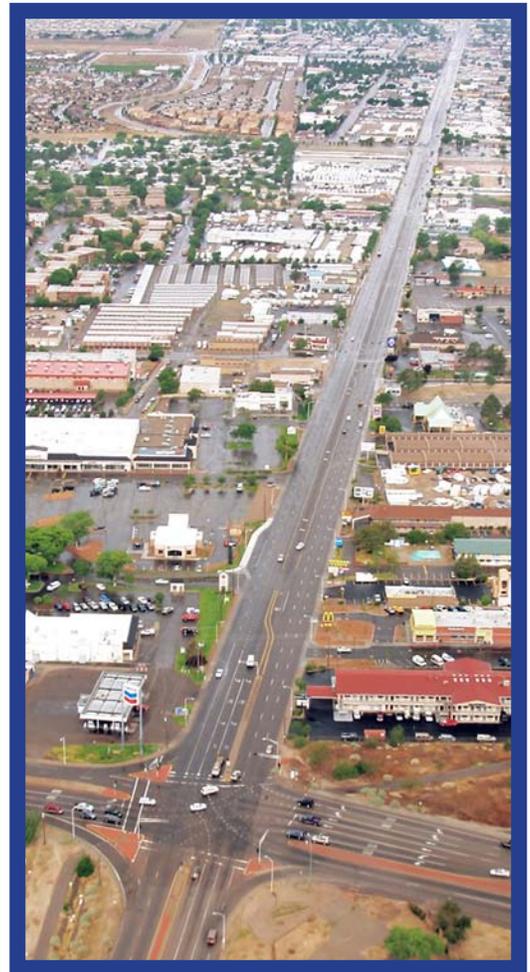


East Gateway Sector Development Plan

Project Kick-off Report

May 21-22, 2008



Save these dates!

August 26th through 28th

East Gateway Design Workshops:

Evening Meetings on

Tuesday, 8/26 from 6:30 to 8:30 PM, workshop
Thursday, 8/28 from 6:30 to 8:30, wrap-up session

Daytime Open House Sessions on

Wednesday, 8/27 from 10:00 to 6:00 PM
Thursday, 8/28 from 10:00 AM to Noon



Prepared for the City of Albuquerque Planning Department
by Architectural Research Consultants, Incorporated,
Glattig Jackson Kercher Anglin, Inc. and RCLCO, Inc.

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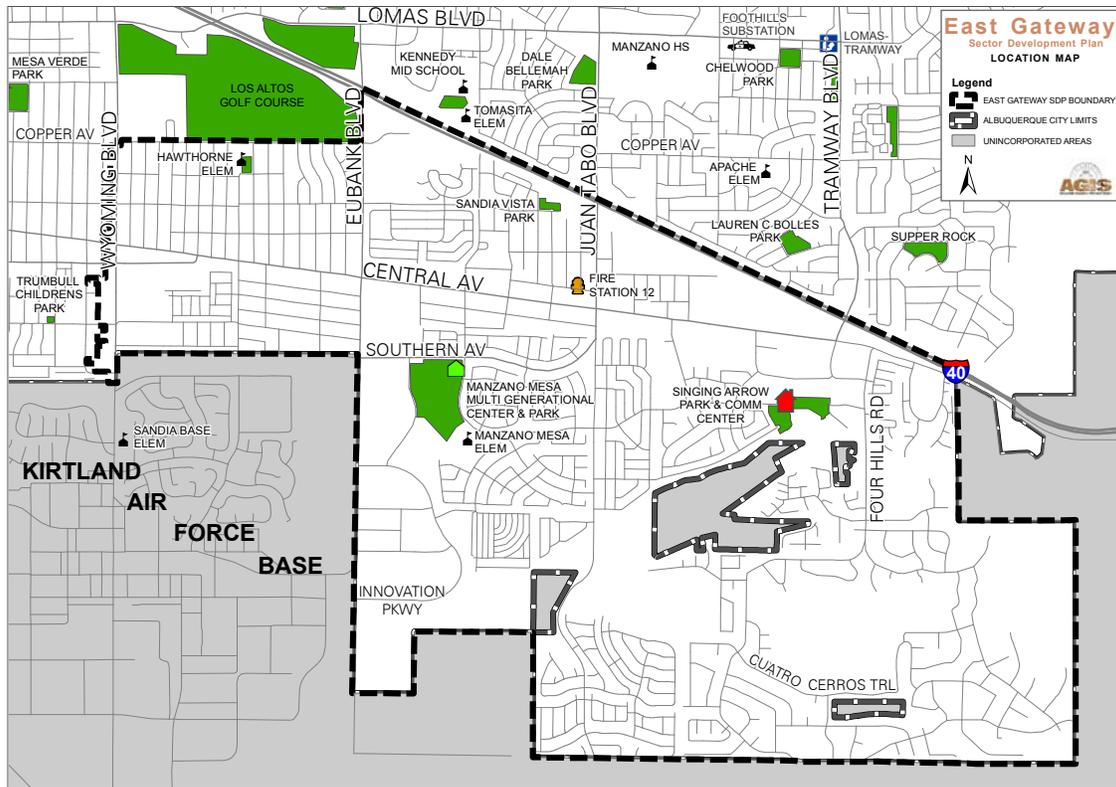
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1. INTRODUCTION

The City of Albuquerque's East Gateway Sector Development Plan seeks to integrate land use, transportation, and economic development for a portion of Albuquerque that is bounded by I-40 on the north, Kirtland Air Force Base on the south, Wyoming Boulevard on the west, and the City Limits at Tijeras Canyon on the east. Central Avenue, Historic Route 66, is the area's primary

commercial street and its spine of activity, and to its north and south lie primarily residential areas.

Kirtland Air Force Base and Sandia National Laboratories are a dominant presence in the East Gateway area, with 15,000 military and civilian staff members at a shared location. *See the map below for more detail.*



The Study Area

The sector development plan will include:

- An analysis of plan area issues and assets
- A community vision and goals
- A strategy for integrating land use, transportation and economic development
- A market study that identifies opportunities for and constraints to improved economic viability and land use
- Land use and site design regulations for properties along selected area corridors
- A multi-modal transportation circulation plan and public right-of-way design plan
- A proposed and prioritized public projects list for capital spending on the major corridors and if appropriate, in area neighborhoods
- A list of recommended community projects that can be accomplished with little or no City government intervention

2. PROJECT BACKGROUND

The first phase of the East Gateway project began in August 2007, when the City of Albuquerque Planning Department, Architectural Research Consultants and Glatting Jackson Kircher Anglin coordinated a three-day series of workshops and meetings to begin developing the scope of services for the sector development plan. The workshops' purpose was to listen to people's hopes, concerns, and observations about the East Gateway area as an aid in crafting a sector development scope that addresses local issues and needs. 160+ individual participants joined in work sessions and a public meeting. Many people attended multiple events. From these sessions, the desired community outcomes were identified:

- Low Crime and Community Safety
- An Attractive Community
- Healthy Businesses
- Good Transportation and Transit
- Plentiful Parks and Open Space
- Good Schools and Community Facilities
- Landowners Who Maintain Their Property
- Restaurants and Entertainment
- A Good Image for Central Avenue



These findings helped the project team design a scope of services that included adding another firm to the team: RCLCO of Los Angeles is providing expertise in real estate market analysis to determine the kinds of development and redevelopment that might best revitalize the East Gateway area.

3. FINDINGS FROM THE KICK-OFF MEETINGS

(May 21st to 23rd, 2008)

The Sector Development Plan is now underway. The Project Team has been gathering information about transportation, land use, demographics (population and employment trends), public facility needs, real estate conditions, and development trends to better understand the area and its potential.

The City of Albuquerque Planning Department staff and the consultant team met during the week of May 19, 2008 to share additional information, discuss issues and bring the community back into the planning process.

Meetings included:

- City Planning, Municipal Development and Economic Development
- PNM
- Sandia Laboratories
- Sandia Tech Park
- Kirtland Air Force Base
- Councilor Don Harris
- A public meeting

Other kick-off activities included:

- Aerial photography
- An interview program taped with the Councilor for GOV TV

A. Initial Findings on Real Estate Redevelopment Opportunities

One of the East Gateway's assets is its proximity to two of the largest employers in New Mexico: Kirtland Air Force Base and Sandia National Labs. Because of their many employees, there may be opportunities to provide more variety of business-supporting retail, restaurants, and services that are much needed in the immediate area. Additional residential development near these major employers, under the right conditions, may also present an opportunity for area growth.

