

PART 3: FORM BASED CODE ZONES

14-20-3-1 Intent

This Part establishes a set of form based zoning regulations that are tailored to a variety of situations. These zones allow mixed use development in a variety of contexts, ranging from new development on large, "Greenfield" sites, to neighborhood redevelopment, to infill development on small sites. A description of the zones is as follows:

Zone	Purpose
Transit Oriented Development – Major Activity Center (TOD-MAC)	These are high intensity employment, civic, retailing and entertainment centers with a complementary mix of commercial and high to medium density residential functions. The centers are compact and spatially concentrated, with a network of streets and pedestrian ways connected to transit facilities.
Transit Oriented Development – Corridor / Community Activity Center (TOD-CORCOM)	These are Major Transit Corridors or Community Activity Centers that serve a relatively large area, to provide community-serving retail and services and high density housing. Densities and intensities are transit supportive, but are smaller in scale than the TOD-MAC, for Major Activity Centers. The TOD-CORCOM can form a larger-scale nucleus of a neighborhood that is developed pursuant to a Planned Village Development
Planned Village Development – (PVD)	Permits the establishment of mixed use communities on relatively large, undeveloped sites or in developed or partially developed areas. These communities may include a larger Town Center (pursuant to the TOD-CORCOM zone), or may contain a network of smaller Village Centers that provide supportive commercial and civic functions. The Planned Village Development zone includes separate regulations for Village Center, Village General, and Village Edge development that are integral parts of the PVD zone.
Mixed Use (MX)	The MX is a pedestrian scale, principally commercial development that is integral to a mixed use neighborhood. This zone can be used to establish commercial and mixed uses that serve residential neighborhoods, or to redevelop existing shopping centers.
Campus (CAM)	The Campus zone provides design and site layout standards for employment, institutional and commercial sites. These sites may have supportive residential uses. The Campus layout features generous open space and an internal pedestrian / biking network.
Infill Development (ID)	The ID zone provides a flexible standard to encourage the context-sensitive development of empty lots or the redevelopment of sites in substantially built up areas. It offers relief from rigid zoning, while ensuring the new development respects its surroundings and the compact, pedestrian friendly policies of the Comprehensive Plan and the Planned Growth Strategy.

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14-20-3-2 Permitted Building Forms – Composite Matrix

Table 3-2 indicates the zoning areas where each building form is permitted, and the situations for which it is permitted.

The rules of interpretation for Table 3-2 are as follows:

Symbol	Rules of Interpretation:
●	Permitted by right
B	Permitted only on a “B” Street that is designated on the site plan or Sector Plan. The lot or parcel must not abut an “A” Street.
	Blank cell (“ ”) means the use is prohibited.

Table 3-2: Permitted Building Types

Structure Type	TOD-MAC	TOD-CORCOM	PVD - Village Center	PVD – Village General	PVD – Village Edge	Campus	MX- Mixed Use	Infill Development
Residential building								
Detached single-family building				●	●			●
Duplex structure				●	●			●
Sideyard				●	●			●
Accessory unit / carriage house	●	●	●	●	●		●	●
Townhouse / rowhouse	●	●	●	●		●	●	●
Multifamily structure or apartment ¹								
Multifamily structure - three units (triplex)			●	●	●	●	●	●
Multifamily structure - four units (fourplex)		●	●	●	●	●	●	●
Courtyard Apartments	●	●	●	●		●	●	●
Terrace Apartments	●	●	●	●		●	●	●
Dormitory	●	●				●	●	

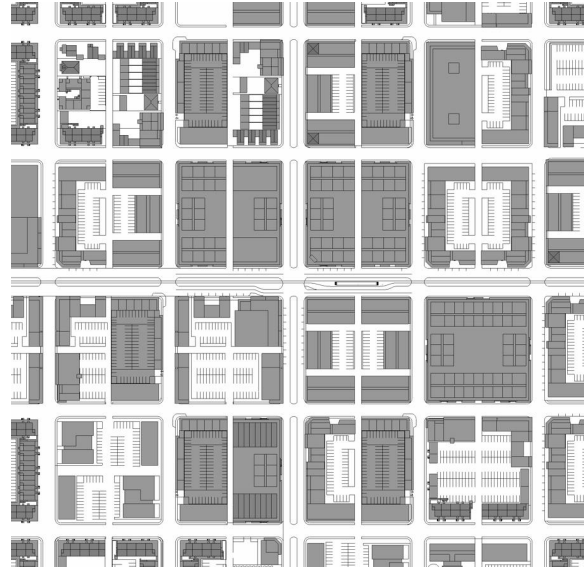
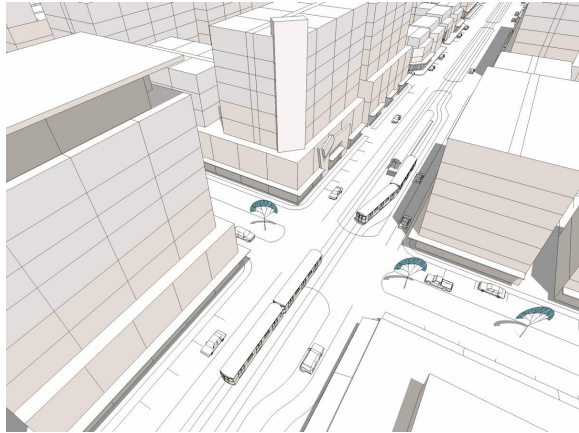
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14-20-3-2 Permitted Building Forms – Composite Matrix

Structure Type	TOD-MAC	TOD-CORCOM	PVD - Village Center	PVD – Village General	PVD – Village Edge	Campus	MX- Mixed Use	Infill Development
Hotel, motel, or tourist court	●	●	●			●	●	
Single room occupancy unit	●	●	●	●		●	●	
Commercial and Mixed Use²								
Live-work units	●	●	●	●		●	●	●
Drive-through facility	B	B	B			B	B ¹	
Liner Building	●	●	●			●	●	
Standalone store or shop building	B	B	B				●	
Flex Building	●	●	●			●	●	●
Civic (Public assembly)								
Theater	●	●	●			●	●	●
Indoor games facility	●	●	●			●	●	
Stadium or arena	●					●		
Exhibition, convention, or conference structure	●					●		
Religious building	●	●	●	●	●	●	●	●
Atriums and public enclosures	●	●	●			●	●	●
Other community structures	●	●	●			●	●	
Passenger assembly	●	●	●	●		●	●	●
Mixed mode terminal	●	●				●		
Bus/train terminal	●	●				●		
Institutional or community facilities								
Institutional buildings	●	●	●			●		●
Outdoor facility, no major structure	●		●			●		
Transportation-related facilities (not accessory to a Principal Building)								
Surface parking (parking lot)	B	B	B			B	B	
Parking structure with no ground floor commercial - residential						B		
Structured parking with ground floor commercial - residential	●	●	●			●	●	
Underground parking structure	●	●	●	●		●	●	●
Rooftop parking facility	●	●	●			●	●	●
Bus stop shelter	●	●	●	●	●	●	●	●

1 Permitted only on corner lots.

14-20-3-3 Transit Oriented Development – Major Activity Center (TOD-MAC)



(A) Purpose and Findings

The Transit Oriented Development – Major Activity Center:

- Provides a mixture of residential, commercial, entertainment, civic and employment uses within identified rail or other high capacity transit station or transfer point areas.
- Promotes transit supportive development by insuring access to transit.
- Provides development standards characterized by a more intensely built-up environment that is oriented to pedestrians, but accommodating of automobiles, and includes active areas of shops and restaurants. These standards include requirements for benches, kiosks, outdoor cafes; limitations on conflicts between vehicles and pedestrians; minimum densities; interconnected street systems, buildings that are oriented to the Public Realm; mixed use that includes higher density residential; wrapped parking structures and on-street parking.
- Provides a compact urban form that is restricted to areas within walking distance of a major transit station or transfer point (approximately 1/2 mile), and uses that are dependent upon, or may generate, a relatively high level of transit usage. Uses that interfere with transit are not permitted. Uses that are not designed to be transit supportive, but that provide an anchor for the community and/or can be retrofitted to accommodate transit, are relegated to designated "B" Streets.

