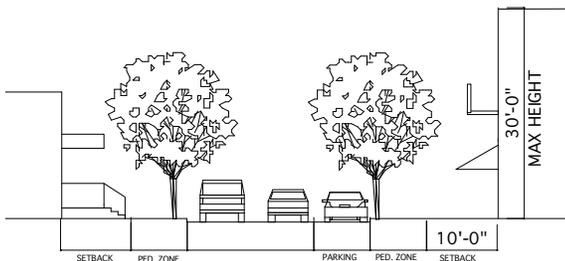
PNR LEVEL 1 SECTION



PNR LEVEL 2 SECTION



PNR LEVEL 3 SECTION



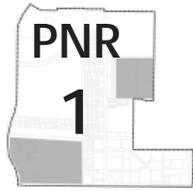
PNR LEVEL 4 SECTION

Level 1: This designation is for the highest intensity development allowed in the PNR area. Level 1 development is only permitted on parcels adjacent to Gibson Blvd. Development is two to five stories high and shall be setback 15' from Gibson Blvd. Buildings may be oriented to parking courts interior to the block, but shall also have street facades and entrances oriented to the street except along Gibson. Development may include shopping centers, hotels, apartments and civic buildings.

Level 2: This designation is for moderate density neighborhood mixed use commercial development. Development is two to four stories high and buildings are aligned and adjacent to the sidewalk. Development is of a neighborhood urban scale with an emphasis on walkability. Ground level uses should be retail/commercial with a mix of office and residential above. Parking and building service access shall be access via an alley network.

Level 3: This designation is for a mixed-use residential development. Development is one to three stories and may include apartments, row houses, live/work, offices, hotels, and retail services supportive to household living. Buildings may be built to the street or setback to accommodate green space and patios. Parking and building service access shall be via an alley network.

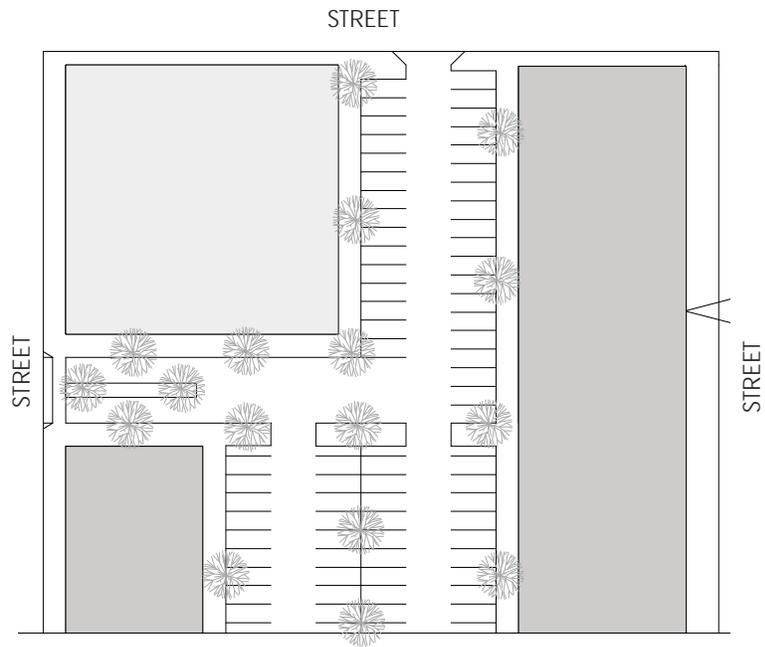
Level 4: This designation is for residential development consisting of single and multifamily housing which in character reflect a urban single family residential neighborhood. Buildings are setback from the street with a minimal side yard setback. Garages and parking are accessed via an alley network.