Its location at the eastern edge of Albuquerque positions the East Gateway area to capture potential retail and local office demand from communities east of the mountains. However, the team has heard negative perceptions regarding crime and public safety in the study area, which may preclude it from capturing more retail spending from residents who live east of the mountains or north of Interstate 40. These perceptions present a major challenge, which, if mitigated, may help generate market support for additional retail and services in the study area.

The East Gateway residents are economically and culturally diverse. The Four Hills census tract has the highest median income in Albuquerque south of Montgomery Boulevard, while the area west of Wyoming (just outside the study area boundaries) has one of the lowest median incomes in Albuquerque. Employees at Sandia Labs and the adjacent tech park earn much higher incomes than most in the city, whereas Kirtland AFB employees are more evenly distributed across the income spectrum. This makes for an interesting challenge for East Gateway in terms of balancing the need for more upscale land uses with affordability and sufficient locally generated demand.

Initial signs of increased investment in the East Gateway are already evident, with new retail and restaurants at Eubank Boulevard and Central Avenue, major residential development south of the Tijeras Arroyo on Juan Tabo Boulevard and other residential development south of Central

and also near I-40, and the attractive, highly used community asset in the Manzano Mesa Multi-Generational Center. While the transformation of the East Gateway will likely be a long-term effort, many of the study area's characteristics are encouraging for impending improvement. The findings from the completed market analysis will begin to define the character and magnitude of development opportunities that will help transform the area.

B. Results from the Community Kick-off Meeting

A public meeting was held on the evening of May 22nd at Manzano Mesa Multi-Generational Center. Approximately 200 neighbors, business people and other interested people participated, providing input and questions for the planning team.

Councilor Don Harris of District 9 welcomed constituents and outlined his vision for the plan. Area legislators updated the community on outcomes of the 2008 legislative session. District 6 Councilor Rey Garduño, whose district covers the western portion of the study area, emphasized the need for a coordinated approach to strengthen the entire area.

The Planning Team presented information about the sector development plan. The meeting was designed to invite people to help shape Plan activities, findings and recommendations. To begin this task, the community was asked to participate in two ways: by placing dots on large wall maps to mark both good and bad aspects of the study area, and to use cards to make comments and ask questions about study area issues. The results of both activities are summarized below.



The map exercise:

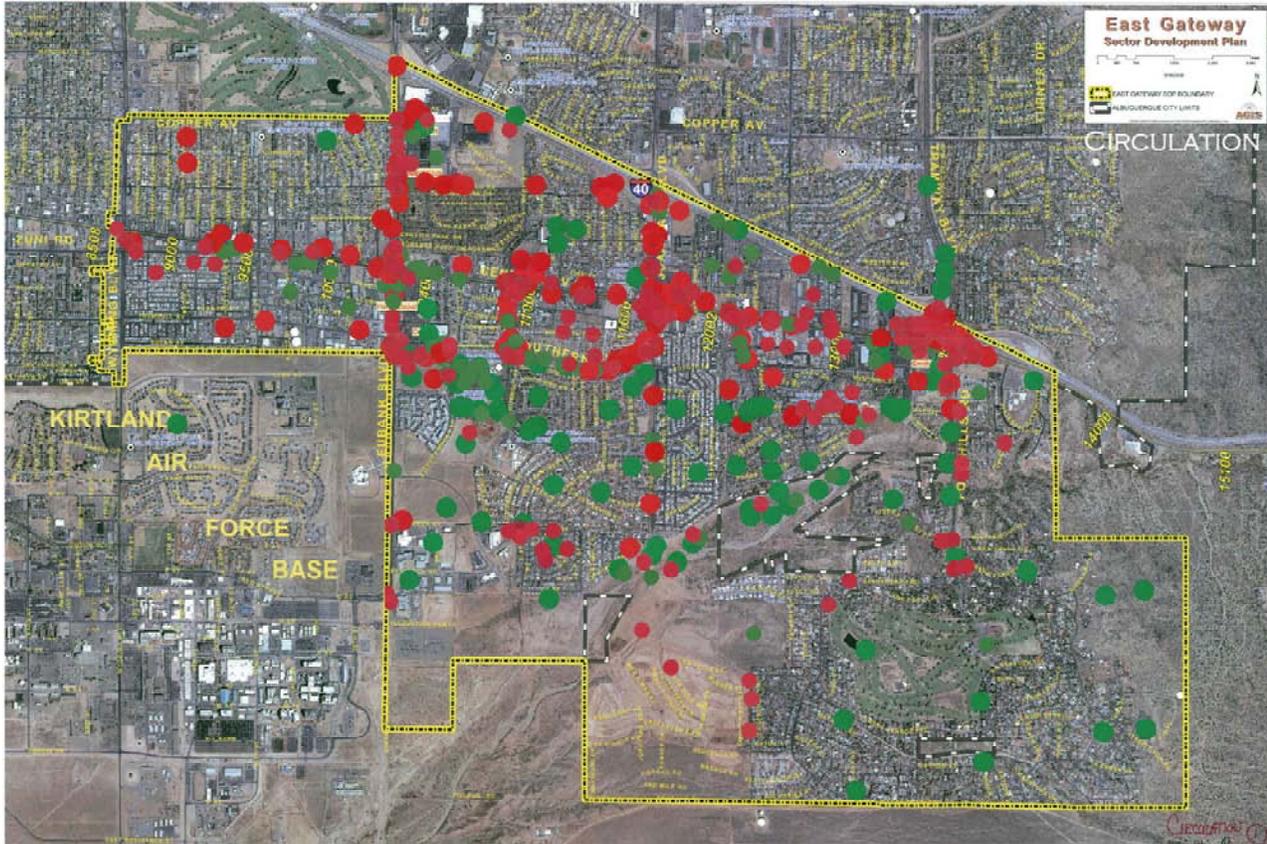
The Project Team prepared large-scale aerial maps of the Study Area and posted copies on the meeting room walls. The maps covered three different topic areas: Circulation, Quality Places and Safety. Meeting participants were asked to place dots on all three map types, with green dots used for good places and red dots for poor places.

Given the large number of participants at the meeting, four copies of each map type were provided. After the meeting, all of the maps were scanned and then digitally merged by topic.



Information from the community will be used to help create the sector development plan. The maps and summaries of findings are presented on the next three pages.

Circulation



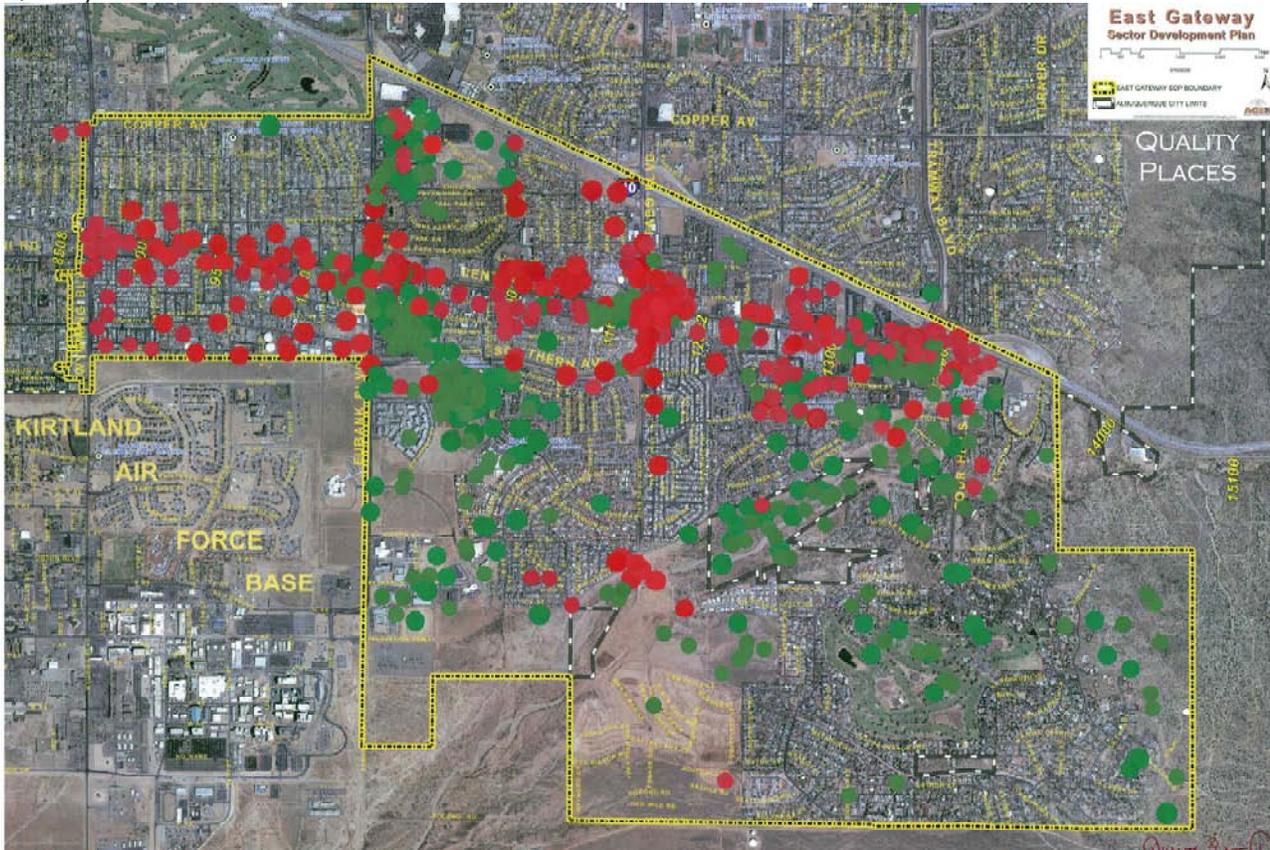
Green dots = good places. Red dots = bad places