(B) Required, Permitted and Prohibited Building Types

- (1) New multistory buildings shall devote the street level area to the retail, commercial and services uses listed below. Such buildings shall include these uses along at least 75% of their frontage along 'A' streets and 50% of their frontage along 'B' streets.

- Multi-family dwellings
- Retail Establishments
- Food Store, Bakery, Shops, Ice Cream, General Business Services
- Movie Theaters
- Museums, Art Galleries or Libraries
- Offices
- Personal Service Establishments
- Professional Services
- Restaurants and Bars

- (2) No auto-oriented building (see list below) shall be located within 1000' of another auto-oriented use on the same street.

- Automobile sales
- Drive-through facility attached to an ancillary use building
- Warehouse discount store building
- Warehouse or storage facility
- Vehicle fueling or charging

- (3) The following uses are permitted in the TOD-MAC zone:

Permitted Building Types in TOD-MAC	
Detached Single-Family Building	
Duplex	
Sideyard	
Accessory unit/house	●
Townhouse / rowhouse	●
Multifamily – triplex	
Multifamily- fourplex	
Courtyard apartments	●
Live-work	●
Terrace apartments	●
Dormitory	●
Hotel/motel	●
Single room occupancy unit	●
Drive through facility	B
Liner Building	●

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14-20-3-3 Transit Oriented Development – Major Activity Center (TOD-MAC)

Permitted Building Types in TOD-MAC	
Standalone commercial / office building	B
Flex Building	●
Theater	●
Indoor games facility	●
Stadium/Arena	●
Exhibition, convention or conference structure	●
Religious building	●
Atriums/public enclosure	●
Other community structures	●
Passenger assembly	●
Bus/train terminal	●
Mixed modal terminal	●
Institutional buildings	●
Outdoor facility, no major structure	●
Surface parking (parking lot)	B
Parking structure with no ground floor commercial – residential	
Structured parking with ground floor commercial - residential	●
Underground parking structure	●
Rooftop parking facility	●
Bus stop shelter	●

See § 14-20-3-2, Table 3-2 for rules of interpretation.

(C) Densities, Intensities and Height

High Intensity Core:

300 feet from station or transfer point

Minimum Average Density	40 dwelling units per acre
Minimum FAR	2.0
Minimum Height	2 stories / 26' on 20% of the block face
Maximum Height	Unlimited on 70% of blockface; no more than 7 stories / 91' on remaining 30% of block faces

Medium Intensity Core:

300 to 1320 feet from station

Minimum Average Density	32 dwelling units per acre
Minimum FAR	1.5
Minimum Height	2 stories / 26' on at least 70% of the block face
Maximum Height	5 stories / 65' on no more than 60% of block face

Low Intensity Periphery

*From Medium Intensity Core to
2,630'*

Minimum Average Density	12 dwelling units per acre
Minimum FAR	.6
Minimum Height	2 stories / 26' on at least 50% of the block face
Maximum Height	4 stories / 52'

Within 75' of the property line of a developed single family residential area, a new development's building shall not exceed 2 stories / 26' in height.

Distance from the station shall be measured along streets and beginning at the point where passengers board the transit facility. If this location is not known at the time of the application, the distance is measured from the boundary of the station area.

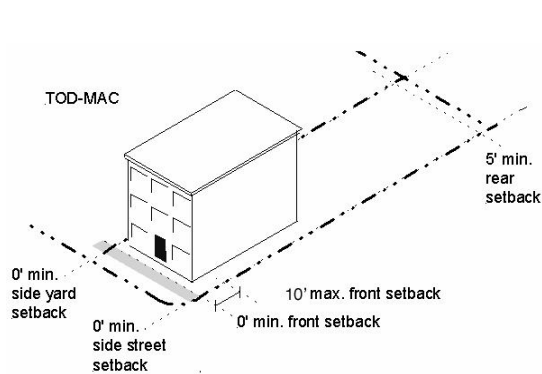
(D) Building Frontage and Articulation

	TOD-MAC
Glazing of ground floor frontage	75% minimum glazing of ground floor width to a height of at least 8' above the floor level.
Ground story clear height	A ground floor story shall have a minimum 10' clear height.
Building entryways on streets	40' on center minimum or as provided in the Building Form regulations (§ 14-20-2-1)
Articulation on streets	40' on center minimum or as provided in the Building Form regulations (§ 14-20-2-1)

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14-20-3-3 Transit Oriented Development – Major Activity Center (TOD-MAC)

(E) Building Placement



Setbacks (feet)

Front setback (minimum):	0'
Front setback (maximum):	10'
Side street setback (minimum):	0'
Side street setback (maximum):	10'
Side yard setback (minimum):	0'
Rear setback (minimum)	5'

Or as provided in the Building Form regulations (§ 14-20-2-1)

(F) Building Form and Profile

- (1) Standards for courtyards, forecourts, portals, porches, shop fronts, etc. are addressed in §14-20-2-2 of the Form Based Code.
- (2) Maximum encroachment height is one story. Encroachments in the public ROW shall follow existing City regulations.

(G) Traffic Impact and Street Design

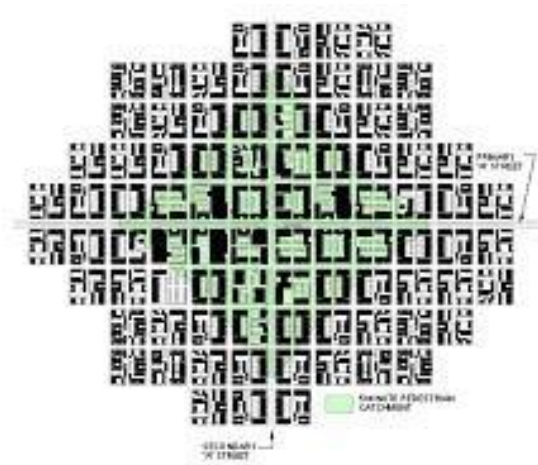
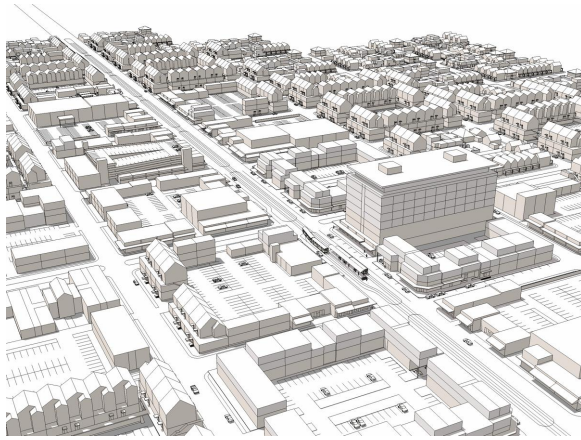
- (1) A Traffic Impact Study (TIS) shall be submitted if a proposed development will create more than 100 am or pm peak hour trips entering or exiting the site.
- (2) Mitigation measures included as part of the TIS may not include pavement widening or turn lanes
- (3) The following measures must be included as part of the mitigation required as part of the TIS:
 - (a) Commercial buildings must provide pedestrian connections to adjoining properties, where the adjoining property owner has allowed access to the property.
 - (b) A commercial building's on-site circulation system shall connect to existing or proposed streets, access ways and drive ways, or be stubbed out to adjoining property if the adjoining property is undeveloped.

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- (c) Commercial buildings must provide direct pedestrian connections between transit stops and building entrances.