LEVEL 1

LEVEL 1 KEY CHARACTERISTICS:

- Located on parcels adjacent to Gibson Blvd.
- Neighborhood scale live/work shopping center
- Buildings oriented to interior parking court and street
- Parking is located in small interior courts and behind buildings
- Continuous sidewalk network through site



Level 1 Building Placement Diagram

LEVEL 1 PERMITTED BUILDING TYPES

- Urban Standard
- Urban Garden
- Liner
- Lined Parking Structure
- Civic
- Courtyard Building
- Terrace Apartment
- Stacked Flats
- Live/Work

LEVEL 1 PERMITTED FRONTAGE TYPES

- Department Store
- Hotel
- Shop Front
- Office
- Lobby
- Cafe
- Portal
- Patio

LOT SIZE LIMITS - LEVEL 1

Level 1 lot sizes shall be limited to the following:

	Lot Width	Lot Depth
Maximum	pending	pending
Minimum	pending	pending

OPEN SPACE REQUIREMENTS - LEVEL 1

none

BUILDING PLACEMENT - LEVEL 1

Build-to-Line (Measured from property line)

Fronting on Gibson	15'
Side	none
Rear	none

Setback (Measured from property line)

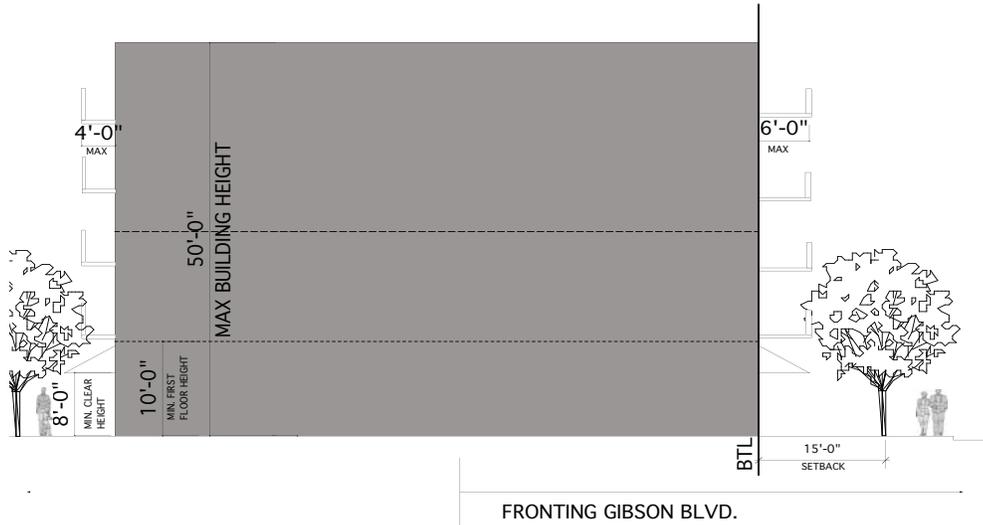
Fronting on Gibson	15'
Side	none
Rear	none

BUILDING FRONTAGE - LEVEL 1

Maximum Level 1 Street Frontage length without a change in height, material or articulation. 100'

Frontage Setback

Required Level 1 Street Frontage at BTL	75% Min
Allowable Street Frontage setback distance from the BTL	10' Max



Level 1 Building Section

BUILDING HEIGHT - LEVEL 1

(Building height shall be measured from sidewalk elevation)

Minimum Building Height	26'
Maximum Building Height	50'
Finish Floor	at sidewalk
First Floor Ceiling Plate Height	10' Min
Awning Height	8' Min Clear
Balcony Height	10' Min

BUILDING USES - LEVEL 1

(See side column for specific Land Uses)

Ground Floor	Residential, Commercial, Office
Upper Floor (s)	Residential, Commercial, Office

PARKING REQUIREMENTS - LEVEL 1

Parking shall be divided into separate modules, as described below:

1. A module is defined as no more than 100 parking spaces.
2. Modules must be separated by either buildings, open space areas or pedestrian paths with landscaping areas not less than 20' wide.
3. Landscaping within a module shall be a minimum of 1 canopy tree and 2 shrubs per 8 spaces.
4. Pavement in parking areas shall be limited to areas required for travel and parking.
5. Compact Spaces are permitted as defined in the City Zoning Code.
6. Required Spaces

Residential	less than 1000 sqft	1
	greater than 1000 sqft	2
Non Residential	less than 2000 sqft	none
	greater than 2000 sqft	1/add. 1000

PNR - LEVEL 1 LAND USE:

R-2 and C-2 Permissive Uses with the following additions and exceptions:

Additional Permitted Uses:

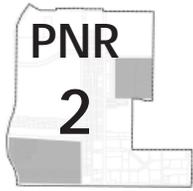
Alcohol sales for off-premise consumption in conjunction with a full service grocery store.