Circulation

Note: Locations are presented in descending order of the number of dots received. Those listed in **bold text** were the most frequently mentioned.

Locations with Good Circulation	Locations with Bad Circulation
<p>Within the Four Hills subdivision at various intersections Areas primarily south of Central Avenue within the residential subdivisions (near Humboldt Street, Manistee Street, Glacier Bay Street, Herman Roser Avenue, D, G and LX Streets, Wild Horse Trail, Fox Lane, Elyse Place, Yorba Linda Drive, Singing Arrow Avenue) Locations along the Tijeras Arroyo</p> <p>Along the length of Southern Avenue</p> <p>Near Manzano Mesa Multi-Generational Center, park & school</p> <p>Juan Tabo Blvd and intersection of Juan Tabo and Central Avenue Four Hills corridor Near Costco and Home Depot along Eubank Boulevard</p> <p>Smith's & Four Hills shopping center Dorothy Street north of Central Avenue Areas within Research Tech Park Tramway Blvd north of Central Avenue Undeveloped parcels adjacent to Southern Avenue Near Wenonah Ave south of Smith's Clusters south of I-40 in areas with no direct access to the highway</p>	<p>Eubank, Juan Tabo, Tramway intersections at Central Avenue Various locations along Central Avenue</p> <p>Primarily clustered around north and south sides of the intersection at Juan Tabo and Central Ave and Four Hills and Central Avenue Clusters around Juan Tabo and Central Avenue and Tramway Boulevard south of Central Avenue Various locations along Eubank Boulevard north and south of Central Avenue Intersection of Tramway Boulevard and Central Avenue Southern Boulevard Eubank Boulevard north of Central Avenue near Wal-Mart and Sam's Club Singing Arrow Avenue near the community center Locations south of Central, east of Research Tech area Near Four Hills Road near Hidden Valley Drive Western Skies Road south of Central Avenue Wenonah Avenue intersection with Central Avenue Areas along the arroyo Buena Ventura Road north of Central and Eubank intersection</p>

Quality Places



Green dots = good places. Red dots = bad places

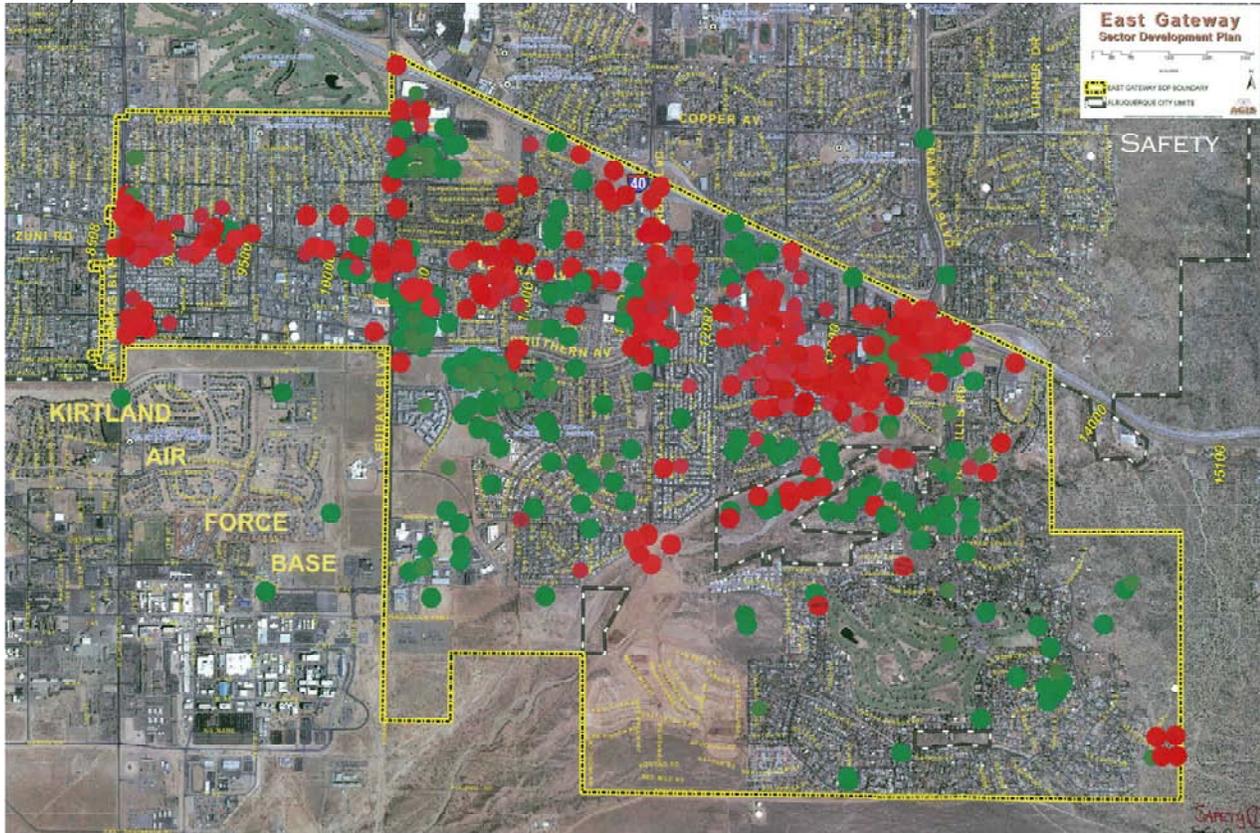
Quality Places

Note: Locations are presented in descending order of the number of dots received. Those listed in **bold text** were the most frequently mentioned.

Good Locations	Poor Locations
Manzano Multi-Generational Center, park & school	Intersections of Tramway Boulevard, Juan Tabo Boulevard, Southern Boulevard, Eubank Boulevard and Central Avenue, + Central Avenue corridor
Costco, Sam's Club, Wal-Mart	Area north and south of Central Avenue on and near Wyoming Boulevard and at the intersection
Areas within the Four Hills subdivision Along the arroyo	Scattered along Central Avenue throughout the entire study area
Tech Park area	Self-storage area and RV lot south of Central Avenue directly west of Four Hills shopping center
Area near Four Hills Road north of Hidden Valley Drive	Shed sales lot and mobile home park south of Central Avenue east of Elizabeth Street
Smith's	Multi-family buildings east of Western Skies Road south of Central Avenue and RV lot
Four Hills shopping center	Bridge area where Juan Tabo crosses the arroyo
Four Hills Road south of Central Avenue	North side of Central Avenue west of Juan Tabo and west of Eubank
Open spaces and platted undeveloped parcels west of Sagebrush Trail	Eubank Boulevard north of Central near Wal-Mart
Starbucks shop at Eubank Boulevard and Central Avenue	Locations north and south of Central Avenue between Juan Tabo and Eubank Boulevards
	Industrial area north of Kirtland Air Force Base, also south of Central Avenue

Additional locations identified as poor, but that received only a small number of dots, are listed in the Appendix.

Safety



Green dots = good places. Red dots = bad places

Safety

Note: Locations are presented in descending order of the number of dots received. Those listed in **bold text** were the most frequently mentioned.