14-20-3-4 Transit Oriented Development - Corridor/ Community Activity Center (TOD-CORCOM)



(A) Purpose and Findings

The Transit Oriented Development – Corridor/Community Activity Center:

- Provides a mixture of residential, commercial, entertainment, civic, and employment uses within identified rail or other high capacity transit station areas, transit transfer points and transit corridors.
- Is intended to promote transit supportive development, insure access to transit, and limit conflicts among vehicles, pedestrians and transit operations.
- Is characterized by a more intensely built-up environment and pedestrian orientation, while accommodating automobiles and active areas of shops and related commercial activities. Provides minimum densities; interconnected street system; buildings oriented to Public Realm; mixed use including higher density residential; wrapped parking structures and on street parking.
- Is restricted to areas within walking distance (1/8 to 1/4 mile) of transit stations, transit stops and transit corridors depending on location.
- Encourages uses that depend upon, or may generate, a relatively high level of transit usage. Uses that interfere with transit usage and generation are not permitted. Uses that are not designed to be transit supportive, but that provide an anchor or service for the community and/or can be retrofitted to accommodate transit, are relegated to designated "B" Streets.

(B) Permitted Building Types

- (1) Within TOD-CORCOM zoned Community Activity Centers, any new multistory buildings shall include the following uses along at least 50% of their frontage at the street level:

- Multi-family dwellings or their lobbies
- Hotels and their lobbies
- Retail Establishments
- Food Store, Bakery, Shops, Ice Cream, General Business Services
- Movie Theaters
- Museums, Art Galleries or Libraries
- Offices
- Personal Service Establishments
- Professional Services
- Restaurants and Bars

- (2) No auto-oriented use (see list below) shall be located within 2000' of another auto-oriented use on the same street.

- Automobile sales
- Drive-through facility
- Gasoline station
- Automobile repair and service structures
- Car care center or car wash
- Parking structure without liners

- (3) The following uses are permitted in the TOD-CORCOM zone:

Permitted Building Forms TOD-CORCOM	
Detached Single-Family Building	
Duplex	
Sidyard	
Accessory unit/house	●
Townhouse / rowhouse	●
Multifamily – triplex	●
Multifamily- fourplex	●
Courtyard apartments	●
Live-work	●
Terrace apartments	●
Dormitory	●
Hotel/motel	●

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14-20-3-4 Transit Oriented Development / Corridor / Community Activity Center (TOD-CORCOM)

Permitted Building Forms TOD-CORCOM	
Single room occupancy unit	●
Drive through facility	B
Liner building	●
Standalone commercial	B
Flex building	●
Theater	●
Indoor games facility	●
Stadium/Arena	
Exhibition, convention or conference structure	
Religious building	●
Atriums/public enclosure	●
Other community	●
Passenger assembly	●
Mixed mode terminal	●
Bus/train terminal	●
Institutional buildings	●
Outdoor facility, no major structure	
Surface parking (parking lot)	B
Parking structure with no ground floor commercial – residential	
Structured parking with ground floor commercial - residential	●
Underground parking structure	●
Rooftop parking facility	●
Bus stop shelter	●

See § 14-20-3-2, Table 3-2 for rules of interpretation.

(C) **Densities, Intensities and Height**

TOD-CORCOM

**1/8 mile from
BRT/Light Rail,
Urban Streetcar
Stop or Bus
Transfer point**

Minimum Average Density	20 dwelling units per acre in first 300 feet around transit station, 24 dwelling units per acre thereafter
Minimum FAR	1.0
Minimum Height	2 stories / 26' on at least 70% of the block face
Maximum Height	4 stories/52' with 3 stories/40' on at least 20% of any block face. 20' minimum stepback to 66' 5 th story or penthouse is allowed.*

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14-20-3-4 Transit Oriented Development / Corridor / Community Activity Center (TOD-CORCOM)

**1/8 to 1/4 mile
from BRT/Light
Rail, Urban
Streetcar Stop or
Bus Transfer
point**

Minimum Average Density	12 dwelling units per acre
Minimum FAR	.6
Minimum Height	2 stories / 26' on at least 50% of the block face
Maximum Height	3 stories / 40'*

**Frontage of
transit corridor
not included in
above**

Minimum Average Density	20 dwelling units per acre
Minimum FAR	1.0
Minimum Height	2 stories / 26' on at least 70% of the block face
Maximum Height	4 stories / 52' with 3 stories / 39' on at least 20% of any block face. 20' minimum stepback to 66' 5 th story or penthouse is allowed.*

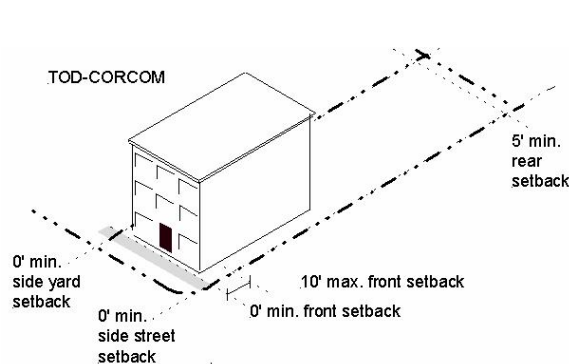
* Within 75' of the property line of a developed single family residential area, a new development's building shall not exceed 2 stories / 26' in height.

Distance from the station shall be measured along streets and beginning at the point where passengers board the transit facility. If this location is not known at the time of the application, the distance is measured from the boundary of the station area.

(D) Building Frontage and Articulation

Glazing of ground floor frontage	75% minimum glazing of ground floor width to a height of at least 8' above the floor level.
Ground story clear height	A ground floor story shall include a minimum 10' clear height.
Building entryways on streets	40' on center minimum or as provided in the Building Form regulations (§ 14-20-2-1).
Articulation on streets	40' on center minimum or as provided in the Building Form regulations.

(E) Building Placement



Front setback (minimum): 0'
Front setback (maximum): 10'

Side street setback (minimum): 0'
Side street setback (maximum): 10'
Side yard setback (minimum): 0'
Rear setback (minimum): 5'

If there is a conflict between a setback established in the Building Form regulations (§ 14-20-2-1) and this subsection, the Building Form Regulations control.

(F) Building Frontage and Articulation

Maximum encroachment height is one story. Encroachments in the public ROW shall follow existing City regulations.

(G) Traffic Impact and Street Design

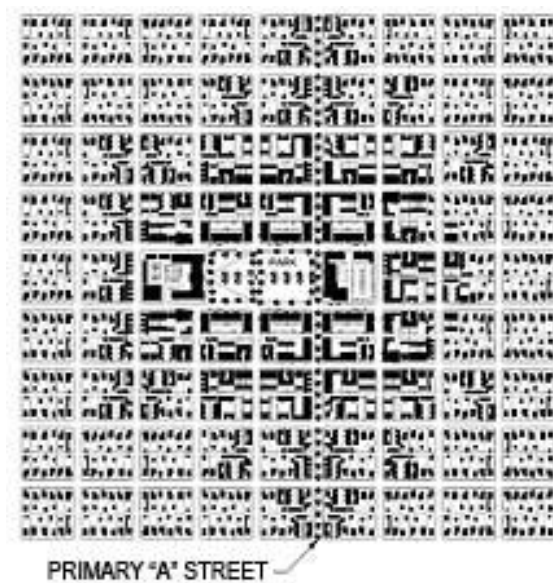
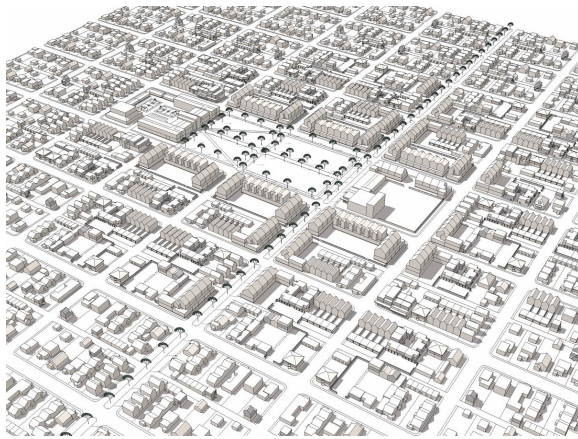
- (1) A Traffic Impact Study (TIS) shall be submitted if a proposed development will create more than 100 a.m. or p.m. peak hour trips entering or exiting the site.
- (2) Mitigation measures included as part of the TIS may not include pavement widening, turn lanes or medians.
- (3) The following measures must be included as part of the mitigation required as part of the TIS:
 - (a) Commercial buildings must provide pedestrian connections to adjoining properties, where the adjoining property owner has allowed access to the property.
 - (b) A building's on-site circulation system shall connect to existing or proposed streets, accessways and driveways, or be stubbed out to adjoining property if the adjoining property is undeveloped.
 - (c) Buildings must provide direct pedestrian connections between transit stops and building entrances.