Prohibited Uses:

1. Antenna
2. Adult Store
3. Drive-in Restaurant
4. Drive-up Service Window
5. Gasoline, oil and liquefied petroleum gas retailing
6. Package Liquor Stores
7. Parking lot
8. Off-premise signs
9. Vehicle sales, rental, service, repair, and storage, both indoor and outdoor
10. Vehicle washing, unless located in parking structure
11. Warehousing
12. Wireless Telecommunications Tower

Conditional Uses

- C-2 Conditional Uses
- Package Liquor Stores



LEVEL 2

LEVEL 2 KEY CHARACTERISTICS:

Buildings are oriented to the street

Buildings are attached and aligned, providing continuous street frontage on the sidewalk

Awnings and balconies articulate the front facade and provide shade for pedestrians along the sidewalk

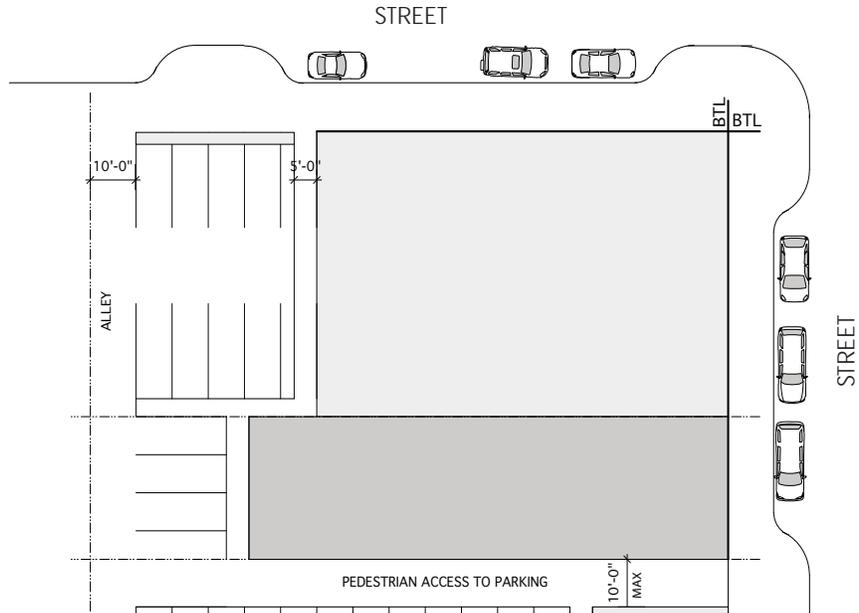
No residential uses are permitted on ground level

LEVEL 2 PERMITTED BUILDING TYPES

- Urban Standard
- Urban Garden
- Liner
- Lined Parking Structure
- Civic
- Courtyard Building
- Live/Work

LEVEL 2 PERMITTED FRONTAGE TYPES

- Shop Front
- Hotel
- Office
- Lobby
- Cafe
- Portal
- Patio



Level 2 Building Placement Diagram

LOT SIZE LIMITS - LEVEL 2

Level 2 lot sizes shall be limited to the following:

	Lot Width	Lot Depth
Maximum	120'	150'
Minimum	15'	45'

OPEN SPACE REQUIREMENTS - LEVEL 2

There are no open space requirements for Level 2 due to proximity of open space and parks.