Good Locations	Poor Locations
Costco, Sam's Club, Wal-Mart, Home Depot Individual homes scattered throughout the study area	Areas directly adjacent to Singing Arrow Community Center Juan Tabo Boulevard and intersection at Juan Tabo Boulevard and Central Avenue
Areas directly within or open space adjacent to arroyo	Section of Southern Avenue as it transitions north into Juan Tabo Boulevard and intersection with Central
Manzano Mesa Elementary School, Park, and Multi-Generational Center Four Hills Shopping Center	Mobile home parks and businesses along Central Avenue between Eubank and Wyoming
Significant clusters in Four Hills Country Club residential area	Significant clusters to the north and south of Wyoming Boulevard and Central Avenue
3 locations within KAFB Location east of Sandia Tech Park	Multi-Family areas around Singing Arrow Community Center south of self storage and RV lots
Smith's	Areas around Tramway Boulevard and Central Avenue intersection Significant clusters around northeast corner of Juan Tabo and Central Avenue
Building west of Dorothy Street north of Skyline Road Fire Station #12	Open space and frontage roads directly south of I-40 on east and west sides of Four Hills Road
City-owned park adjacent to I-40 and Four Hills Road	Smith's and Four Hills Shopping Center Area directly south of Smith's (corner of Wenonah Avenue and Tramway Boulevard)
	Neighborhood west of Hidden Valley Drive

Questions and Comments from the Community

Meeting participants wrote down questions and comments for the Planning Team. Councilor Harris and the Project Team responded to as many items as possible within the meeting time frame. The charts below provide a list of all the questions and comments received, sorted by topic area.

Questions from the Community

The charts displayed on this page and the next present questions asked by meeting participants and answers provided to the Project Team by various City and other public agencies. In some cases, the team was unable to find answers, but will try to do so in the near future.

Category	Topic Area	Question	Answer
City Capital Projects	Infrastructure	Heard of notice about a 5' drainage pipe at Copper development?	According to Municipal Development, the pipe on Copper is part of a drainage project to ensure that the neighborhood between Wyoming and Eubank has flood protection. No street widening is involved. The pipes will continue north through the golf course after this summer and drain into a pond adjacent to the Animal Control Center on Lomas. The project name is Moon Street Storm Drain Project and the project manager is Richard Costales, 768-2774
Economic Development	Business	Why are local businesses off I-40 not advertised on I-40?	According to Tony Abbo with District 3 of NMDOT, 841-2761, the NMDOT usually allows business names on signs only in rural areas of NM. There is one exception in Albuquerque. Exceptions are handled on a case-by-case basis in the Santa Fe office. However, the East Gateway area probably has too many businesses to list. They usually do not call out separate businesses in congested urban areas.
	Jobs	What type of employment growth is anticipated?	The Middle Region Council of Governments is the accepted source for population and employment projections that can be broken out by subareas. They estimate that the Study Area supported just under 9,000 jobs in 2004, a figure they expect to increase to nearly 12,800 in 2030 if current trends continue.
	Sandia Tech Park	Is Gibson and Innovation Parkway for a "Science Park"?	According to a map that has been provided to Municipal Development, the road serves the Tech Park, but a short road attached to it will allow access from the mobile home parks to the east so they will have access to Eubank.
	Tourism	Plans for additional tourism spots?	The East Gateway Sector Development Plan market study will examine the potential market for a variety of future uses, including tourism.
Environmental Protection	Animal Control	What is being done about the prairie dog overpopulation?	We were unable to get an answer to this question at this time, but will pursue it during the planning process.
Land Use	Housing (development)	Will the East Central plan seriously address affordable housing needs of the low-income community?	Affordable housing needs to be addressed in the Sector Development Plan, as an integral element of the community.
	Commercial Development (want)	Will there be a Health and Wellness center (private)?	Quite a number of residents have shown interest in a private health club for the area. This information is being considered by the consultant team in their feasibility study for real estate development
Major Public Open Space	Open Space	What are the prospects for Tijeras Arroyo turning into open space?	The City has been acquiring open space parcels in the Tijeras Arroyo and their goal is to acquire as much of the arroyo land biozone as possible, which extends from the center of the arroyo to 500 feet on either side in the area from Carnuel to the KAFB boundary. However, there are also many pockets of land that are privately owned, some like the land grants, for centuries. It will take money to extend and expand Major Public Open Space within the arroyo.

More Questions from the Community

Category	Topic Area	Question	Answer
Parks	<i>Parks (development)</i>	Are tennis courts planned for Manzano Mesa Multi-generational Park?	Yes. The next phase of development will consist of multi-use courts i.e., volleyball, basketball, tennis as funds allow.
		What is the plan for the vacant property next to the Manzano Mesa Multi-generational Center?	The remaining portions of the park facility to be developed include the court between the Little League facility and the parking lot and the bottom of the detention pond which will be recreation fields. Any other property is not owned by the City and the property owners would have to identify development plans.
		Will the Manzano Mesa Park ever get landscaping?	Manzano Mesa Park will continue to be developed as funding is made available.
		Why are there no public child friendly play areas in or south of Four Hills?	No park land has been dedicated in this area.
		Why are we spending \$1.3 million on a park that no one will go to anyway? Gateway Park at I-40	\$1.3 million has been provided by the City's G.O. Bond program and the State Legislature for improvements to this facility.
		Will you ever put walking paths in Princess Jeanne Park?	If the park in question is Jeanne Bellamah Park, to our knowledge, no park funding is identified for this project. Note: this park is located outside of the Study Area.
Plan Participation	<i>Involving East Mountain Residents</i>	How will you involve the communities East of the Sector to benefit from new business?	The Planning Team has developed an on-line survey for East Mountain residents who work and/or shop in the East Gateway area. The results are summarized in this report. In addition, eastern Bernalillo County neighborhood associations, as one conduit to East Mountain residents, will be contacted to inform them of upcoming events and to invite their participation.
Project Funding	<i>Funding</i>	Who will provide funding for development?	The Sector Development Plan will include recommendations for publicly-funded projects, as well as findings about what types of private development and redevelopment could work in this area. A separate Redevelopment Study is underway which will target specific projects in or near Central Avenue for public-private partnerships.
		How will street improvements be funded?	Public street construction and maintenance are generally funded with combinations of funding including general obligation bonds, Federal funds, State funds and other resources. Street construction in association with new development is often funded with impact fees.
		Is TIDDS financing the redevelopment of the district? If so, what extent and what other financing is being considered?	The City is also preparing a separate Metropolitan Redevelopment Plan for an area on and near Central Avenue within our Study Area. That plan will identify appropriate financial and economic development tools for revitalization.
Public Buildings	<i>Libraries</i>	Are there plans for a new library?	The Library System recently completed a needs assessment for a large portion of the Southeast Heights, which extended eastward to Eubank. The study recommends a new full-sized library for the Southeast, as well as supporting library services such as a library storefront and e-library. However, no funding is available at this time. Contact Julia Clarke, Associate Director at 768-5122 for more information.
	<i>Post Office</i>	Are there plans for a new post office?	USPS has no plans for a new post office in the Study Area.
Schools	<i>New Schools</i>	Are there plans for new K-12 schools?	No new schools are planned at this time. The following schools, which serve the East Gateway area, have recently received or are currently constructing various types of additions: Hawthorne Elementary, Sandia Base Elementary, Manzano Mesa Elementary, Apache Elementary, Hayes Middle, Grant Middle, Kennedy Middle, Manzano High. Other remodeling projects are also underway at schools that serve the area. Some time ago, there was discussion of establishing a charter school in the area. We will try to get more information on the status of this proposal.
Sector Development Plan	<i>Study Area Boundaries</i>	Has the committee considered extending the EG Sector to include Copper Avenue?	For now, northern study boundary is I-40. Travel patterns from north of the freeway will be taken into account.
Transportation	<i>Traffic Management</i>	Can there be a 2nd exit from Four Hills?	At the time that the Juan Tabo Hills subdivision was in its planning stage, Municipal Development discussed opportunities for a link between the Four Hills and Juan Tabo Hills subdivisions as a means to provide additional access, particularly in case of emergencies. However, the Four Hills community did not support this option. There is a breakaway gate between the two subdivisions that can be opened by an emergency vehicle if needed.

Comments from the Community

The next three pages list comments that were made by community members. In some cases, very similar comments were made by a number of people, so the right-hand column notes the number of times an issue or idea was mentioned.