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14-20-3-4 Transit Oriented Development / Corridor / Community Activity Center (TOD-CORCOM)

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14-20-3-5 Planned Village Development -- (PVD)



(A) Purpose and Findings

The Planned Village Development - (PVD) Zone is designed to accommodate:

- Complete neighborhoods that include a variety of housing types.
- Central commercial, residential, entertainment, public, office and mixed use areas that create destination points for purposeful walking and biking trips.
- A central park/plaza area, with improved parks or civic spaces and, where appropriate, convenience retail.
- Mixed density residential with higher densities closer to the central plaza.
- Buildings oriented toward streets and parks.
- Interconnected pedestrian and traffic routes.
- Street characteristics that slow the speed of motorized vehicles while encouraging safe and convenient pedestrian travel.
- A transportation network that balances pedestrian, bicycle and motorized vehicle use.
- Schools, where there is a sufficient present or projected school aged population, preferably in smaller sized schools.

(B) Applicability

A PVD zone is best suited to Greenfield (large acreage, totally undeveloped tracts) development. A PVD zone may also be applied in an established, already-built area of the city. The following are criteria for the establishment of the boundaries of a PVD zone in an established area:

- (1) The area within the perimeter of the intended PVD has a mixture of residential and non-residential development that includes at least 15% and no more than 85% in residential building forms and at least 15% in forms that accommodate retailing of goods and services, offices, or civic purposes.
- (2) The street system within the perimeter of the intended PVD complies with the connectivity ratio standards of 14-20-3-3, or can be brought to that level.
- (3) The area is linked by a continuous system of sidewalks or can be brought to that level. Interruption of the sidewalk continuity by Principal Arterial streets or any street with more than four lanes of traffic including continuous turn lanes disqualifies the area for PVD designation.
- (4) At least 60% of the dwelling units and 75% of the non-residential floor area lies within 2000 feet distance of existing or funded transit stops.

Throughout 14-20-3-5 the differences in requirement and process associated with a PVD application in established areas will be called out where appropriate.

(C) General Requirements

- (1) A Planned Village (PVD) consists of the following: a PVD - Village Center (PVD-VC), PVD - Village General area (PVD-VG), and PVD - Village Edge area (PVD-VE).

In established area applications, a low density Village Edge area is not permitted.
- (2) A PVD may be 160 – 320 acres in size.

In established area applications, the size is likely to be smaller.
- (3) Combinations of Planned Village developments shall create a larger integrated community, connected through a Town Center and higher intensity corridors (using the TOD-CORCOM zone).
- (4) In Greenfield areas, the Planned Village Development zone may be applied for or mapped. In established area applications, a PVD zone may be established only as part of a Sector Development Plan.
- (5) In established area applications, block size requirements (§ 14-20-2-6) may be modified to accommodate irregularities in building sites and where the site cannot be subdivided.

The following table describes these areas:

Areas and Subareas	Zoning District or Designation	Description and General Standards	Location / Size
Village Center (PVD-VC)	Zoned PVD VC designated on Site Development Plan	Each Village must include a Village Center. The Village Center must include higher density housing, retail/commercial, and civic uses. It may include convenience retail, an elementary school, community center, and public meeting space. Buildings are oriented toward the Public Realm.	No specific location is required, although the Village Center location will dictate the location of the – PVD - Urban portion of the Village. The Village Center shall be 10-30% of the PVD by acreage.
Village General (PVD-VG)	Zoned PVD VG designated on Site Development Plan	The PVD -General portion of a Village includes a variety of higher density housing types and limited non-residential uses and building forms.	PVD - General must abut the Village Center. A PVD is 20-60% PVD-VG by acreage.
Village Edge (PVD-VE)	Zoned PVD VE designated on Site Development Plan	The Edge portion of a Village may contain suburban density single family housing types as well as 2, 3 and 4 plexes and accessory living quarters. Or, if the edge borders major public open space, densities may be as low as 2du/acre. Although the character of the Edge portion will differ, an Edge to the PVD should always be clearly indicated. The regulations in the Large Lot Suburban Residential (SU 2 SRLL) zone in the Volcano Heights Sector Development Plan, at a maximum density of 2 dwelling units per acre, shall be used in the PVD-VE zone where adjacent to major public open space.	The Edge is located at the periphery of the PVD. A PVD is 10-50% PVD-VE by acreage

- (3) A Phasing Plan must be proposed as part of the Site Development Plan for a Planned Village Development. The Phasing Plan may provide for construction of the Village Center at any time; however, the Phasing Plan shall not permit the issuance of certificates of occupancy for the last 25% of the dwelling units in the Village until the Village Center is at least 50%

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14-20-3-5 Planned Village Development (PVD)

completed. If the applicant consents and the condition is made a part of an enforceable Development Agreement, the restriction on certificates of occupancy can be changed to a restriction on the sale of the dwelling units.

In established area applications, the Phasing Plan may be modified or eliminated.

(D) Permitted Building Types

Permitted Building Forms	PVD - Village Center	PVD - Village General	PVD - Village Edge
Detached Single-Family Building		●	●
Duplex		●	●
Sideyard		●	●
Accessory unit/ carriage house	●	●	●
Townhouse / rowhouse	●	●	
Multifamily – triplex	●	●	●
Multifamily- fourplex	●	●	●
Courtyard apartments	●	●	
Live-work	●	●	
Terrace apartments	●	●	
Dormitory			
Hotel/motel	●		
Single room occupancy unit	●	●	
Drive through facility	B		
Liner building	●		
Standalone commercial / office building			
Flex building	●		
Theater	●		
Indoor games facility	●		
Stadium/arena			
Exhibition, convention or conference structure			
Religious building	●	●	●
Atriums/public enclosure	●		
Other community structures	●		
Passenger assembly	●	●	
Mixed mode terminal			
Bus/train terminal			
Institutional building	●		
Outdoor facility, no major structure	●		
Surface parking (parking lot)	B		

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 14-20-3-5 Planned Village Development (PVD)

Permitted Building Forms	PVD - Village Center	PVD – Village General	PVD - Village Edge
Parking structure with no ground floor commercial - residential			
Structured parking with ground floor commercial - residential	●		
Underground parking structure	●	●	
Rooftop parking facility	●		
Bus stop shelter	●	●	●

See § 14-20-3-2, Table 3-2 for rules of interpretation. For permitted uses in the TOD-CORCOM, see § 14-20-3-4(B), above.

(E) Densities, Intensities, and Height

In established area applications, densities, intensities and height may be modified up to 20%.