BUILDING PLACEMENT - LEVEL 2

Build-to-Line (Measured from property line)

Front	0'
Side	0'
Rear	none

Setback (Measured from property line)

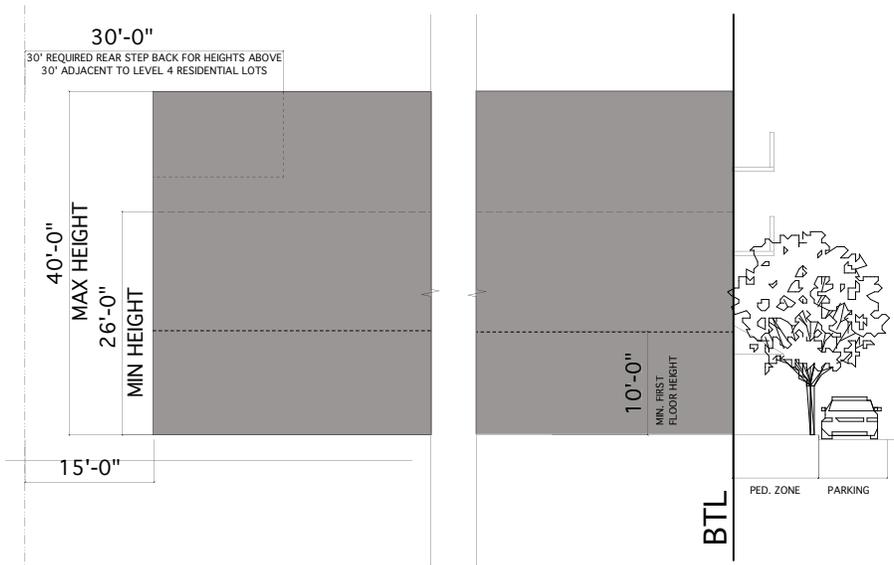
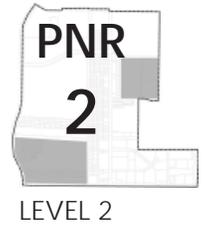
Front	none
Side	none
Rear	15' Min

BUILDING FRONTAGE - LEVEL 2

Maximum Level 2 Street Frontage length with out a Change in height, material or articulation. 100'

Frontage Setback

Required Level 2 Street Frontage at BTL	
less than 60 LF	40%
greater than 60 LF	50%
Allowable Street Frontage setback distance from the BTL	10' Max



Level 2 Building Section

BUILDING HEIGHT - LEVEL 2

(Building height shall be measured from sidewalk elevation)

Minimum Building Height	26'
Maximum Building Height	40'
Finish Floor	at sidewalk elevation
First Floor Height	10' Min
Awning Height	10' Min Clear
Balcony Height	10' Min Clear

BUILDING USE - LEVEL 2

(See side column for specific Land Uses)

Ground Floor	Commercial, Office
Upper Floor (s)	Residential, Commercial, Office

PARKING REQUIREMENTS - LEVEL 2

- Parking shall be accessed via shared side access easements where alleys are prohibitive.
- Parking shall be located behind buildings in rear portion of lot.
- Corner lots may have access to parking from side street.
- Pavement in parking areas shall be limited to areas required for travel and parking.
- Compact Spaces are permitted as defined in the City Zoning Code
- Required Spaces:

Ground Floor	Uses less than 2000 sqft	none
	Uses greater than 2000 sqft	1/add. 600 sqft
Upper floor	Residential Uses	1.5/unit
	Non residential Uses	1/1000 sqft
Live/work		1.5/unit
- Parking Landscape requirements: 1 tree min. per parking area and a min. of 1 tree per 6 additional parking spaces.

PNR - LEVEL 2 LAND USE:

R-2 and C-2 Permissive Uses with the following additions and exceptions:

Additional Permitted Uses:

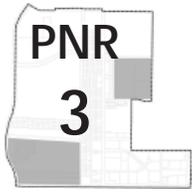
Alcohol sales for off-premise consumption in conjunction with a full service grocery store.