Category	Topic Area	Comment	# Times Mentioned
Code Enforcement	Code Enforcement	Dirty parked cars - get rid of	1
		Abandoned cars on curb sides or driveways	1
		Concern about trucks parking overnight on the corner of Southern and Juan Tabo	1
Economic Development	Commercial Development	Don't like the dollar stores, liquor stores, adult video stores, RV dealers, run-down motels.	1
		Consider new retail condo on frontage road east of Tramway	1
		Movie theater in area would draw a lot of business	1
		Bring more live entertainment and restaurants to area.	1
		Seek quality economic development to add upscale restaurants, stores and better motel/hotels	1
		Please! No more Dollar Stores!!!	1
		Need a super market other than Costco near Mirabella and Willow Wood area.	1
		Super Market/Trader Joe's should move in to corner of Central and Juan Tabo.	1
EG area should have a large hotel with conference facilities.	1		
	Commercial Revitalization	Revitalize old Furr's complex @ Central and Juan Tabo.	6
	Jobs	Job development of living wage jobs including jobs open to persons with felonies	1
	KAFB and SNL/Economic Survival	If Air force base and Labs close, the plan fails	1
	Revitalization	NE corner of Central/Tramway need should have something creative done.	1
	Revitalization	Consider mandating removal of empty buildings	1
	Sandia Tech Park Development	Need to expand Sandia Tech Park	1
	Sandia Tech Park Development	Gibson/Innovation Parkway has more space for multi-use buildings - more than science park alone	1
Environment	Environmental	Reduce jet noise from low flying aircrafts by requiring maximum performance take-offs and changing flight paths. Willowwood area.	1
	Resource Conservation	Consider mandating self power energy, solar panels etc..	1
	Water Resources/Landscape	Need water to vegetate and make things look nice, but it's scarce Consider mandating xeriscaping on Central	1 1
Health	Healthcare	Need for emergency room facilities or walk in urgent care center	1
Housing	Housing	We need affordable housing for lower income people, including rentals	2
Infrastructure	Infrastructure	Drainage on Copper between Elizabeth and Wyoming	1
Land Use	Development Density	Wants houses with space and yards, a nice community where neighbors say hi and are not on top of each other. How does this happen in height density?	1
		The area has a lot of potential, don't designate a bad area, make it all nice with low density	1
		Don't want a lot of commercial development, it changes the rural feel.	1
	Land Jurisdiction	Why have county zoning surrounded by city zoning? They get the services but don't pay the tax.	1
	Land Use	Remove businesses that promote vice.	1
	Land Use - Housing	Deluxe Inn should be converted to SRO housing, I hear there a lot of drug use and disorderly conduct at the inn.	1
Land Use - Mobile Homes	Central Mobile Home Park at Central/Dorado Pl is a problem.	1	
Land Use - Property Maintenance	The apartment buildings need to be cleaned up. El Dorado Village town homes have 3-5 cars parked in front yards unkempt.	1 1	

More Community Comments

Category	Topic Area	Comment	# Times Mentioned
Land Use (cont.)	Land Use/Crime Perception	Do what ever it takes to increase rents to drive out crime. Low rent = crime.	1
	Land Use/Property Maintenance - Mobile Homes	Trailer parks: either get rid of them or upgrade them	1
	Manufacturing Development	Consider light manufacturing on East Central.	1
	Office Development	Consider parking under new office structures	1
	Safety	Remove trailer park on Linn/Skyline. It brings unwanted crime.	1
Major Public Open Space	Open Space	Tijeras Arroyo should be turned into a green belt.	1
Parks	Parks & Recreation - East Gateway Park	Remove rodents in Tramway/Central park	2
		Beautify the open space at NE corner of Central and Tramway. Xeriscape is possible! I called 311 and they say there is no plan money in the budget. Can we partner with another entity?	1
		Park at Tramway and Central is inaccessible to Tramway, can't cross by foot.	1
		Park at Tramway and Central is inaccessible to Tramway and attracts transients.	1
	Parks & Recreation - New Parks	Development on south Juan Tabo needs parks or green space SW corner of Juan Tabo/Southern, create park.	1
		Dog park is desired	1
		A trailer park on Central was closed and for sale once, it would make a great park with all its mature trees, existing pool. Could add other features for community.	1
		Provide a community swimming pool. Perhaps near Manzano Mesa center.	2
	Parks & Recreation - Swimming	Better utilization of parks for community events	1
	Parks & Recreation-Events	Entertainment venue in area for concerts and other events.	1
Parks & Recreation-Maintenance + New Parks	Improve Sandia Vista Park and vacant land next to it.	3	
Parks & Recreation-Maintenance/Landscape	Landscape area around the skateboard park	1	
Parks/Community Services	We need more parks and places for families. Learning centers etc..	1	
Public Services	Library	Build library for residents south of Central	2
	Post Office	Post office needed for residents south of Central	1
	School Issues	Highland High School's being the assigned high school for Four Hills deters people from moving into the subdivision.	1
Positive Area Elements	Good Places	Good to see the development on the atomic museums and school for the blind.	1
		Like the Tijeras Arroyo, walking and hiking for wildlife, the foothills open space.	1
		Like the Multi-generational center, playgrounds, ball fields MMES, New schools for the blind, Love the bike trails!	2
		Good shopping opportunities and affordable family restaurants we love.	1
Public Art	Public Art	Include public art & art spaces in the plan	1
		Public art and representation of our cultural diversity should be considered	1
		Should show that the Youth is big part of the community and we care about them. Reggio Emilia, Italy is good example of showing youth inclusion in community art and projects.	1
Safety	Safety	Too many drunks and prostitution on Central	1
		Need more security when walking home evenings when its dark.	1
		Lots of crime near Western Skies and Central	1
		More lighting is needed on Southern between Juan Tabo and Eubank	1
Social Issues	Homelessness	Recognition by planners that homelessness and crime are not the same.	1
Street Maintenance	Street Maintenance	We have written a letter requesting improvements for nearby roads. Letter went to Don Harris, the mayor, and the planning department.	1
		Need to fix medians on Wyoming south of I-40	1
		I-40 South to Wyoming East needs work	1