- (1) The requested densities and intensities must be set forth in the Subdivision and/or Site Development Plan Application. The Subdivision Plat or Site Development Plan for a Planned Village shall comply with the following:

	Village Center	Village General	Village Edge
Minimum Average Residential Density*	20 dwelling units per acre	12 dwelling units per acre	2-6 dwelling units per acre
Maximum Average Residential Density*	40 dwelling units per acre	20 dwelling units per acre	6 dwelling units per acre
Minimum Average FAR	0.3	0.3	
Minimum Height	2 stories / 26' on at least 70% of block face	2 stories / 26' on at least 70% of block face	
Maximum Height	4 stories / 52' Within 75' of the property line of a single family residential area, a development's building shall not exceed 2 stories / 26' in height	3 stories / 39' Within 75' of the property line of a single family residential area, a development's building shall not exceed 2 stories / 26' in height	2 stories / 26'

* When the average density is calculated for two or more parcels, the average calculated must fall within the range of "Minimum Average" and "Maximum Average" contained in the Residential Density and Floor Area Ratio (FAR) standards in the table above. For an individual parcel (or a lot without subdivision) the Minimum Average is the Minimum and the Maximum Average is the maximum density allowed.

- (2) In established area applications, densities, intensities and height may be modified up to 20%.

(F) Building Form and Design

The following building design standards apply to the Village Center portion of a PVD-G:

Glazing of ground floor frontage	40-90%. Commercial uses are required to have 75% of the frontage length on the ground floor glazed, on "A" streets.
Ground story clear height	A ground floor story shall include a minimum 10' clear height for commercial uses and 9' clear height for residential uses. All other stories shall include a minimum 9' clear height.
Building entryways on "A" streets	40' on center minimum or as provided in the Building Form regulations (§ 14-20-2-1)
Articulation on "A" streets	40' on center minimum or as provided in the Building Form Regulations (§ 14-20-2-1)

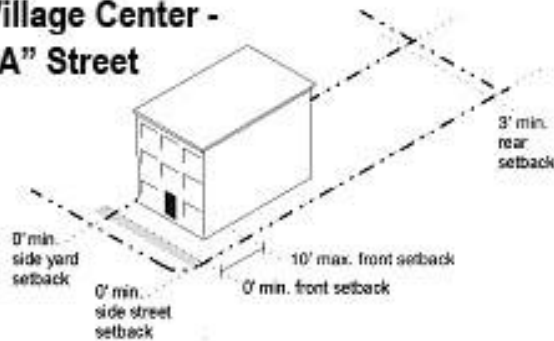
(G) Building Placement

(1) Setbacks

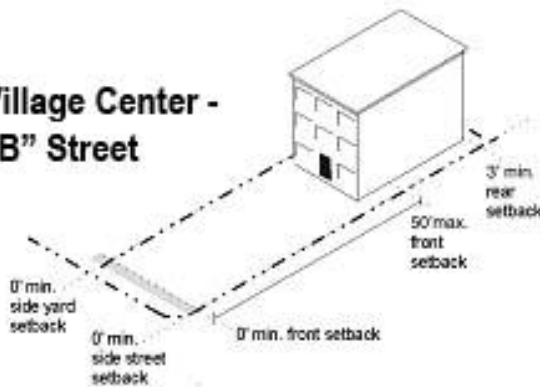
The front, rear, and side setback requirements in the PVD are as follows:

PVD

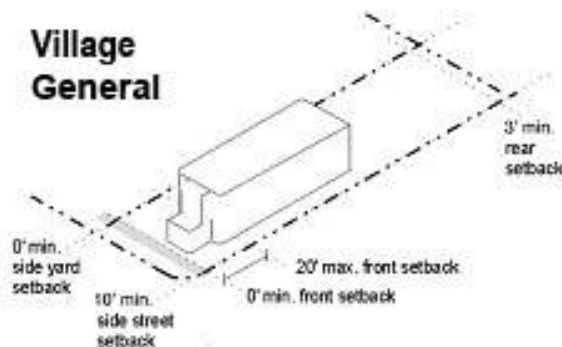
Village Center - "A" Street



Village Center - "B" Street



Village General



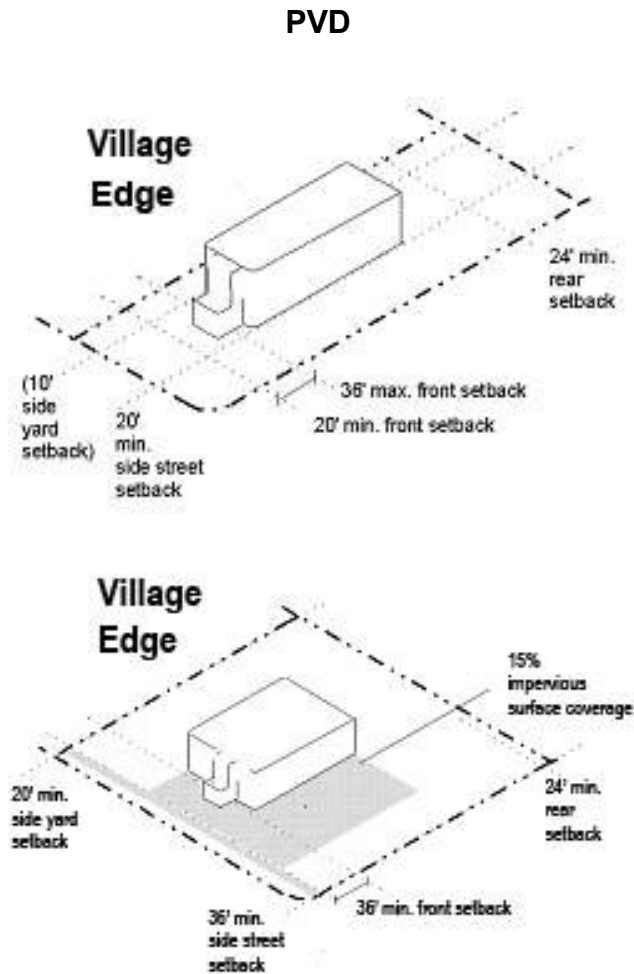
Setbacks (feet)

PVD - Village Center (PVD-VC)

Front setback (minimum):	0'
Front setback (maximum)	
"A" Streets:	10'
"B" Streets:	50'
Side street setback (minimum):	0'
Side yard setback (minimum):	0'
Rear setback (minimum)	0'

PVD – Village General (PVD-VG)

Front setback (minimum):	0'
Front setback (maximum):	20'
Side street setback (minimum):	0'
Side yard setback (maximum):	10'
total	
Rear setback (minimum)	3'



Setbacks (feet)

PVD - Village Edge (PVD-VE)

Front setback (minimum):	15'
Front setback (maximum):	25'
Side street setback (minimum):	5'
Side yard setback (minimum):	10'
Rear setback (minimum)	15'

PVD – Village Edge (PVD-VE)

(if low density housing is appropriate)	
Front setback (minimum):	36'
Front setback (maximum):	None
Side street setback (minimum):	36'
Side yard setback (minimum):	20'
Rear setback (minimum)	24'

Impervious ground level surface is limited to 15% of the lot.

(2) Onsite Parking

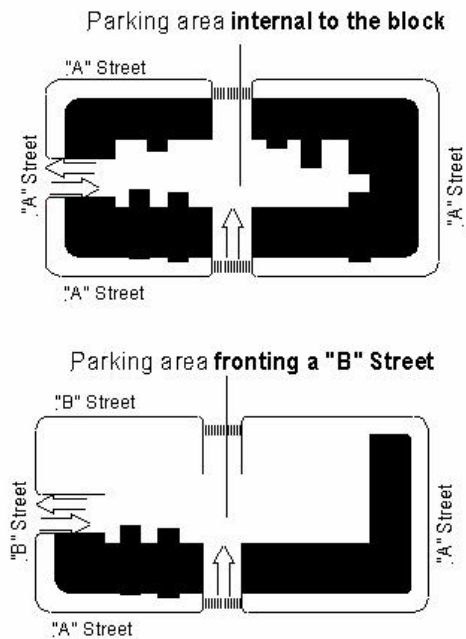
The following parking standards apply to the Village Center and the Village Urban portions of the PVD Zone and the Live-Work Building Form:

In established area applications, these standards may be modified by up to 20%.