Prohibited Uses:

- Antenna
- Drive-in Restaurant
- Drive-up Service Window
- Gasoline, oil and liquefied petroleum gas retailing
- Package Liquor Stores
- Parking lot
- Off-premise signs
- Vehicle sales, rental, service, repair, and storage, both indoor and outdoor
- Vehicle washing, unless located in parking structure
- Warehousing
- Wireless Telecommunications Tower

Conditional Uses

- C-2 Conditional Uses
- Package Liquor Stores



LEVEL 3

LEVEL 3 KEY CHARACTERISTICS:

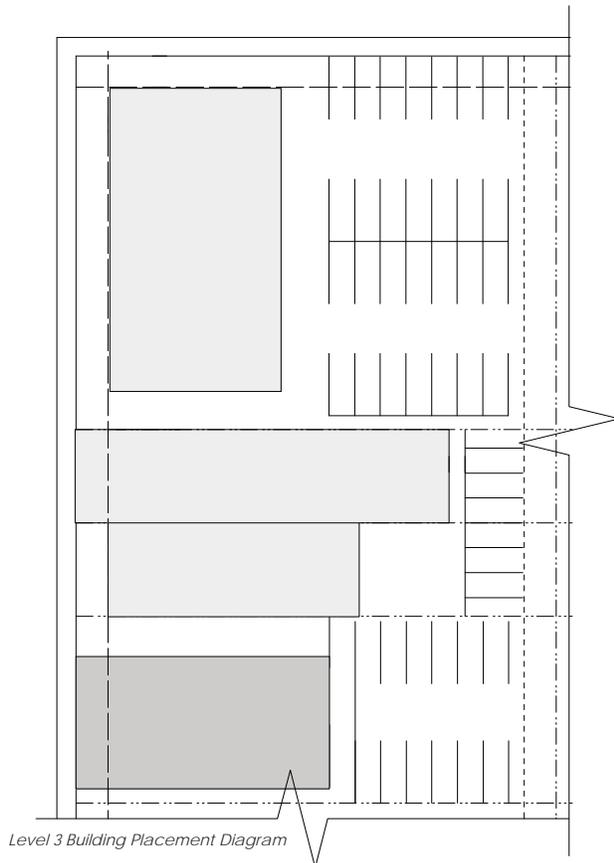
- Buildings oriented to the street
- Buildings are medium density residential
- Buildings have awnings and balconies
- Building frontage areas are urban
- Commercial businesses are small and support residential

LEVEL 3 PERMITTED BUILDING TYPES

- Urban Standard
- Urban Garden
- Liner Building
- Courtyard Building
- Terrace Apartment
- Stacked Flats
- Live/Work
- Row House
- Sidyard Row
- Courtyard Apartment
- Duplex/Triplex/Fourplex
- Casita Courts
- Patio House
- Accessory Building

LEVEL 3 PERMITTED FRONTAGE TYPES

- Shop Front
- Hotel
- Office
- Lobby
- Cafe
- Portal
- Patio
- Stoop
- Porch



Level 3 Building Placement Diagram

LOT SIZE LIMITS - LEVEL 3

Level 3 lot sizes are limited to the following:

	Lot Width	Lot Depth
Maximum	120'	150'
Minimum	15'	45'

OPEN SPACE REQUIREMENTS - LEVEL 3 STREET

There are no open space requirements for Level 3 due to proximity of open space and parks.

BUILDING PLACEMENT - LEVEL 3 STREET

Build-to-Line (Measured from property line)

Front	0-10'
Side	none
Rear	none

Setback (Measured from property line)

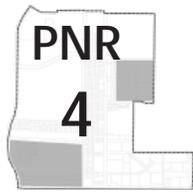
Front	none
Side	none
Rear	15' Min

BUILDING FRONTAGE

Maximum Level 3 frontage length with out a Change in height, material or articulation. 100'

Street Frontage Setback

Required Level 3 Street Frontage at BTL	less than 60 LF	40%
	greater than 60 LF	50%
Allowable Street Frontage setback distance from BTL		10' Max



LEVEL 4

LEVEL 4 KEY CHARACTERISTICS:

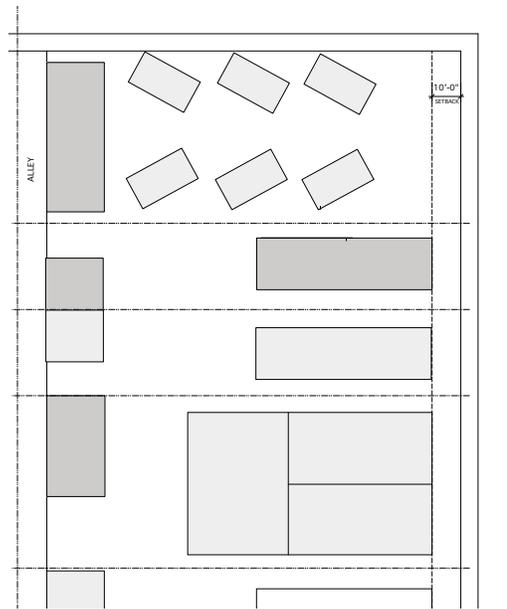
- Buildings oriented to the street
- Buildings are residential
- Multi-family buildings respect single family scale
- Building Fronts are set back from the street, stoops, porches and patios are permitted in setback area.

LEVEL 4 PERMITTED BUILDING TYPES

- Live/Work
- Row House
- Sidyard Row
- Duplex/Triplex/Fourplex
- Casita Court
- Patio House
- Single Family House
- Accessory Building

LEVEL 4 PERMITTED FRONTAGE TYPES

- Portal
- Patio
- Stoop
- Porch
- Frontyard



Level 4 Building Placement

LOT SIZE LIMITS - LEVEL 4

Level 4 lot sizes are limited to the following:

	Lot Width	Lot Depth
Maximum	50'	150'
Minimum	25'	45'

OPEN SPACE REQUIREMENTS - LEVEL 4

Open space requirements shall be as defined in the City Zoning Code for R-2.

BUILDING PLACEMENT - LEVEL 4

Build-to-Line (*Measured from property line*)

Front	15'
Side	none
Rear	none

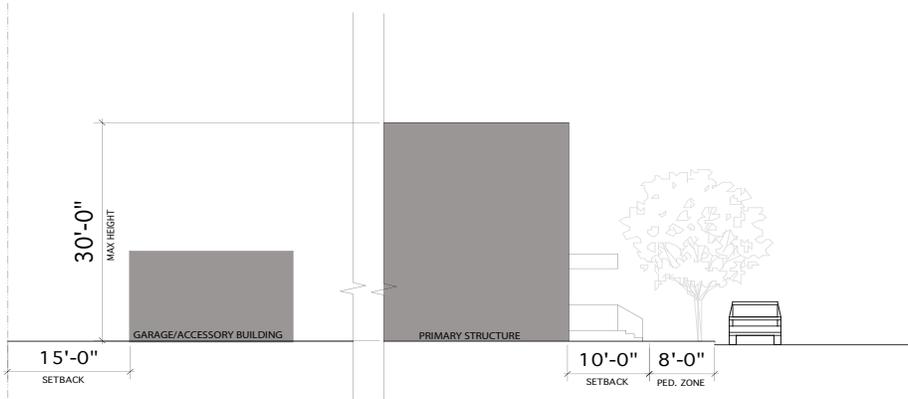
Setback (*Measured from property line*)

Front	15'
Corner lot, street-side setback	10'
Side	5'
Rear	15'
Garage setback	10' min from Front BTL.

BUILDING FRONTAGE - LEVEL 4

Frontage Setback

Required Level 4 Street Frontage at BTL	40%
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Level 4 Building Section

BUILDING HEIGHT - LEVEL 4

(Building height shall be measured from sidewalk elevation)

Minimum Building Height	N/A
Maximum Building Height	26'

BUILDING USES - LEVEL 4

(See side column for specific Land Uses)

Residential Only

PNR - LEVEL 4 LAND USE

R-2 Permissive Uses
Accessory living quarters

Conditional Uses

Live/Work
Day care
Public Library
Recreational Facility

PARKING REQUIREMENTS

1. Parking shall be accessed via shared side access easements where alleys are prohibitive.
2. Parking shall be located behind buildings in rear portion of lot.
3. Corner lots may have access to parking from side street.
4. Pavement in parking areas shall be limited to areas required for travel and parking.
5. Compact Spaces are permitted as defined in the City Zoning Code.
6. Required Spaces

less than 1000 sqft	1/unit
greater than 1000 sqft	2/unit
live/work	1.5/unit

C-3

GIBSON C-3

The C-3 zone applies to parcels currently zoned C-3 located along Girard Boulevard. The intent is not to change the zoning of these parcels but to ensure high-quality redevelopment through the adoption of design standards which enhance the Girard corridor, strengthen neighborhood character and promote pedestrian activity.