More Community Comments

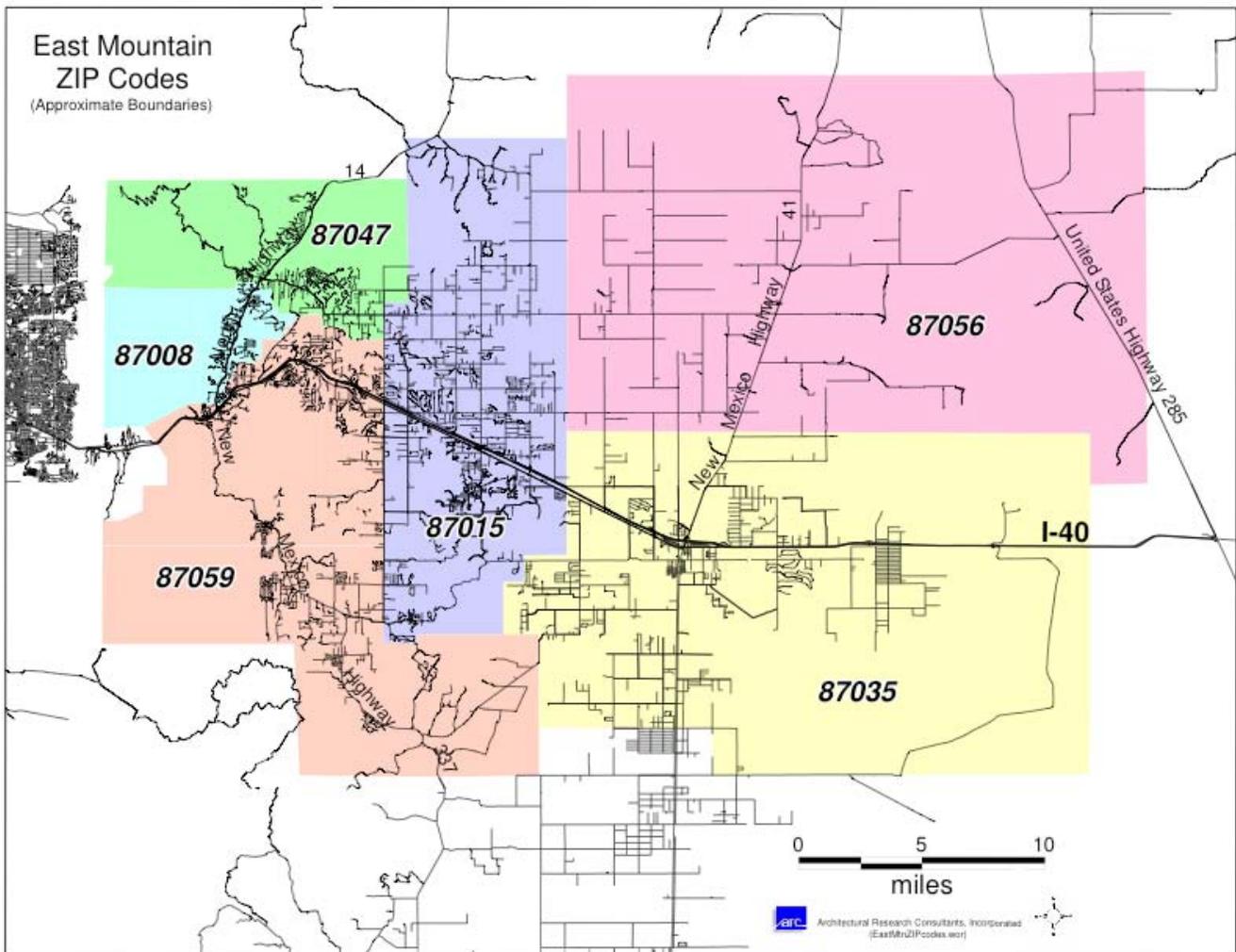
Category	Topic Area	Comment	# Times Mentioned
The Larger Community	Involving East Mountain Residents	EG plan doesn't end at the city limit find ways to educate and involve nearby county businesses and residents. Contact the contacts given on card.	1
Transportation	Bicycle Access	Bike plan is should be important features of the plan. Lots of cyclists in area no real bikeway from SE to SW Abq.	1
		Bicycle access for the base should be improved. Sandia/KAFB issue. Provide bike route from Tramway that would eliminate interaction with vehicles.	1
		Bike path near freeway Needs to be landscaped, make as pretty as Tramway	1
		Need more bike trails and access to existing bike trails.	1
	Bicycle Access/Landscaping	Bike path near freeway has great potential because it avoids traffic. Needs to be landscaped, its ugly.	1
	Pedestrian Safety	Pedestrian/Bicycle crosswalk is needed at Central and Elizabeth. Need to slow down traffic make crosswalks safer. Make East Central more pedestrian and transit friendly	1
			1
			1
	Safety	Safer access to Tramway hiking/biking paths from areas south of Central	1
	Traffic	Too much traffic near Wal-Mart Juan Tabo traffic needs to be addressed. Signal arrow at El Dorado	1
			1
			1
	Transit	Rapid Ride should extend to Tramway	2
	Transportation - Site Specific	Wants 2 streets out of Four Hills Elizabeth/Central intersection is dangerous, needs traffic light. Change traffic lane at Central and Eubank Tramway/I-40/Central interchange is a disaster and needs improvement! Elizabeth/Southern needs safety improvements, including turning arrows at the light headed south on Elizabeth Need traffic light at Juan Tabo and Buena Ventura. Complete Southern blvd (Eubank - Juan Tabo) Concern about the development at south end of Juan Tabo being able to handle the traffic Build a bridge across Tijeras Arroyo from South Eubank. Sound barriers are needed along I-40 exiting Juan Tabo Extend Martha through to Central Tramway/I-40/Central interchange needs improvement! Do NOT want another exit out of Four Hills village	1
4			
1			
2			
2			
2			
3			
1			
1			
1			
1			
1			
Transportation Development	We need median breaks to move our business product, manufactured homes (no location mentioned)	1	
Transportation Development-General	Use the Phoenix Az area as a model for landscape and pedestrian friendly areas. Address low speed electric vehicles (scooters, segways). Could be a test case for unimodal's SkyTran? (unimodal.com) Oakwood homes need to be accommodated if medians are installed A new Central Ave when 1-40 is closed from snow will have no police control and coordination with county and state police and DOT. No median to get emergency vehicles past the lanes and parked cars No right hand turn at southern onto Stephen Moody causes people to cut through the parking lot. This is becoming very dangerous. Something needs to be done to fix this.	1	
		1	
		1	
		1	
		1	
		1	
Urban Design	Urban Design	Central Avenue is too wide to promote retail on both sides.	1
		Juan Tabo south of Central needs beautification of the center divide	1
		Need more shaded areas in business areas. Parks or natural settings along street	1
		Please require low profile structures to a max of two stories.	1
	Urban Design/Character	No snobhill type constructions Allow well established East Central business to blend into the EG plan. East Gateway should be naturally and architecturally beautiful. Prevent developers with center collusion from abusing them for height density development to produce height tax revenue for the city Would like to see East Gateway similar to the Uptown area.	1
			1
			1

4. SURVEY OF EAST MOUNTAIN RESIDENTS

Many East Mountain area residents work in the East Gateway area and use area stores and services. The Project Team developed a web-based survey that was made available to East Mountain neighborhood associations and Sandia Labs employees. One hundred twenty people responded to the questionnaire. Although this group may not be representative of all East

Mountain residents, it does help the Planning Team to understand how people currently use the East Gateway area and what keeps them from using local retail and services.

The map below roughly illustrates the zip code areas of respondents:



Summary of Survey Responses

Retail Stores: Of the 120 East Mountain survey participants, 87% reported that they work in the study area, with 73% stating that they work at either Sandia Labs or Kirtland Air Force Base. Sixty-eight percent said they do 51% or more of their grocery shopping in the study area and 85% would do the majority of their grocery shopping in the area if it contained more of the types of stores they liked. Organic supermarkets, Smith's, a local grower's market, and Costco were the types of stores/shopping opportunities most preferred. For other types of retail purchases, such as tires, clothing, gifts, etc., 40% of respondents do 51% or more of their shopping in the study area and 78% said they would increase their East Gateway shopping if the study area were improved and had a greater variety of stores. The types of new retail stores that were mentioned the most were home improvement stores, books/music/video stores, apparel and accessories stores, department stores, electronics/computer stores, and home furnishings stores.

Dining: Fifty-one percent of survey respondents report that they dine out in the study area occasionally, while 40% do so monthly or more frequently. The most commonly mentioned restaurants types that they would like to see are more casual sit-down dining and formal dining.

Using Basic Services: Slightly over one-third of survey respondents say they do their banking in the study area, 28% say they use automotive services and 16% report they receive medical services. If more or better basic services were offered, the service in most demand would be medical services, with 35% saying they would use them.

Entertainment and Recreation: Participants listed a number of places they already visit for entertainment and recreation, with the most popular being movies, parks, libraries and community centers like Manzano Mesa. If other opportunities were offered, they said they would attend concerts, use a private exercise club and an amusement park or center.

Why People Don't Shop in the East Gateway Area: Fifty-five percent of survey respondents who say they don't shop or use services in the study area stated that it is because the area lacks the types of stores they prefer, while 34% feel the area lacks the types of recreation and entertainment opportunities they prefer. Many people say that they don't feel safe in the study area, which also limits their shopping. More information on area perceptions is presented below.

Visiting Other Places in Albuquerque: Survey participants were asked whether they remain in Albuquerque after work, but travel to areas outside of East Gateway. They were also asked whether they come to Albuquerque (any area of the city) on the weekends. On both weeknights and weekends, the most commonly mentioned activities in Albuquerque were shopping, dining, entertainment, and recreation.

Traveling from the East Mountain area to East Gateway: Even though gasoline prices were over \$3.50/gallon at the time of the survey, 88% of participants used their own vehicles for travel to the study area. Five percent traveled by carpool, 1% by vanpool and 3% used the park-and-ride pilot project bus service. The most common ways that they used to save on gas costs were combining trips and driving less. Survey respondents were also asked for more detailed information on their travel habits. While many were aware of the park-and-ride pilot project pick-up area at Sedillo Hill, quite a few thought that the schedule was inconvenient and the round-trip price of \$6/day was too high.

Area Perceptions: Survey respondents reported negative perceptions that far outweighed any positive feelings about the area. Many see the area as run down and with a high number of homeless people and/or panhandlers. The Juan Tabo and Central area was most commonly identified as being in poor condition. In some cases, people reported that they are afraid to be in the East Gateway area. A number of people said they think of East Gateway as an area to drive through on the way to somewhere else.

Some survey respondents mentioned that retail services in the area poorly matched the shopping needs of their families. However, other participants said that they are able to meet a lot of their shopping and service needs in the area, with the exception of medical and some basic service needs. The availability of a Costco, Home Depot, Sam's Club, and two national grocery chain stores within and near the study area encourages many people to continue shopping in the study area despite their negative impressions.