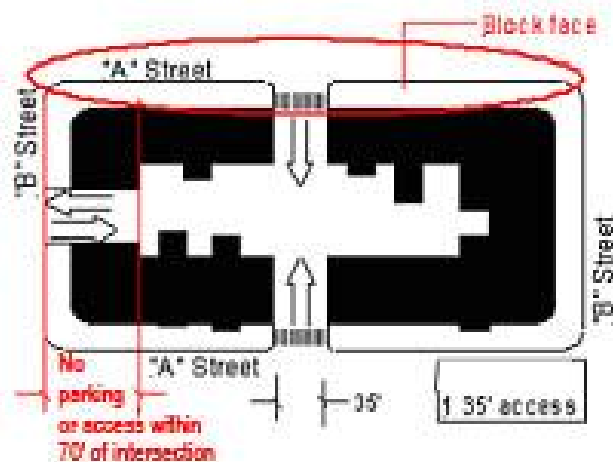
PART 3: FORM BASED CODE ZONES.

14-20-3-5 Planned Village Development (PVD)

- (a) Parking spaces shall either be internal to a block or shall front a "B" Street. Parking spaces shall not front any "A" Street.
- (b) Parking is not allowed to front across the street from any lot that is part of a Suburban or Edge Zone or an existing single-family zoning district. This restriction does not apply if the parking is behind residential units.



- (c) Parking areas that share rear or side lot lines with a single-family zoning district must be screened from view at the street and shared lot line with solid landscaping, a streetwall, or other means. Height of screening is required to be a minimum of five (5) feet and maximum of eight (8) feet.
- (d) Parking access points on "A" Streets are not permitted within 50' of a street intersection, measured from the curb. Access to parking interior to the block from an "A" street must permit only ingress, and shall not exceed 12' in width. No more than one access point is permitted on each block face. These regulations apply except as provided in the Building Form Regulations (§ 14-20-2-1) in which case either set of parking access regulations may be used.




(H) Building Frontage and Articulation

- (1) Standards for courtyards, forecourts, portals, porches, shop fronts, etc. are addressed in §14-20-2-2 of the Form Based Code. Maximum encroachment height is one story
- (2) Encroachments in the public ROW shall follow existing City regulations.

(I) Civic Space

The land area and locational requirements for civic spaces in the PVD are as prescribed below:

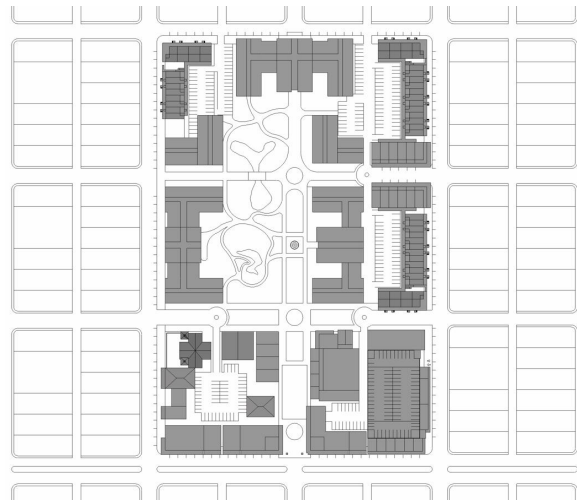
In established area applications, these requirements may be modified by up to 20%.

(A) Type	(B) Location And Minimum Size	(C) Maximum Size
Parks, Squares or Plazas	Location: Village Center Minimum size: 2 acres total 	8 acres (Note: this acreage may be divided into more than one site within the PVD – Village Center)
Greenways or Greenbelts	No minimum acreage requirement. Private or public Community Conservation Easement Areas shall be located within natural areas such as steep slopes, floodplains, or wetlands, or in significant viewsheds.	--

(J) Landscaping

- (1) A Planned Village is exempt from § 14-16-3-10 (Landscaping Regulations Applicable to Apartment and Nonresidential Development), except for the following:
 - § 14-16-3-10(C) Landscaping Plan
 - § 14-16-3-10(D) Installation and Maintenance
 - § 14-16-3-10(E)(3)(c) rear landscape buffer (six feet)
 - § 14-16-3-10(F) Plant Sizes
 - § 14-16-3-10(G)(2) Street Trees
- (2) In order to provide a continuous pedestrian transition for residential neighborhoods and commercial areas, PVD - Urban and PVD - Suburban Zones may not be separated from the Town Center or Village Center by berms or buffers. Instead trails and/or sidewalks shall be established that provide direct connections among the uses.

14-20-3-6 Campus Zone (CAM)



(A) Purpose and Findings

The Campus (CAM) provides:

- Opportunities for employment, institutional and/or civic uses (e.g., hospital, educational facility, research park, office park) that are interspersed with open areas and pedestrian walkways and bikeways.
- The establishment of residential building forms integrated with the walking, biking, and open space network.
- Design standards that provide for mixed use and employment, institutional centers, public spaces; enhanced open space requirements; landscaping and xeriscaping; pedestrian and bicycle linkages; retail and restaurants; transit orientation; options for higher density residential uses; and building and design standards.

(B) General Requirements and Applicability

(1) Defining features.

The site layout and building design for a Campus shall include the following:

- (a) A **streetside area** that includes buildings oriented to the vehicular right of way.
- (b) An **open space network** of interior paths that links buildings through open space with pedestrian walkways, bikeways, plazas, and trails.

- (c) **Plazas and courtyards** with buildings oriented to courtyards and the open space.

(2) Campus densities and intensities

	Streetside abutting non-residential or mixed use zones	Streetside abutting single family zones	Around Plazas and Courtyards
Maximum Average Density	45 dwelling units per acre	15 dwelling units per acre	60 dwelling units per acre
Minimum FAR	0.3	0.3	0.3
Maximum Average FAR	none	1.0*	none

* Average Maximum FAR. When the average FAR is calculated for two or more parcels, the average calculated must be consistent with the "Maximum Average" Floor Area Ratio (FAR) standards in the table above. For an individual parcel (or a lot without subdivision) the Maximum Average is the maximum allowed.

(C) Permitted Building Types

- (1) The following building forms are permitted in the Campus zone:

PART 3: FORM BASED CODE ZONES.
 14-20-3-6 Campus Zone (CAM)

Permitted Building Types Campus (CAM) Zone	
Detached Single-Family Building	
Duplex	
Sidyard	
Accessory unit/house	
Townhouse / rowhouse	●
Multifamily – triplex	●
Multifamily- fourplex	●
Courtyard apartments	●
Live-work	●
Terrace apartments	●
Dormitory	●
Hotel/motel	●
Single room occupancy unit	●
Drive through facility	B
Liner building	●
Standalone commercial / office building	
Flex building	●
Theater	●
Indoor games facility	●
Stadium/arena	●
Exhibition, /convention or conference structure	●
Religious building	●
Atriums/public enclosure	●
Other community	●
Passenger assembly	●
Mixed mode terminal	●
Bus/train terminal	●
Institutional building	●
Outdoor facility, no major structure	●
Surface parking (parking lot)	B
Parking structure with no ground floor commercial - residential	B
Structured parking with ground floor commercial - residential	●
Underground parking structure	●
Rooftop parking facility	●
Bus stop shelter	●

See § 14-20-3-2, Table 3-2 for rules of interpretation.

- (2) Accessory uses include personal services such as cafeteria, restaurant, hair, newsstand, laundry pick up, and day care centers; retail incidental to

PART 3: FORM BASED CODE ZONES.

14-20-3-6 Campus Zone (CAM)

the principal permitted uses; and temporary buildings, trailers and vehicles for uses incidental to construction. These uses are permitted if they are:

- (a) related to the permitted principal uses; and
- (b) intended to primarily serve occupants of the Campus and their visitors.

(D) Building Placement and Height

Within 100' of the property line of a single family residential area, buildings shall not exceed 2 stories / 26' in height. On other perimeter locations, maximum height is 4 stories / 52'. Beyond 100' from the perimeter, height is limited to 6 stories / 78' in height.