Entry location and treatment:

1. Building entrances shall be oriented to the primary street frontage. No development shall be permitted to place or orient buildings on a lot in such a way so as to treat the primary street frontages as a rear/side lot line.
2. Building massing shall highlight the location of building entries. Primary pedestrian entries shall be clearly expressed.

Exterior façade treatment:

1. Buildings shall be designed to relate directly to and reinforce the pedestrian scale and quality of street, civic and open space.
2. All building facades visible from the public right-of-way shall have architectural treatment comparable to the primary building façade and shall completely screen all building service and loading areas.
3. Large buildings over 30,000 square feet shall be located to minimize the impact of windowless walls and service areas on public streets.

Permitted Building Materials:

1. All primary building facades shall use materials that are durable and of a quality that will retain their appearance over time.
2. Materials that are visibly simulated or prefabricated are prohibited. Scored plywood is prohibited.
3. Generic trade dress is not permitted.
4. Glass shall be transparent
5. Accessory buildings shall be similar in design and materials to the primary buildings.
6. All screening enclosures shall be integrated with building architecture and utilize the same materials as the primary building.
7. Rooftop equipment shall be screened from view from public streets and open space by architecturally integrated screening elements.
8. Ground mounted utilities shall be screened from view from public right-of-way and open space.

Service and outdoor storage locations/screening:

1. Service areas and storage areas shall not front onto public streets and open spaces.
2. Service areas shall be visually screened from view of public streets or open space.
3. Service and emergency service lanes shall be designed as part of the site circulation and shall not use dedicated lanes that add impervious surface.
4. Outdoor storage areas shall be screened.

Fences and walls:

1. Walls and fences shall comply with the intent of the City's design manual for subdivision access and perimeter walls.
2. Chain link fencing is not permitted.
3. Walls and fences exceeding four feet in height that are located within the setback area adjoining a public street shall provide variety and articulation at intervals not exceeding 30 feet through either changes in plane or expression of structure, such as a post, column, or pilaster.
4. The design and materials for walls and fences shall coordinate with the design and materials of the principal buildings in terms of color, quality, scale and detail.

Off-street parking requirements:

1. Residential uses: 2 spaces for units with 3 or more bedrooms, 1.5 spaces for units with 2 bedrooms, 1 space for units with one bedroom or studio units.
2. Nonresidential uses: Per the City of Albuquerque Zoning Code, with reductions for mixed-use shared parking and transit proximity and with the following exceptions:

- On street parking spaces adjacent to the site may be counted towards a site's off-street parking requirements.
- A maximum of one bay of parking (one drive aisle parked on both sides) is permitted between the front of the building and the street. All other parking shall be located at the rear and sides of buildings.
- No single parking area shall exceed 150 spaces unless divided into smaller subareas by a building, internal landscaped street or shaded landscaped pedestrian way with trees planted 30 feet on center.
- Large truck parking shall be separated from automobile parking. Large truck parking shall be screened from view from the public right-of-way.
- Water harvesting areas for surface runoff shall be provided in parking lots.

C-3

Landscape and Open Space Standards

1. Landscape standards and Open Space shall be per the City of Albuquerque Zoning Code and Development Process Manual, with the following exceptions:
2. Landscape Area Requirements: 15% per COA Zoning Code.
3. Standard Landscape Buffers:
 - Front Landscape Buffer: Where parking areas front on the primary street right of way, a minimum landscape strip of ten feet or a six foot landscaped area with a 4 foot high screen wall, shall be maintained between the parking area and the street.
 - Side/Rear: A minimum landscaped strip of 6 feet shall be maintained between parking areas and adjacent lots, regardless of site size.