More detail on survey results is found in the report appendix.

5. NEXT STEPS

Design Workshop: a three-day intensive design workshop will build on existing and new information to develop solutions for major corridors to support a better East Gateway area.

Workshop Public Events:

Tuesday, August 26th
6:30 to 8:30 PM: Community Workshop

Wednesday, August 27th
10:00 AM to 6:00 PM: Open House

Thursday, August 28th
10:00 AM to Noon: Open House
6:30 to 8:30 PM: Community Wrap-up Session

There will be a post-workshop report made available to the community.

Later public meetings are tentatively scheduled for the first week of November, but you are always welcome to contact Paula Donahue of City Planning, 924-3932.

This kick-off report is also available on line at the City Planning Website: www.cabq.gov/planning/advance/eastgatewaysdp.html. Keep checking this site for project updates.

6. APPENDIX

The appendix consists of the following:

- Additional information from from the public dot exercise analysis
- Detailed information from the East Mountain Residents' Survey

A. Additional Information from the Community

Meeting Dot Exercise

The brief chart below identifies some additional locations that community members saw as Poor Quality Places. These locations received small numbers of dots but may yield useful information to the planning effort.

Quality Places: Additional Poor Locations
Scattered area between Juan Tabo Boulevard and Tramway Boulevard north and south of Central Avenue
Wal-Mart, Sam's Club
Motels, storage and RV lot north of Central Avenue directly west of Tramway Boulevard, south of I-40
City owned park directly east of Tramway Boulevard and I-40 interchange
Areas directly adjacent to Singing Arrow Community Center
Undeveloped parcel directly west of Manzano Multi-Generational Center
Mobile home park east of Tech Park area

B. Detailed Results from the East Mountain Residents' Survey

This appendix section provides detail about both closed- and open-ended question responses from East Mountain residents. The first series of charts lists the close-ended responses.

East Gateway Questionnaire for East Mountain Residents: Close-ended Questions

1. What is the zip code of your residence? (total respondents)	120
87008	20
87015	23
87035	1
87047	22
87056	1
87059	51
87123	2

2. Do you and/or your household members work in Albuquerque?	Count	%
Yes	104	87%
No	16	13%
Total Responses	120	100%

If yes, do you work in the East Gateway area or at Sandia Labs or Kirtland AFB?	Count	%
Yes	87	73%
No	19	16%
Total Responses	106	88%

3. Shopping and services within or directly adjacent to the East Gateway area

If you shop in the East Gateway area or might consider doing so in the future, please tell us about your shopping habits and desires:

a. Grocery Shopping

What percentage of your grocery purchases do you make in the study area? (your best estimate)	Count	%
0%	3	3%
1-25%	18	15%
26-50%	16	13%
51-75%	35	29%
76-100%	47	39%
Total Responses	119	99%

If the study area had all the types of grocery stores you prefer what percentage of your grocery purchases would you make there?	Count	%
0%	1	1%
1-25%	8	7%
26-50%	7	6%
51-75%	24	20%
76-100%	78	65%
Total Responses	118	98%

What types of grocery stores do you prefer? (check as many as apply)	Count	%
Whole Foods or other organic market	78	17%
Smith's	77	17%
Local growers' market	72	16%
Costco	62	13%
Wal-Mart	38	8%
Sam's Club	34	7%
Albertson's	33	7%
Specialty or international foods	32	7%
Independent market	29	6%
John Brooks	5	1%
Total Responses	460	100%

b. Other Retail Services

What percentage of non-grocery retail purchases do you make in the study area e.g. tires and auto supplies hardware and tools surplus stores recreational vehicle/boat supplies clothing gifts and greeting cards etc.	Count	%
0%	1	1%
1-25%	38	32%
26-50%	33	28%
51-75%	29	24%
76-100%	19	16%
Total Responses	120	100%

If the study area were improved and had a greater variety of retail available what percentage of your purchases would you make there?	Count	%
0%	1	1%
1-25%	7	6%
26-50%	21	18%
51-75%	33	28%
76-100%	58	48%
Total Responses	120	100%

What type of retail would you like to see in the East Gateway area? (check all that apply)	Count	%
Home Improvement Stores	56	14%
Books/Music/Video Sales and Rentals	56	14%
Apparel/Accessories	52	13%
Department Stores	51	12%
Electronics/Computer Stores	42	10%
Home Furnishings Stores	40	10%
Drug Stores	33	8%
Toy and Hobby Stores	24	6%
Gifts/Jewelry/Cosmetic Stores	21	5%
Convenience Stores	13	3%
Discount/Dollar Stores	10	2%
Auto/Boat/RV Sales	1	0%
Other	15	4%
Total Responses	414	100%

c. Dining

How frequently do you eat at East Gateway restaurants?	Count	%
Never	10	8%
Occasionally	61	51%
Monthly	13	11%
Several times a month	22	18%
Weekly	7	6%
More than Weekly	6	5%
Total Responses	119	99%

If the East Gateway area offered more restaurant choices what additional types of restaurants would you visit?:	Count	%
Casual Sit-down dining	67	56%
Sit-down formal dining	18	15%
None	12	10%
Fast food or takeout meals	7	6%
Coffee shop	7	6%
Other	15	13%
Total Responses	126	105%

d. Entertainment and Recreation

What types of entertainment and recreation places do you visit in the East Gateway area? (check all that apply)	Count	%
Movies	67	28%
Parks	40	17%
Trails	39	16%
Libraries	30	13%
Manzano Mesa and other community centers	28	12%
None	22	9%
Play fields	14	6%
Total Responses	240	100%

If the East Gateway area offered other recreation and entertainment what would you use (check all that apply):	Count	%
Concerts	57	36%
Exercise club	45	28%
Amusement park or center	22	14%
None	13	8%
Visitors center	6	4%
Other	16	10%
Total Responses	159	100%

e. Trips to Albuquerque

When you have finished your workday or your visit to the East Gateway area, do you remain in Albuquerque for (check all that apply):	Count	%
Shopping	89	30%
Dining	78	27%
Entertainment	49	17%
Recreation	30	10%
Religious services and activities	15	5%
Education	17	6%
Other	15	5%
Total Responses	293	100%

Generally how far do you travel from the East Gateway area for these activities?	Count	%
0-2 Miles	10	8%
3-5 Miles	24	20%
6-10 Miles	40	33%
More than 10 miles	40	33%
Total Responses	114	95%

Do you make special trips to Albuquerque on weekends or holidays for any of the following activities? (check all that apply)	Count	%
Shopping	101	27%
Dining	80	22%
Entertainment	81	22%
Recreation	49	13%
Religious services and activities	26	7%
Education	15	4%
Other	19	5%
Total Responses	371	100%

f. Basic Services

When in the East Gateway area do you use any of the following basic services? (check all that apply)	Count	%
Banking	68	36%
Automotive services	53	28%
Medical	30	16%
None	28	15%
Insurance	7	4%
Accountant	2	1%
Realtor	1	1%
Total Responses	189	100%

If the study area had more or better basic services available, would you be likely to use them? (check all that apply)	Count	%
Medical	57	35%
Automotive services	41	25%
Banking	31	19%
None	21	13%
Insurance	6	4%
Accountant	3	2%
Realtor	2	1%
Other basic services	4	2%
Total Responses	165	100%

4. If you don't shop or use services in the East Gateway area please tell us why. (check all that apply)	Count	%
Lack of the Stores I prefer	34	55%
Lack of Entertainment or Recreation opportunities that I prefer	21	34%
Prefer my local Stores and Entertainment	7	11%
Total Responses	62	100%

5. How do you travel from home to the East Gateway area?	Count	%
In my own vehicle	105	88%
By carpool	6	5%
By vanpool	1	1%
Using park-and-ride bus service	3	3%
I don't visit the area	3	3%
Total Responses	118	98%

6. Have rising gas prices affected your travel habits?	Count	%
Combine trips	45	38%
Drive less	40	33%
No change	16	13%
Take public transit more frequently	7	6%
Shop closer to home	6	5%
Travel with others	4	3%
Total Responses	118	98%

The second series of charts presents open-ended survey responses.

East Mountain Residents' Perceptions of Study Area - Open-ended Responses

Negative Impressions

Most services cater to the low-income segment.

Not a well developed neighborhood. Please pardon the phrase, but with the exception of the 4 hills area, it's kind of ghetto.

Generally a bad area of Albuquerque.