(E) Open Space

- (1) Buildings, parking areas and exterior spaces must be connected by a continuous open space network.
- (2) Potential conflicts with motorized vehicles within the open space network are prohibited unless the conflict is unavoidable due to unique topographical conditions, other unique circumstances, would improve pedestrian safety taking into consideration the overall site design, or is needed to comply with the Connectivity Ratio established in § 14-20-2-5.
- (3) The open space network includes the following:
 - (a) entry drive treatments, including landscaping and wall signage that signifies arrival at a place; and
 - (b) Outdoor seating; and
 - (c) Pedestrian walkways.
- (4) Over the entire site, at least 1 sf of open space must be provided for:
 - (a) every 0.5 sf of building footprint; and
 - (b) every 1 sf of surface parking.
- (5) At least 50% of the open space must be landscaped and contain pedestrian network facilities.
- (6) Courtyards within the open space must be:

- (a) Formally landscaped or hardscaped; and
 - (b) Surrounded on at least three (3) sides by buildings; and
 - (c) Each building elevation facing the courtyard must include at least one entryway and glazing on at least 40% of the façade, or as provided in the Building Form regulations (§ 14-20-2-1).
- (7) Open space shall be maintained in private ownership and shall be the subject of a private maintenance agreement with the City.

(F) Off Street Surface Parking

- (1) Parking must be distributed in separate modules, as described below.
- (2) Modules must be:
 - (a) Separated by buildings, open space areas or pedestrian paths surrounded by landscaping; and
 - (b) Spaced at least 50' apart; and
 - (c) Include no more than 21,000 sf or 50 parking spaces; and
 - (d) Not abut a developed or undeveloped residential area; and
 - (e) Landscaped with a minimum of 1 canopy tree and 2 shrubs per 4-8 spaces.

(G) Transportation Facilities

- (1) The transportation network interior to a Campus must include:
 - (a) Continuous pedestrian and biking system(s); and
 - (b) Sidewalks on all streets, with minimum width of 6'.
- (2) Streets within a Campus may be public or private.

(H) Landscaping

- (1) Yards and Buffers shall comply with City's Landscaping Standards (§ 14-16-3-10 ROA) except as provided in the Form Based Code when the standards there will prevail.
- (2) In addition to perimeter Yards and Buffers, at least 10% of each lot shall be maintained as landscaped area.

(I) Lighting

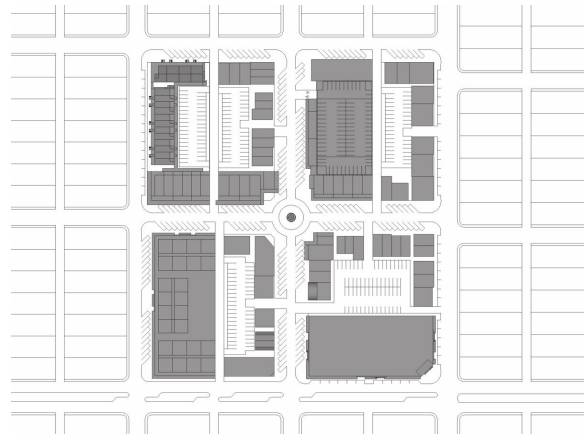
- (1) Maximum height for a light source that has elements which direct light at a cutoff angle of at least 90 degrees is 20'.
- (2) Maximum height for a light source with a cutoff angle of less than 90 degrees is 16'.
- (3) Ornamental poles and luminaries shall be used for pedestrian lighting. "Ornamental" means that the pole or luminary is installed mainly or entirely for its decorative effect or to accent an object or a feature, rather than as an aid to visibility. The Planning Director shall publish a list of poles and luminaries that are considered "ornamental" for purposes of this Section. Pedestrian lighting shall be used in parking areas, within alleys, within 100' of residential areas, and along bicycle and pedestrian paths. Bollard lighting shall be used adjacent to Open Space areas that do not contain pedestrian / biking paths.
- (4) Cobrahead lights are prohibited.

(J) Service & Loading Areas

Service and loading area in a Campus:

- (1) May not be located on any side of a structure that is adjacent to residential lots, and
- (2) Must be combined, where possible; and
- (3) Must be recessed or screened on all sides, or as provided in the Building Form regulations (§ 14-20-2-1); and
- (4) May not conflict with pedestrian pathways.

14-20-3-7 Mixed Use Zone (MX)



(A) Purpose and Findings

The Mixed Use (MX) zone:

- Provides a mixed use environment with higher density residential, shopping, service, office, and entertainment uses.
- Is designed for location within walking or biking distance of residential areas and connected to them by pedestrian and biking paths.
- Permits commercial uses in a wider variety of situations than conventional zoning, subject to design standards.
- Prohibits new street-side parking lots and encourages walkable streetscapes.
- Includes design standards that provide: a pedestrian scale; well articulated frontage of building facades; rear parking; buildings oriented to Public Realm; interconnected street systems; and public spaces; transit, pedestrian and bicycle compatibility.
- Responds to changing market conditions to redevelop existing nodal or strip shopping areas.

(B) Applicability and General Requirements

- (1) This Zone may be used to establish a development that is like a Village Center in an existing neighborhood.
- (2) The establishment of a Mixed Use Zone does not constitute a “changed condition” under R-270-1980 to justify a zone change for higher intensity zoning.

PART 3: FORM BASED CODE ZONES.

14-20-3-7 Mixed Use Zone (MX)

- (3) The MX Zone shall apply to strip commercial or nodal or strip shopping areas when a center is being substantially rehabilitated or reconstructed and another Form Based Code zone is not applied to the site.
- (4) Existing structures and parcels in a new MX Zone are grandfathered until such time as the existing structures are being substantially rehabilitated or reconstructed.

(C) Permitted Building Types

The following building forms are permitted in the MX zone:

Permitted Building Types Mixed Use (MX) Zone	
Detached Single-Family Building	
Duplex	
Sideyard	
Accessory unit/house	●
Townhouse / rowhouse	●
Multifamily – triplex	●
Multifamily- fourplex	●
Courtyard apartments	●
Live-work	●
Terrace Apartments	●
Dormitory	●
Hotel/motel	●
Single room occupancy unit	●
Drive through facility	B ¹
Liner building	●
Standalone commercial / office building	●
Flex building	●
Theater	●
Indoor games facility	●
Stadium/arena	
Exhibition, convention or conference structure	
Religious building	●
Atriums/public enclosure	●
Other community	●
Passenger assembly	●
Mixed mode terminal	
Bus/train terminal	
Institutional building	
Outdoor facility, no major structure	
Surface parking (parking lot)	B
Parking structure with no ground floor commercial – residential	
Structured parking with ground floor commercial – residential	●

PART 3: FORM BASED CODE ZONES.

14-20-3-7 Mixed Use Zone (MX)

Permitted Building Types Mixed Use (MX) Zone	
Underground parking structure	●
Rooftop parking facility	●
Bus stop shelter	●

¹ Permitted only on corner lots

See § 14-20-3-2, Table 3-2 for rules of interpretation.

(D) Densities, Intensities, Height

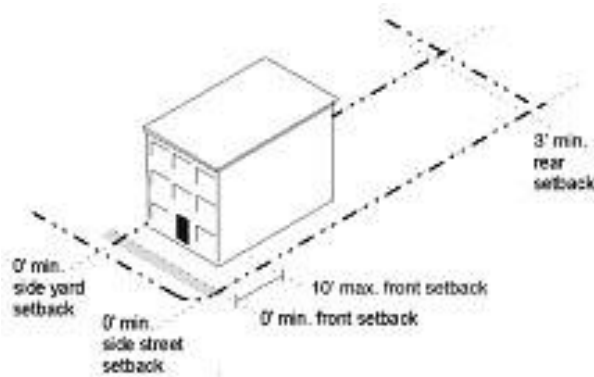
	Mixed Use Zone	Building area within 75' of single family residential
Minimum Average Density	12 dwelling units per acre	10 dwelling units per acre
Minimum Average FAR	0.5	0.5
Maximum Height	4 stories / 52'	2 stories / 26' within 75' of the property line of a developed single family residential property.