Outside of Home Depot and Dions Pizza (which I sometimes stop at on my way home from work), it is generally an area to drive THROUGH. If the Interstate had entrance/exit ramps that went directly to KAFB, I would usually take them!

The East Gateway area seems a bit run down (older) with lack of reinvestment in most areas. The upsurge along Central Avenue has been a great addition to the retail/restaurant market.

Needs updating and diversity of businesses and residential properties. Large RV and mobile home lots need to be converted to these uses

Run down.. Not many stores as compared to say the Uptown area. stores.

Run down, homeless people around, limited shopping, vacated businesses

Mildly unsafe; older

Dingy

This "Gateway Area" can be really scary, especially on and South of Central. We will NOT shop Smiths at Tramway and Central due to the Homeless hanging around and rarely go to Dion's across the street for the same reason. (We will drive all the way up to the Dion's on Montgomery instead.) I have been approached by homeless at the Eubank Home Depot as well. The farther North in town the safer – therefore we spend less in this "Gateway Area" than we would otherwise.

Pretty much rundown. There have been some improvements with new places being built, but a lot of the older areas especially around Juan Tabo/Central are scary. Even Tramway/Central area where the stores are not so bad, it never fails to be approached in the parking lots by transients or others begging for It's an area we have to drive through to get to the businesses / recreation, etc that is in the other parts of town!

Too many run down, closed stores. Too many dollar stores. Need a few up-scale shopping stores or a Kohls.

It's becoming run down.

Slum, High traffic, Just get through, confusing and dangerous intersection at Tramway and Central

Needs some sprucing up

It definitely needs some cleaning up. I like the Wal-Mart/Sam's area, but it is very congested, even on weekdays. The police seem to have to be around regularly to try to deal with the lingering meth addicts and their inherent problems. Don't feel totally safe - gotta watch your back too much. Get the old failed business buildings out of there, or try to make them less crappy looking. Too many freaks on Central Avenue. Otherwise it's very convenient to access from the East Mtns. We usually only go to Lowe's, Trader Joe's, TVI Montoya Campus, medical offices in NE Heights, and restaurants near I-25/Jefferson area Old neighborhoods and somewhat run down

Some areas are "slummy" like Central Ave. I am ALWAYS asked for "spare change" when I go for coffee or to pick up a salad at Dions. I absolutely HATE that because I usually have just come from work and feel like I can work (a very physical job) so why can't they.

Industrial, not family friendly, unappealing aesthetically, not a place to spend significant time

Infrastructure needs to be developed to maintain rural character while attracting quality businesses (too many inferior, sub-standard businesses, such as Dollar Stores)

Vacant shopping strips (Juan Tabo and Central) RV and used car sales. Empty commercial property

Most of what I need to do is within the Gateway area, but some are not, including medical, dental, and insurance.

The East Gateway area is mixed--some nice places like the Costco/Home Depot area on Eubank and the shopping center at Tramway and Central--but the rest seems rundown and populated by loiterers and bums. The condition of the roadbed of Eubank Blvd. between I-40 and Central is terrible. I'll run errands and shop after work before going home, but I'll do anything to avoid a trip to east Albuquerque on the weekends. For what the East Gateway has to offer, I'd rather drive to Edgewood, which is starting to get some retail businesses.

Mayor's Rumor: Please do not replace recreational vehicle dealers with strip malls.

Funky, weird mix of suburbia, upper class, military personnel and homeless drug addicts. I think the area is mostly soulless except for the homeless people. Drivers are rude.

Generally not the best stores.

Run down. Not safe in some areas.

Fast food restaurants, not family area with activities for my children

Lower socio-economic residences and shopping. Lack of quality dining and entertainment opportunities.

That it is on the decline. We shop at SAMS which is adjacent to the north of the Gateway area. I would most like to see a good gym (like Defined Fitness) in the Gateway area or just north (like in the old Builder's Square building). Currently I have to drive way out of my way to Defined Fitness on Juan Tabo and Candelaria. My husband and I are social dancers and would like to see a clean bar with a good dance floor in the area.

Spotty in services/stores

Mixed Perceptions

How much potential is there!! As a resident/worker (retired Sandian) of the area for 20+ yrs (first in subdivision south of Juan Tabo/Central then in Sandia Park), my perception is one of confusion in watching the imbalance that has occurred. So much emphasis on home developments without supporting businesses/services. Apparently, that is what you are trying to fix. Some areas have become unsafe and it is depressing to see the trashy, deserted area of Juan I think it has improved somewhat over the years, or perhaps I have just become used to it, as we had lived in the NE Heights for 28 years. There is no hiding the fact that it has people and activities which make it a less attractive part of town.

Shopping in this area is mostly convenient. I travel the furthest for small gift type shops since Hallmark closed, however there may not be the traffic for this type of store. The WalMart also seems to support a larger population than it was intended for. I prefer to shop there for specific items but I avoid it due to the volume of traffic.

Convenient, but very limited choices and parts are getting run down. We will often pass through the gateway to Uptown for many purchases.

East Mountain Residents' Perceptions of Study Area - Open-ended Responses (continued)

Positive Perceptions

Is a growing community. Seems cleaner than several years ago - new homes, buildings, parks. I like the growth of fast food chains that seems to have popped up. I also like the Chili's that has moved in recently. I also like that the traffic is not as bad in the area as in other parts of Albuquerque.

Pretty much what we need. Smith's and WalMart in Edgewood are nearer and we use them more often than the East Gateway stores.

Suggestions

Needs to be developed with less houses, more businesses.

I would like to preserve as much of the open space as possible.

Other Comments

This idea is just another way for Albuquerque to raise taxes and create areas deemed as nuisance areas so Albuquerque can steal privately owned property.

This is just another means to eventually reach for the untapped tax base in the east mountains. We have voted against that TWICE. Get the message?

Never thought of it as an "area." It's close to me and near my travel routes.

Out of my way to go there. Can't imagine how or why that would change. I often go to the Nob Hill area or Coronado center area but that's all.

Other Retail Desired	Number
Whole Foods, Trader Joes	3
Motorcycles	1
Bike shop	1
Bookstore	1
Pier 1 type; Hallmark store	1
Hallmark Cards	1
Plant nursery, Raks lumber, landscape materials	1
Independent stores - no more Wal-Marts	1
Bank of America	1
Flying Star or similar	1
Trader Joe's	1
Organic food markets such as Whole foods or Sunflower Market	1
Target	1
Other Restaurants Desired	
Flying Star, specialty cuisines	3
Variety of restaurants, but not more fast food. There's plenty of it.	2
Chinese & New Mexican restaurants are needed badly.	1
Mexican; soup n' salad	1
Coffee shop, international foods	1
Coffee shop (such as a Range Cafe) and casual sit-down dining.	1
Casual sit-down dining	1
Sweet Tomatoes	1
Sweet Tomatoes (buffet), Tomato Café (Italian buffet, Il Vicino (Italian), Quiznos	1
Vegetarian	1
Tea and sandwich	1
Subway	1
Something like Red Lobster, Steak -n- Ale, Bennigans, etc.	1
Other Recreation Desired	
Swimming pool	2
Movies	1
Stadium seating movie theater	1
Parks, Trails, Drive-in theatre	1
Museums or cultural centers	1
Please NO amusement parks or NO concerts	1
Library, park	1
Rock Climbing Gym	1
Horseback riding trails	1
Botanical gardens - nature trails	1
Continuing ed classes	1
A nice gym would be great.	1
Tennis courts	1
Bar with a good dance floor	1
Stay in Albuquerque after Work, but outside Study Area: Activities	
Banking	2
Home Depot or Lowes	1
Often pick up groceries or gas for my car after work before driving home to Tijeras.	1
Dog Park	1
Hiking	1
Business meetings	1
Medical	1
Fitness/Exercise	1
Retired, but frequent Albuquerque	1
I try to multi-task as much as possible	1
Visit friends, attend meetings	1
Visit friends/relatives	1
Visit Parent at Independent Living facility	1
Meeting Family members at a central comfortable location	1

Visit Albuquerque on Week-ends: Activities	
Joining family activities/visit family	6
Movies	1
Crew for a balloon	1
Recycling	1
Dog Park	1
Teaching Dance Classes	1
Horse park off Paseo & other trails	1
Medical	1
Gym	1
Banking	1
Visits to museums	1
Martial arts	1
Hardware store	1
Gardening	1
Other Desired Basic Services in Study Area	
Dry cleaners	1
Escrow company, title company, equipment rental	1
Beauty salon	1
We have an established bank outside the area (USNMFCU), wouldn't switch	1