* When the average density is calculated for two or more parcels, the average calculated must fall at or above the "Minimum Average" contained in the Residential Density and Floor Area Ratio (FAR) standards in the table above. For an individual parcel (or a lot without subdivision) read "Minimum Average" as "Minimum".

(E) Building Frontage and Articulation

Glazing of ground floor frontage	40%-90% (Commercial uses required to have 75% minimum glazed width on "A" streets.)
Ground story clear height	A ground floor story shall include a minimum 10' clear height.
Building entryways on streets	40' on center minimum or as provided in the Building Form regulations (§ 14-20-2-1)
Articulation on streets	40' on center minimum or as provided in the Building Form regulations (§ 14-20-2-1)

(F) Building Placement



Setbacks (feet)

Front setback (minimum):	0'
Front setback (maximum):	10'
Side street setback (minimum):	0'
Side yard setback (minimum):	0'
Side yard setback from existing single family development (minimum):	5'
Rear setback (minimum)	3'
Rear setback from existing single family development (minimum)	10'
Or as provided in the Building Form regulations (§ 14-20-2-1)	

(G) Building Frontage and Articulation

- (1) Standards for courtyards, forecourts, portals, porches, shop fronts, etc. are addressed in §14-20-2-2 of the Form Based Code. Maximum encroachment height is one story.
- (3) Encroachments in the public ROW shall follow existing City regulations.
- (3) Building frontages shall occupy at least 75% of the available public street frontages or private street Drive ways

(H) Block Sizes

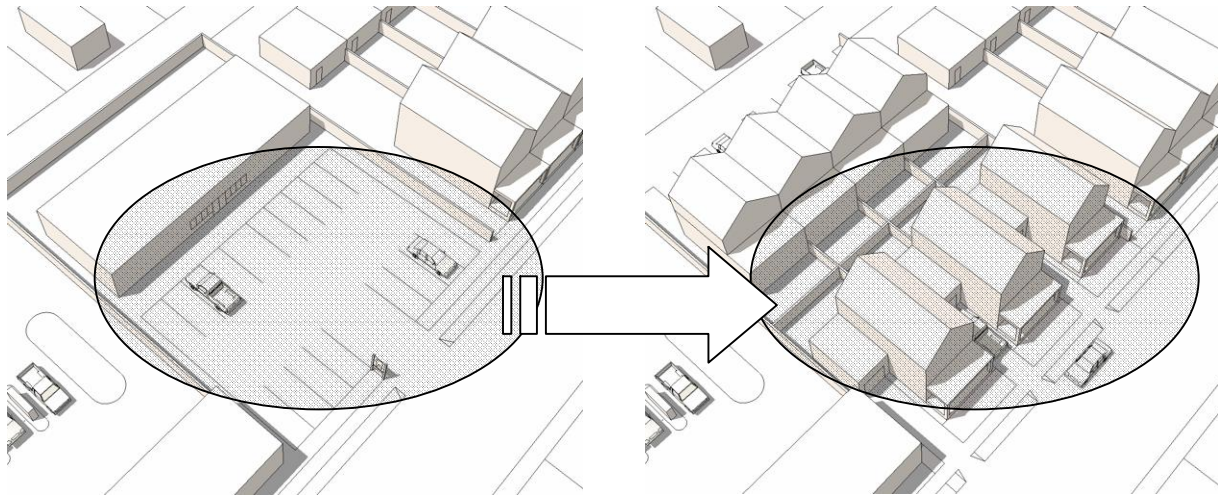
Upon Substantial Rehabilitation or Reconstruction, block sizes shall be reconfigured to conform to the requirements in §14-20-2-5. The Planning Director may approve a deviation of up to 20% in the maximum block size in order to address irregularities in building sites.

(I) Bicycle and Pedestrian Connectivity

Pedestrian walks and bicycle paths shall achieve a connectivity ratio of at least 1.8 as established in § 14-20-2-5. The design of these facilities shall encourage pedestrian and bicycle use by containing active uses and being spatially defined by buildings, trees, other landscaping and lighting.

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14-20-3-8 Infill Development (ID)



(A) Purpose and Findings

- The primary purpose of the ID zone is to integrate infill development into the context of the built environment while also conforming to the Form Based Code regulations.
- In order to encourage infill development, while protecting the neighborhood context, the regulations for ID zone include reduced front and side setbacks; reduced parking requirements; design standards; and access requirements.

(B) General Requirements and Applicability

- In order to provide flexibility while ensuring adequate public review, the use of the Infill Development zone requires a zone change.
- May be used in an existing neighborhood without adopting a Planned Village Center – Established area zone.
- In addition to meeting the requirements of R-270-1980, a zone change to Infill Development should support the emergence of a Planned Village character in the neighborhood area where the development is taking place as represented in the Planned Village Development zone.

(C) Permitted Building Types

Permitted Building Types Infill Development (ID) Zone	
Residential building	
Detached single-family building	●
Duplex structure	●
Sideyard	●
Accessory unit / carriage house	●
Townhouse / rowhouse	●
Multifamily structure or apartment	
Multifamily structure - three units (triplex)	●
Multifamily structure - four units (fourplex)	●
Courtyard Apartments	●
Live-work units	●
Terrace Apartments	●
Dormitory	
Hotel, motel, or tourist court	
Single room occupancy unit	
Commercial	
Drive-through facility	
Liner building	
Standalone commercial	
Flex building	●
Civic (Public assembly)	
Theater	●
Indoor games facility	
Sports stadium or arena	
Exhibition, convention, or conference structure	
Religious building	●
Atriums and public enclosures	●
Other community structures	
Passenger assembly	●
Mixed mode terminal	
Bus/train terminal	
Institutional or community facilities	
Institutional buildings	●
Outdoor facility, no major structure	
Transportation-related facilities (not accessory to a Principal Building)	
Surface parking (parking lot)	
Parking structure, with no ground floor commercial – residential	
Structured parking with ground floor commercial – residential above	●
Underground parking structure	●
Rooftop parking facility	●
Bus stop shelter	●

(D) Building Form, Design and Lot Layout

(1) General Standards

- (a) In the case of new structures, additions and alterations, the height, and scale of other buildings on the block shall be substantially maintained. “substantially maintained” means that the front façade of new structures does not exceed the average width of principal structures within three hundred (300) feet of the proposed structure by more than twenty percent (20%) and the height does not exceed the average height of principal structures within three hundred (300) feet of the proposed new structure, addition, alteration by more than one (1) story.
- (b) The building setbacks shall be substantially maintained to preserve the pattern of building fronts and setbacks from the street. Substantially maintained means that the building setback is +/-5’ of the average setback on the block.

(2) New Structures and Substantially Rehabilitated and Reconstructed Structures in the Infill Development Zone

- (a) The Form Based Code regulations as applicable to the Permissive Building Types and Uses shall apply to all new structures and substantially rehabilitated or reconstructed structures in this zone.
- (b) Substantially rehabilitated or reconstructed commercial buildings must conform to the regulations for the following building forms: Live-Work Unit, Flex Building, Liner Building, and Standalone Commercial Building.

(3) Additions

- (a) Building additions shall be:
 - 1) Oriented to the front street ROW or to the alley.
 - 2) Related to the rest of the building in scale, mass, and shape.
 - 3) Compatible with the original structure in window design.
 - 4) Compatible with the original structure in terms of roof slope and shape

- (b) Façades shall be oriented to the street unless the buildings are arranged to create a pedestrian plaza or similar amenity.

(4) Building Orientation

Principal Entries shall be oriented to the pedestrian approaching from the sidewalk on the most utilized street adjacent to the facade of the building.